

135 W BEAVER CREEK DRIVE | POWELL, TN 37849

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Map of the study area showing the location of the study site (marked with a star) relative to major roads and highways. The map includes labels for Highway 75, E Emory Road, W Emory Road, Hinkley Rd, Center Ave Pike, W Beaver Creek Dr, and Lightning Rd. A scale bar indicates 0 to 1 mile.

SITE ZONE: PR-5

<u>BUILDING REQUIREMENTS (2006 INTERNATIONAL BUILDING CODE)</u>	
OCCUPANCY GROUP:	R-2 (310.1)
CONSTRUCTION TYPE:	5A. SPRINKLERED (602.5, TABLE 601)
ALLOWABLE BUILDING SIZE:	3 STORY, 12,000 SF PER BUILDING
ACTUAL BUILDING SIZE:	1 STORY, 8,626 SF PER BUILDING
<u>LIFE SAFETY CODE (NFPA 101)</u>	
OCCUPANCY CLASSIFICATION:	RESIDENTIAL / APARTMENT BUILDING (6.1.8.5)
CONSTRUCTION TYPE:	NO REQUIREMENTS (30.1.6)
<u>FIRE PROTECTION REQUIREMENTS (2006 INTL. BUILDING CODE)</u>	
STRUCTURAL FRAME	0-HR (TABLE 601)
BEARING WALLS	
EXTERIOR	0-HR (TABLE 601)
INTERIOR	0-HR (TABLE 601)
NON-BEARING WALLS	
EXTERIOR	0-HR (TABLE 602)
INTERIOR	0-HR (TABLE 601)
FLOOR CONSTRUCTION	0-HR (TABLE 601)
ROOF CONSTRUCTION	0-HR (TABLE 601)
NOTE: FIRE RATING REQUIREMENTS SUBSTITUTED FOR AUTOMATIC SPRINKLER SYSTEM PER 2005 IBC TABLE 601	
<u>FIRE PARTITION REQUIREMENTS PER IBC 2006 SECTION 708</u>	
NOT LESS THAN 1 HOUR BETWEEN UNITS WITH 3,000 SF MAX ATTIC AREAS SEPARATED BY DRAFTSTOPPING	
<u>WALL AND CEILING FINISH REQUIREMENTS PER IBC 2006 TABLE 803.5</u>	
EXIT ENCLOSURES AND PASSAGEWAYS:	C
CORRIDORS:	C
ROOMS AND ENCLOSED SPACED:	C
<u>PARKING REQUIREMENTS</u>	
REQUIRED:	1.5 PER UNIT x 30 UNITS= 45 SPACES
PROVIDED:	45 SPACES
VAN ACCESSIBLE PARKING SPACES REQUIRED:	2
VAN ACCESSIBLE PARKING SPACES PROVIDED:	3

G1	SCOPE OF WORK: MULTI-FAMILY RESIDENTIAL DEVELOPMENT INCLUDING TWO SINGLE STORY BUILDINGS (PHASE 1) AND ONE SINGLE STORY BUILDING BUILDING (PHASE TWO) WITH A CENTRAL COMMON AMENITY SPACE AND PARKING
G2	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES, ORDINANCES, AMENDMENTS, AND COVENANTS
	2006 EDITION, INTERNATIONAL CODE COUNCIL: BUILDING CODE, ENERGY CONSERVATION CODE, EXISTING BUILDING CODE, FIRE CODE FUEL GAS CODE, MECHANICAL CODE, PLUMBING CODE, RESIDENTIAL CODE, NFPA 2005 ELECTRICAL CODE, ICC/ANSI A117.1-2003 AMERICAN NATIONAL STANDARD FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
G3	ALL DIMENSIONS SHOULD BE READ OR CALCULATED, AND NEVER SCALED FROM DRAWINGS
G4	CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES MUST BE REPORTED TO ELIZABETH EASON ARCHITECTURE FOR JUSTIFICATION AND/OR CORRECTION. CONTRACTOR IS RESPONSIBLE FOR CONDITIONS THAT ARE NOT REPORTED.
G5	CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
G6	SOILS ARE UNCLASSIFIED.

G001 SCALE: 1" = 100' 090401 Site.dwg

ACT	ACOUSTICAL CEILING TILE	FE	FIRE EXTINGUISHER	PBO	PROVIDED BY OWNER
AFF	ABOVE FINISHED FLOOR	FFE	FINISH FLOOR ELEVATION	PNT	PAINT, PAINTED
ALUM	ALUMINUM	FIN	FINISH; FINISHED	PREFAB	PREFABRICATED
ARCH	ARCHITECTURE, ARCHITECTURAL	FL TO FL	FLOOR TO FLOOR	PREMFDF	PREMANUFACTURED
AWNG	AWNING	FURN	FURNITURE	PT	PRESSURE TREATED
BD	BOARD	GA	GUAGE	REINF	REINFORCED, REINFORCING
BM	BEAM	GALV	GALVANIZED	RD	ROOM DRAIN
BTM	BOTTOM	GFCI	GROUND FAULT CIRCUIT INTERRUPTED	RM	ROOM
BTW	BETWEEN	GFI	GROUND FAULT INTERRUPTED	RO	ROUGH OPENING
				ROW	RIGHT OF WAY
C TO C	CENTER TO CENTER	GYP-BD	GYP-SUM BOARD (MOISTURE RESISTANT)		
CIP	CAST-IN-PLACE			SIM	SIMILAR
CJ	CONTROL JOINT	HWD	HARDWOOD	SPECS	SPECIFICATIONS
CMU	CONCRETE MASONRY UNIT	HM	HOLLOW METAL	STRUCT	STRUCTURAL
CPT	CARPET	HORIZ	HORIZONTAL		
CO	CASED OPENING	HVAC	HEATING, VENTILATION & AIR CONDITIONING	T&G	TONGUE & GROOVE
COL	COLUMN			TEMP	TEMPERED
CONC	CONCRETE	INSUL	INSULATION	TOC	TOP OF CONCRETE
CONT	CONTINUOUS	INST	INSTRUCTIONS	TOF	TOP OF FOOTING
CONTR	CONTRACTOR	INT	INTERIOR	TOS	TOP OF STEEL
CSMT	CASEMENT			TOW	TOP OF WALL
CT	CERAMIC TILE	JB	JUNCTION BOX	TYT	TYPICAL
CTR	CENTER	JT	JOINT		
				UNO	UNLESS NOTED OTHERWISE
DEMO	DEMOLITION	LAM	LAMINATE		
DL	DEAD LOAD	LL	LIVE LOAD	VNT	VERTICAL
DN	DOWN	LTL	LINTEL	VIF	VERIFY IN FIELD
DR	DRAIN			VOC	VOLATILE ORGANIC COMPOUND
DS	DOWN SPOUT	MAX	MAXIMUM		
				w/	WITH
EA	EACH	MECH	MECHANICAL	WC	WATER CLOSET
EJ	EXPANSION JOINT	MFD	MANUFACTURED	WD	WOOD
EL	ELEVATION	MFR	MANUFACTURER	WPR	WATERPROOFING
ELEC	ELECTRICAL	MIN	MINIMUM	WWF	WELDED WIRE FABRIC
EPDM	ETHYLENE PROPYLENE DIENE MONOMER	MO	MASONRY OPENING		
EPS	EXPADED POLYSTYRENE	MTL	METAL	XPS	EXTRUDED POLYSTYRENE
EQ	EQUAL	NIC	NOT IN CONTRACT	&	AND
EQUIP	EQUIPMENT	NTS	NOT TO SCALE	/	ANGLE
EWV	ELECTRIC WATER COOLER			@	AT
EWH	ELECTRIC WATER HEATER	OC	ON CENTER	%	CENTERLINE
EXT	EXTERIOR			Ø	DIAMETER
EXIST	EXISTING	#		POUND	
				32°04'08"	32 DEGREES, 4 MINUTES, 8 SECONDS

<u>Civil</u>	
C101	Site and Utility Plan
C102	Site Grading, Drainage and Erosion Control Plan
C103	Sanitary Sewer Main 'A' Prc file
C104	Details

L101	Materials Plan
L102	Layout Plan
L201	Landscape Specs and Details
L301	Planting Plan
L302	Phase 2 Landscape Plan
L401	Planting Details and Notes

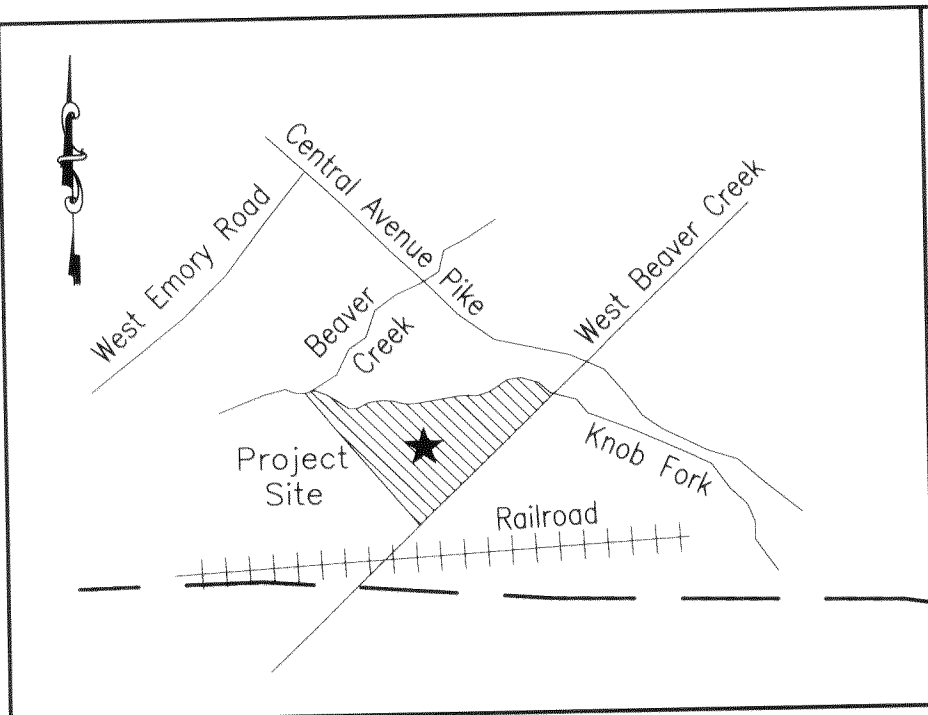
A101	Architectural Site Plan
A102	Floor and Roof Plans
A103	Lighting & Outlet, Roof Framing and Foundation Plans
A201	Exterior Elevations
A301	Building Sections
A302	Wall Sections and Details
A401	Enlarged Plans and Interior Elevations
A501	Exterior Details

M000	HVAC Notes and Schedules
M100	HVAC Plan
M200	HVAC Details

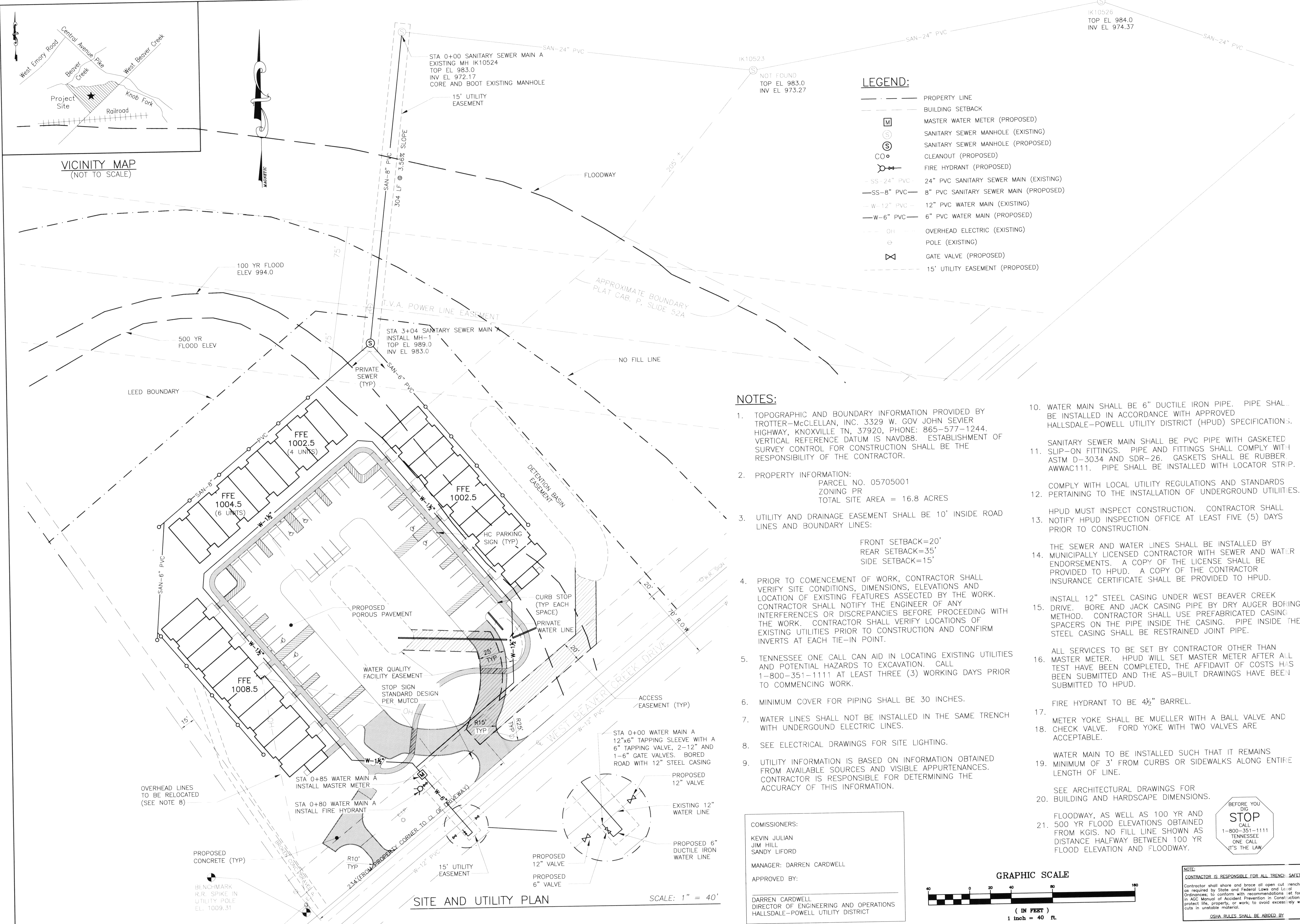
P000	Plumbing Notes and Details
P101	Plumbing Plans

FP101	Sprinkler Plan
FS101	Firestopping Details

E101	Electrical Notes and Leger ds
E102	Electrical Plans
E103	Electrical Site Plan
E104	Electrical Riser Diagram



VICINITY MAP
(NOT TO SCALE)



LEGEND:

- PROPERTY LINE
- BUILDING SETBACK
- MASTER WATER METER (PROPOSED)
- SANITARY SEWER MANHOLE (EXISTING)
- SANITARY SEWER MANHOLE (PROPOSED)
- CLEANOUT (PROPOSED)
- FIRE HYDRANT (PROPOSED)
- 24" PVC SANITARY SEWER MAIN (EXISTING)
- 8" PVC SANITARY SEWER MAIN (PROPOSED)
- 12" PVC WATER MAIN (EXISTING)
- 6" PVC WATER MAIN (PROPOSED)
- OVERHEAD ELECTRIC (EXISTING)
- POLE (EXISTING)
- GATE VALVE (PROPOSED)
- 15' UTILITY EASEMENT (PROPOSED)

NOTES:

- TOPOGRAPHIC AND BOUNDARY INFORMATION PROVIDED BY TROTTER-McCLELLAN, INC. 3329 W. GOV JOHN SEVIER HIGHWAY, KNOXVILLE, TN, 37920, PHONE: 865-577-1244. VERTICAL REFERENCE DATUM IS NAVD88. ESTABLISHMENT OF SURVEY CONTROL FOR CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PROPERTY INFORMATION:
PARCEL NO. 05705001
ZONING PR
TOTAL SITE AREA = 16.8 ACRES
- UTILITY AND DRAINAGE EASEMENT SHALL BE 10' INSIDE ROAD LINES AND BOUNDARY LINES:
FRONT SETBACK=20'
REAR SETBACK=35'
SIDE SETBACK=15'
- PRIOR TO COMENCEMENT OF WORK, CONTRACTOR SHALL VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS AND LOCATION OF EXISTING FEATURES ASSECTED BY THE WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY INTERFERENCES OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND CONFIRM INVERTS AT EACH TIE-IN POINT.
- TENNESSEE ONE CALL CAN AID IN LOCATING EXISTING UTILITIES AND POTENTIAL HAZARDS TO EXCAVATION. CALL 1-800-351-1111 AT LEAST THREE (3) WORKING DAYS PRIOR TO COMMENCING WORK.
- MINIMUM COVER FOR PIPING SHALL BE 30 INCHES.
- WATER LINES SHALL NOT BE INSTALLED IN THE SAME TRENCH WITH UNDERGROUND ELECTRIC LINES.
- SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM AVAILABLE SOURCES AND VISIBLE APPURTENANCES. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- WATER MAIN SHALL BE 6" DUCTILE IRON PIPE. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED HALLSDALE-POWELL UTILITY DISTRICT (HPUD) SPECIFICATIONS.
- SANITARY SEWER MAIN SHALL BE PVC PIPE WITH GASKETED SLIP-ON FITTINGS. PIPE AND FITTINGS SHALL COMPLY WITH ASTM D-3034 AND SDR-26. GASKETS SHALL BE RUBBER AWWAC111. PIPE SHALL BE INSTALLED WITH LOCATOR STRIP.
- COMPLY WITH LOCAL UTILITY REGULATIONS AND STANDARDS PERTAINING TO THE INSTALLATION OF UNDERGROUND UTILITIES.
- HPUD MUST INSPECT CONSTRUCTION. CONTRACTOR SHALL NOTIFY HPUD INSPECTION OFFICE AT LEAST FIVE (5) DAYS PRIOR TO CONSTRUCTION.
- THE SEWER AND WATER LINES SHALL BE INSTALLED BY MUNICIPALLY LICENSED CONTRACTOR WITH SEWER AND WATER ENDORSEMENTS. A COPY OF THE LICENSE SHALL BE PROVIDED TO HPUD. A COPY OF THE CONTRACTOR INSURANCE CERTIFICATE SHALL BE PROVIDED TO HPUD.
- INSTALL 12" STEEL CASING UNDER WEST BEAVER CREEK DRIVE. BORE AND JACK CASING PIPE BY DRY AUGER BORING METHOD. CONTRACTOR SHALL USE PREFABRICATED CASING SPACERS ON THE PIPE INSIDE THE CASING. PIPE INSIDE THE STEEL CASING SHALL BE RESTRAINED JOINT PIPE.
- ALL SERVICES TO BE SET BY CONTRACTOR OTHER THAN MASTER METER. HPUD WILL SET MASTER METER AFTER ALL TEST HAVE BEEN COMPLETED, THE AFFIDAVIT OF COSTS HAS BEEN SUBMITTED AND THE AS-BUILT DRAWINGS HAVE BEEN SUBMITTED TO HPUD.
- FIRE HYDRANT TO BE 4 1/2" BARREL.
- METER YOKE SHALL BE MUELLER WITH A BALL VALVE AND CHECK VALVE. FORD YOKE WITH TWO VALVES ARE ACCEPTABLE.
- WATER MAIN TO BE INSTALLED SUCH THAT IT REMAINS MINIMUM OF 3' FROM CURBS OR SIDEWALKS ALONG ENTIRE LENGTH OF LINE.
- SEE ARCHITECTURAL DRAWINGS FOR BUILDING AND HARDSCAPE DIMENSIONS.
- FLOODWAY, AS WELL AS 100 YR AND 500 YR FLOOD ELEVATIONS OBTAINED FROM KGIS. NO FILL LINE SHOWN AS DISTANCE HALFWAY BETWEEN 100 YR FLOOD ELEVATION AND FLOODWAY.

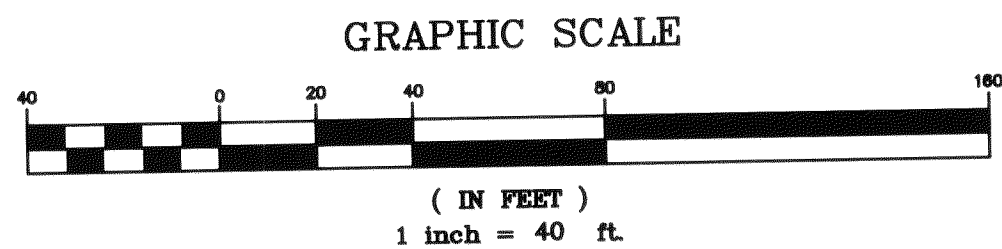
COMMISSIONERS:

KEVIN JULIAN
JIM HILL
SANDY LIFORD

MANAGER: DARREN CARDWELL

APPROVED BY:

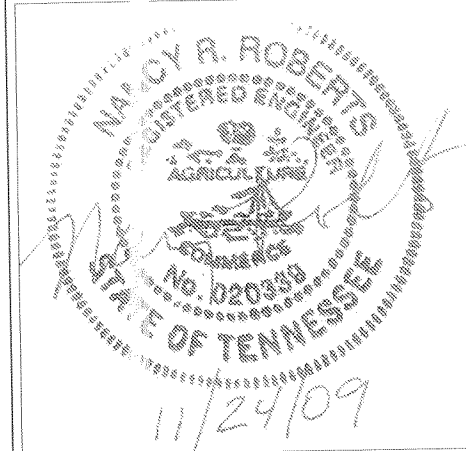
DARREN CARDWELL
DIRECTOR OF ENGINEERING AND OPERATIONS
HALLSDALE-POWELL UTILITY DISTRICT



NOTE:
CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY
Contractor shall shore and brace all open cut trenches as required by State and Federal Laws and Local Ordinances, to conform with recommendations set forth in AGC Manual of Accident Prevention in Construction, to protect life, property, or work, to avoid excessively wide cuts in unstable material.
OSHA RULES SHALL BE ABIDED BY

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BLUEBEARDY RIDGE

135 WEST BEAVER CREEK DRIVE | KNOXVILLE, TN
KNOX HOUSING PARTNERSHIP

ISSUE:

09/04/09 ISSUE FOR ESTIMATE
09/16/09 ISSUE FOR ESTIMATE
10/20/09 ISSUE FOR BID
11/20/09 ADDENDUM 4

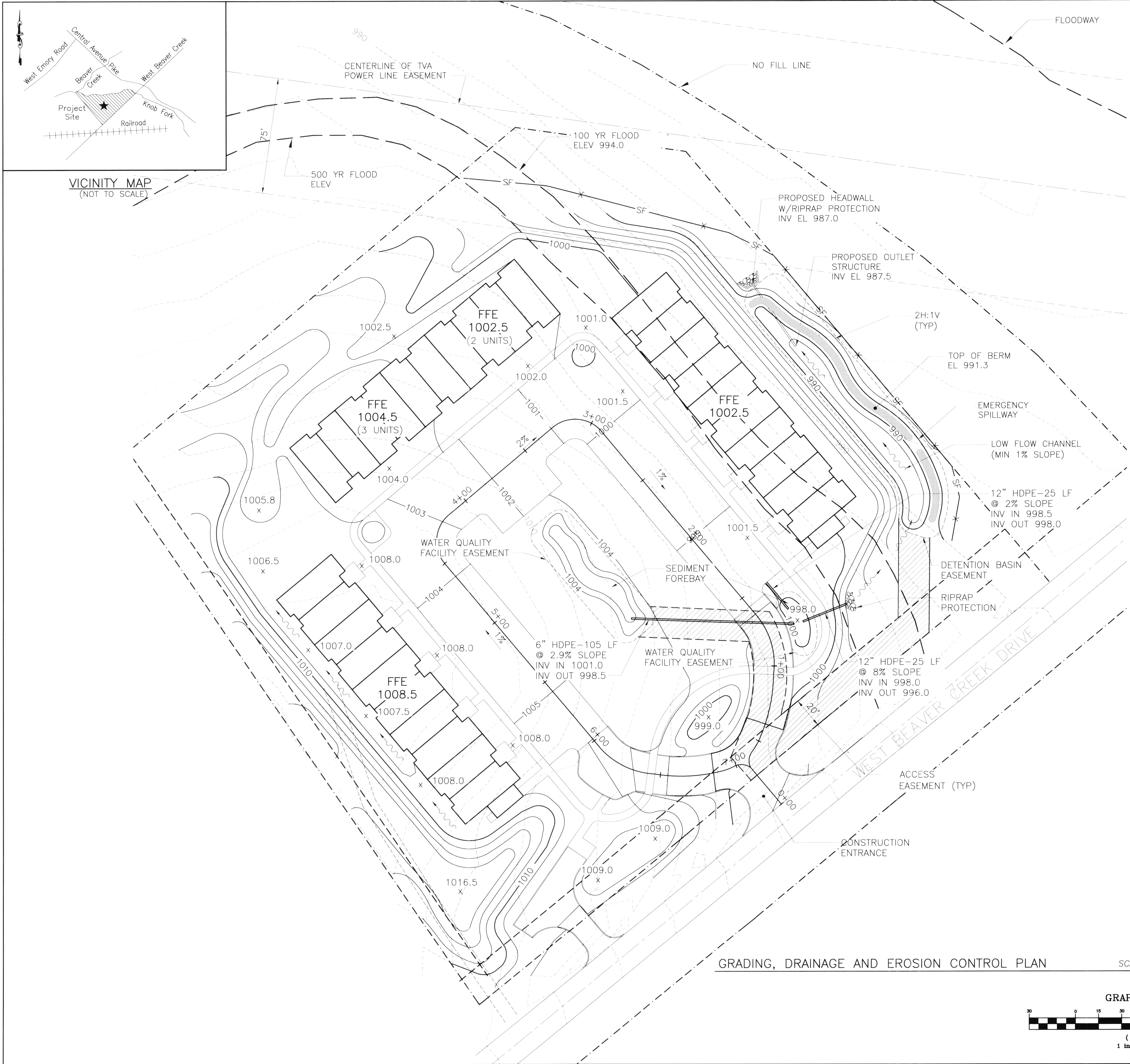
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SITE AND UTILITY PLAN

12-D-09-UR
REVISED
11-25-09

C 101

Project Number 090401

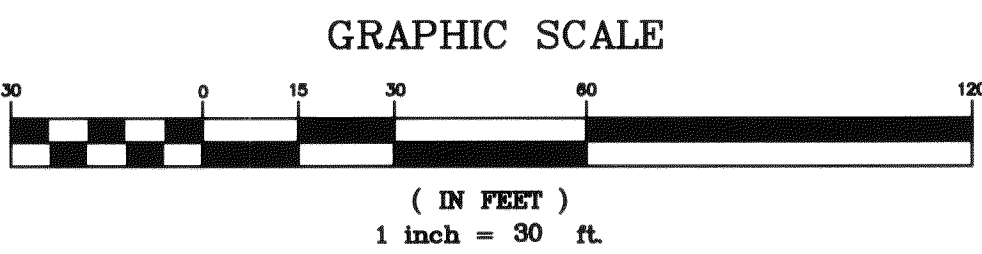


- NOTES:**
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 2. PROPERTY INFORMATION:
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 3. UTILITY AND DRAINAGE EASEMENT SHALL BE 10' INSIDE ROAD LINES AND BOUNDARY LINES:
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SIDE SETBACK=15'
 4. PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR SHALL VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS AND LOCATION OF EXISTING FEATURES ASSESSED BY THE WORK. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY INTERFERENCES OR DISCREPANCIES BEFORE PROCEEDING WITH THE WORK. CONTRACTOR SHALL VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION AND CONFIRM INVERTS AT EACH TIE-IN POINT.
 5. TENNESSEE ONE CALL CAN AID IN LOCATING EXISTING UTILITIES AND POTENTIAL HAZARDS TO EXCAVATION. CALL 1-800-351-1111 AT LEAST THREE (3) WORKING DAYS PRIOR TO COMMENCING WORK.
 6. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO ANY LAND-DISTURBING ACTIVITY. EROSION CONTROL MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, CONSTRUCTION ENTRANCE, SILT FENCE, ROCK CHECK DAMS, AND GRASS COVER. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER HAS BEEN ESTABLISHED ON ALL DISTURBED AREAS. CONTRACTOR SHALL INSTALL AND MAINTAIN BMPs AS DETAILED IN THE DRAWINGS, IN ACCORDANCE WITH TDEC EROSION & SEDIMENT CONTROL HANDBOOK.
 7. CONTRACTOR SHALL INSPECT SEDIMENT CONTROL STRUCTURES AT LEAST TWICE WEEKLY (72 HOURS APART). DATA TO BE MAINTAINED: GRADING DATES, CEASE WORK DATES, STABILIZATION DATES, INSPECTION AND RAINFALL.
 8. CONTRACTOR SHALL EMPLOY GEOTECHNICAL CONSULTANT TO OBSERVE PROOF ROLLING, CHECK DENSITIES, AND IDENTIFY SOIL MATERIALS.
 9. ALL VEGETATION, DEBRIS, AND OTHER UNSUITABLE MATERIALS SHALL BE CLEARED, EXTENDING 5' BEYOND THE LIMITS OF THE CONSTRUCTION AREA. GRUB ENTIRE CLEARED AREA, REMOVE TOPSOIL AND STOCKPILE FOR LATER USE WITH FINISH GRADING. DO NOT CLEAR MORE THAN 10 DAYS PRIOR TO GRADING OPERATIONS.
 10. PRIOR TO FILL PLACEMENT, EXPOSED SUBGRADE SHALL BE PROOFROLLED WITH HEAVY, RUBBER Tired EQUIPMENT TO DELINEATE AREAS OF SOFT OR UNSTABLE SOIL. UNSTABLE SOILS SHALL BE UNDERCUT TO STABLE GROUND AND REPLACED WITH ENGINEERED FILL. FINISHED CUT AREAS SHALL BE PROOF ROLLED AND REPAIRED IN A SIMILAR FASHION.
 11. AFTER SUBGRADE PREPARATION, ENGINEERED FILL SHALL BE PLACED IN MAXIMUM 8" THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM 0698 (STANDARD PROCTOR). ON-SITE, ORGANIC-FREE, SILTY CLAY IS SUITABLE FOR USE AS ENGINEERED FILL.
 12. MAINTAIN SITE IN A POSITIVELY DRAINED CONDITION TO AVOID PONDING WATER THAT CAN LEAD TO THE DETERIORATION OF THE SUBGRADE AND CAN ACCELERATE SINKHOLE DEVELOPMENT.
 13. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES ARE TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES. SEE LANDSCAPE PLANS FOR SEED MIX.
 14. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS THAT SHOW SIGNS OF EXCESSIVE EROSION.
 15. THIS SITE IS A PRIORITY CONSTRUCTION ACTIVITY. OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF CONSTRUCTION SITE POLLUTION PREVENTION CONTROLS THROUGHOUT THE LIFE OF THE PROJECT.
 16. GRADING SHOWN FOR POROUS PAVEMENT IS SUBGRADE ONLY. SEE ARCHITECTURAL DRAWINGS FOR SPOT ELEVATIONS IN PARKING LOT.

- LEGEND:**
- PROPERTY LINE
 - BUILDING SETBACK
 - 1070 MAJOR CONTOUR (EXISTING)
 - MINOR CONTOUR (EXISTING)
 - 1070 MAJOR CONTOUR (PROPOSED)
 - MINOR CONTOUR (PROPOSED)
 - SF---X--- SILT FENCE (PROPOSED)
 - 1001.0 x SPOT ELEVATION



NOTE:
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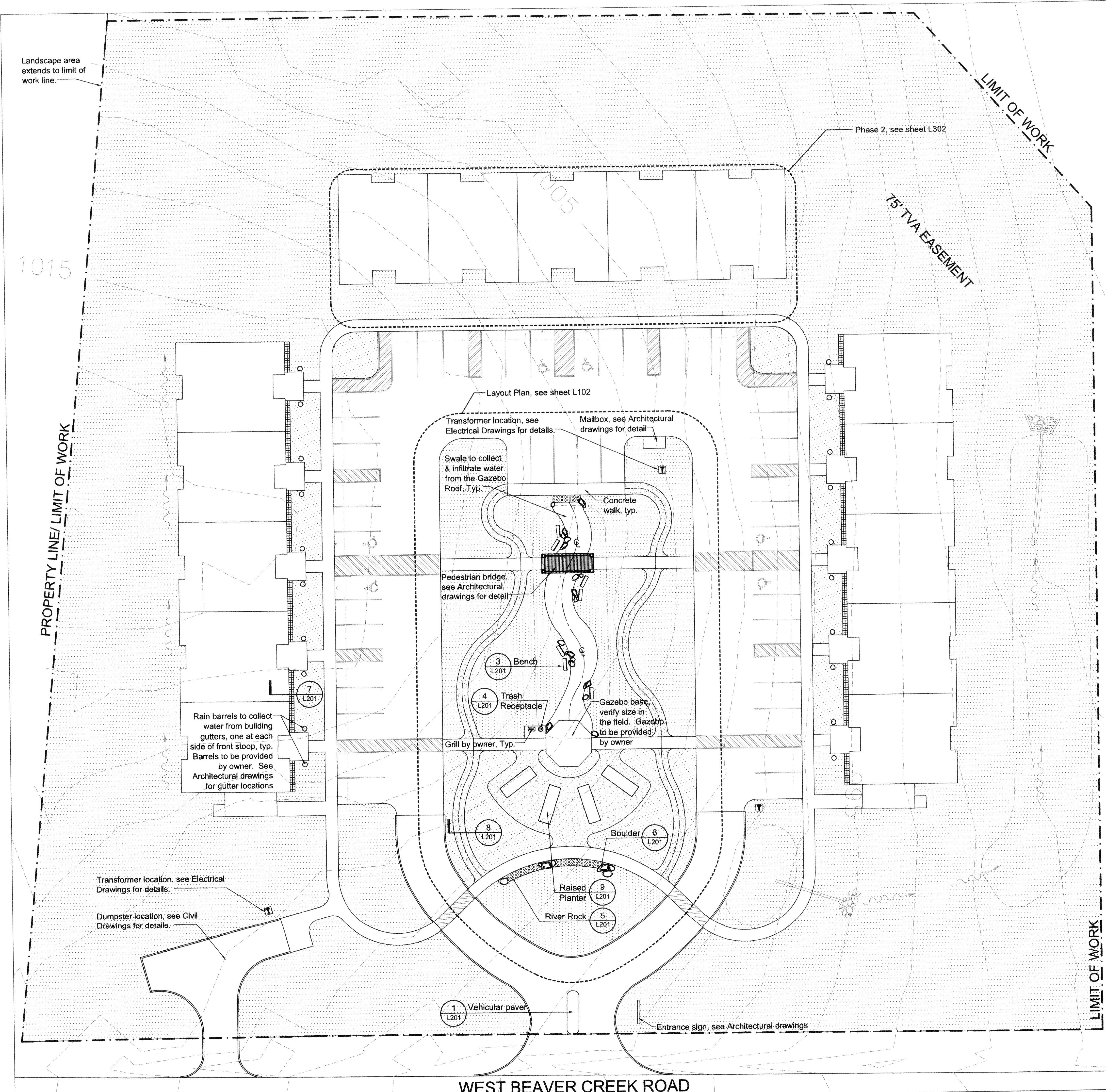
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**SITE GRADING,
DRAINAGE AND
EROSION CONTROL
PLAN**

C 102

Project Number 090401

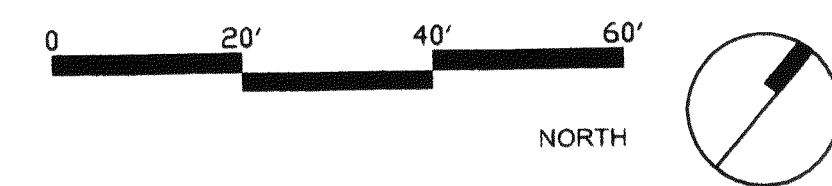


LEGEND		
	Bench	7 Total
	Gazebo	By Owner
	Boulders	24 Total
	Raised Planter	4 Total
	Concrete Pavers	520 SF- Approximate*
	Vehicular Pavers	90 SF- Approximate*
	Limestone #10 fines	3,260 SF- Approximate*
	River rock	140 SF- Approximate*
	Grill	By Owner
	Landscape Area	See sheet PL1.01

*Approximate quantities are for convenience only and should be verified in the field

MATERIALS & LAYOUT NOTES

1. Coordinate with the Owner's Representative for the location of the construction staging area.
2. Provide all required sleeving under paving for site lights, irrigation, and utilities. Sleeves shall be 1" o.c., 6" dia. schedule 40 pvc piping at a depth of 12-18" below grade and extending to 1' beyond edge of paving or planting area. Coordinate with Owner's Representative regarding new irrigation line and trenching under or through existing pavement.
3. All lines and dimensions are parallel or perpendicular to the lines from which they are measured unless otherwise noted.
4. All dimensions are from face of curb, wall, or building, unless otherwise noted.
5. Contractor shall stake the edge or center line of all hardscapes in the field for approval by the Owner's Representative prior to beginning work.
6. Contractor shall mark the location and layout of all benches for approval by the Owner's Representative prior to beginning work.
7. Where new paving meets existing paving or earthwork, smoothly blend line of existing with new.
8. See sheet civil plans for grading layout and notes. See sheet L201 for details and specifications.



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KNOX HOUSING PARTNERSHIP

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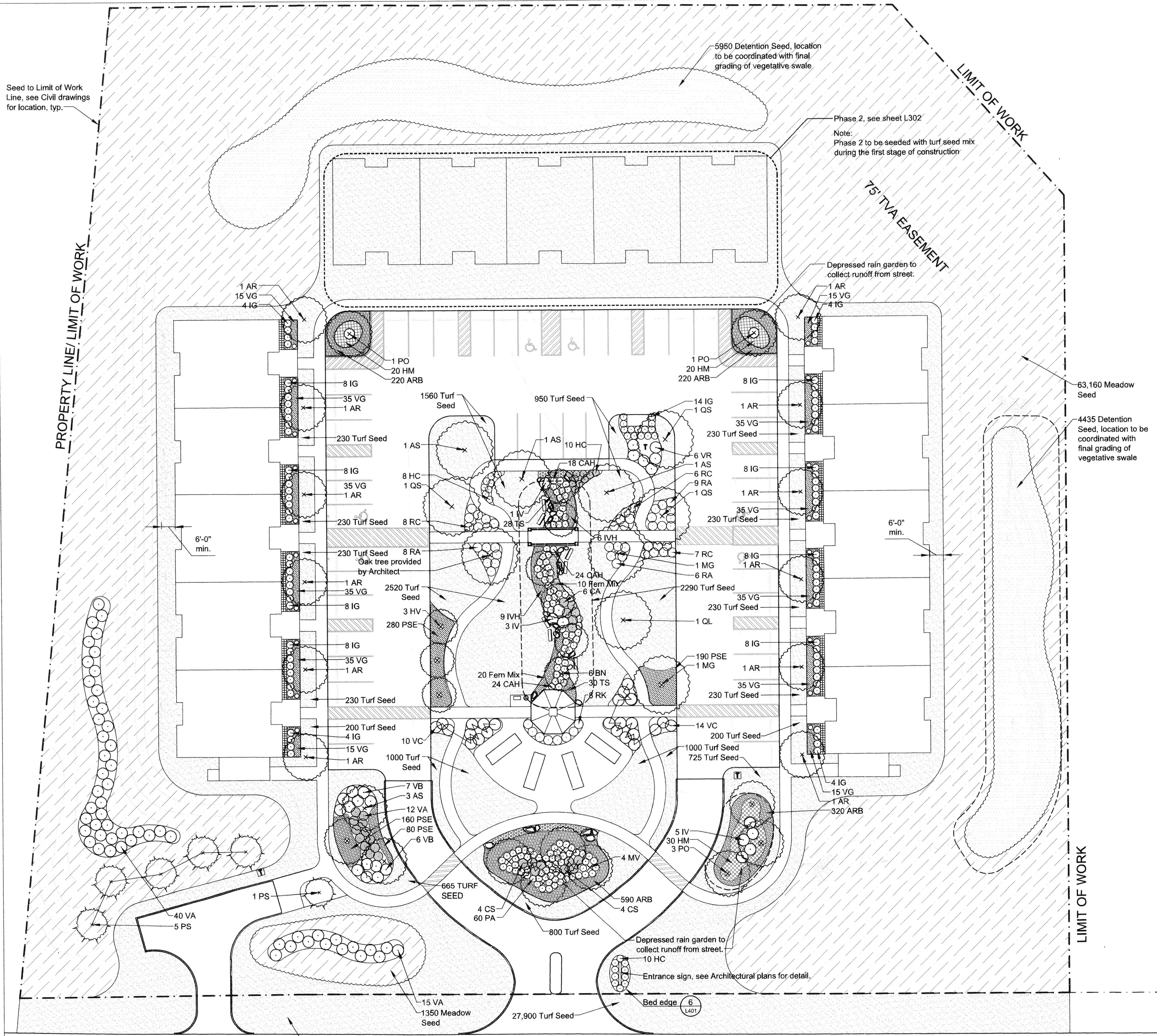
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MATERIALS PLAN

12-D-09-VLR

L101

Project Number 090401



LEGEND

2- 3" Cal. Shade Tree

Ornamental Tree

Evergreen Tree

Groundcover

Perennial

Fern Mix

Overall Landscape = 116,150 sf

Detention Mix - 10,385 sf = 8.9% of total landscape

Meadow Mix - 64,510 sf = 55.5% of total landscape

Turf Mix - 46,070 sf = 39.7% of total landscape (not to exceed 41%)

SEEDING APPLICATION RATES

Note:
Contractor to seed the site in February or April. If seeding occurs any other time, the seed mix will have to be adjusted accordingly.

Detention Seed Mix: 0.25 Acres
Switch Grass - 1 PLS LBS/ Acre
Big Blue Stem - 1 PLS LBS/ Acre
Virginia Wild Rye - 1 PLS LBS/ Acre
Partridge Pea - 14 PLS OZ/ Acre
Blackeyed Susan - 1 PLS OZ/ Acre
Purple Coneflower - 10 PLS OZ/ Acre
Illinois Bundleflower - 7 PLS OZ/ Acre

Meadow Seed Mix: 1.5 Acres
Little Bluestem - 6 PLS LBS/ Acre
Side Oats Grama - 3 PLS LBS/ Acre
Tall Drop Seed - 3 PLS LBS/ Acre
Fall Panicum - 3 PLS LBS/ Acre
Winter Oats - 55 BULK LBS/ Acre

Turf Seed Mix: 1.05 Acres
Turf Type Tall Fescue - 400 LBS/ Acre

- Notes:**
- Field verify areas to receive detention seed mix, meadow seed mix, and turf seed mix and modify order quantity as necessary and divide per detention areas.
 - See sheet L401 for Plant Schedule, Planting Notes, and Planting Details.
 - Quantities are approximate. The contractor shall verify all quantities prior to construction.
 - Seeding quantities in the plant schedule are based on the total site, less the hardscape areas and building footprint.

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BLUEBERRY RIDGE

135 WEST BEAVER CREEK DRIVE | KNOXVILLE, TN

KNOX HOUSING PARTNERSHIP

ISSUE:

09 / 04 / 09 CLIENT REVIEW

09 / 18 / 09 ISSUED FOR ESTIMATE

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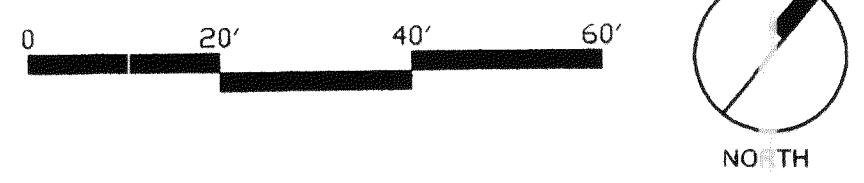
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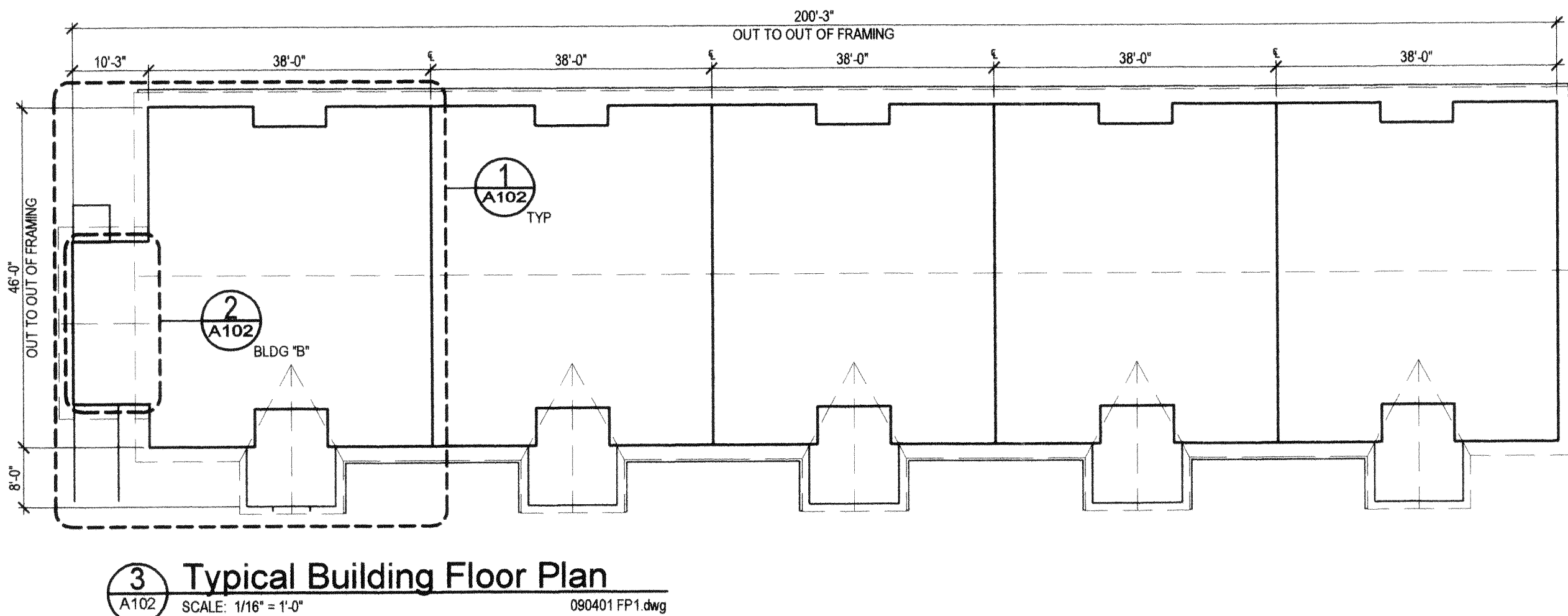
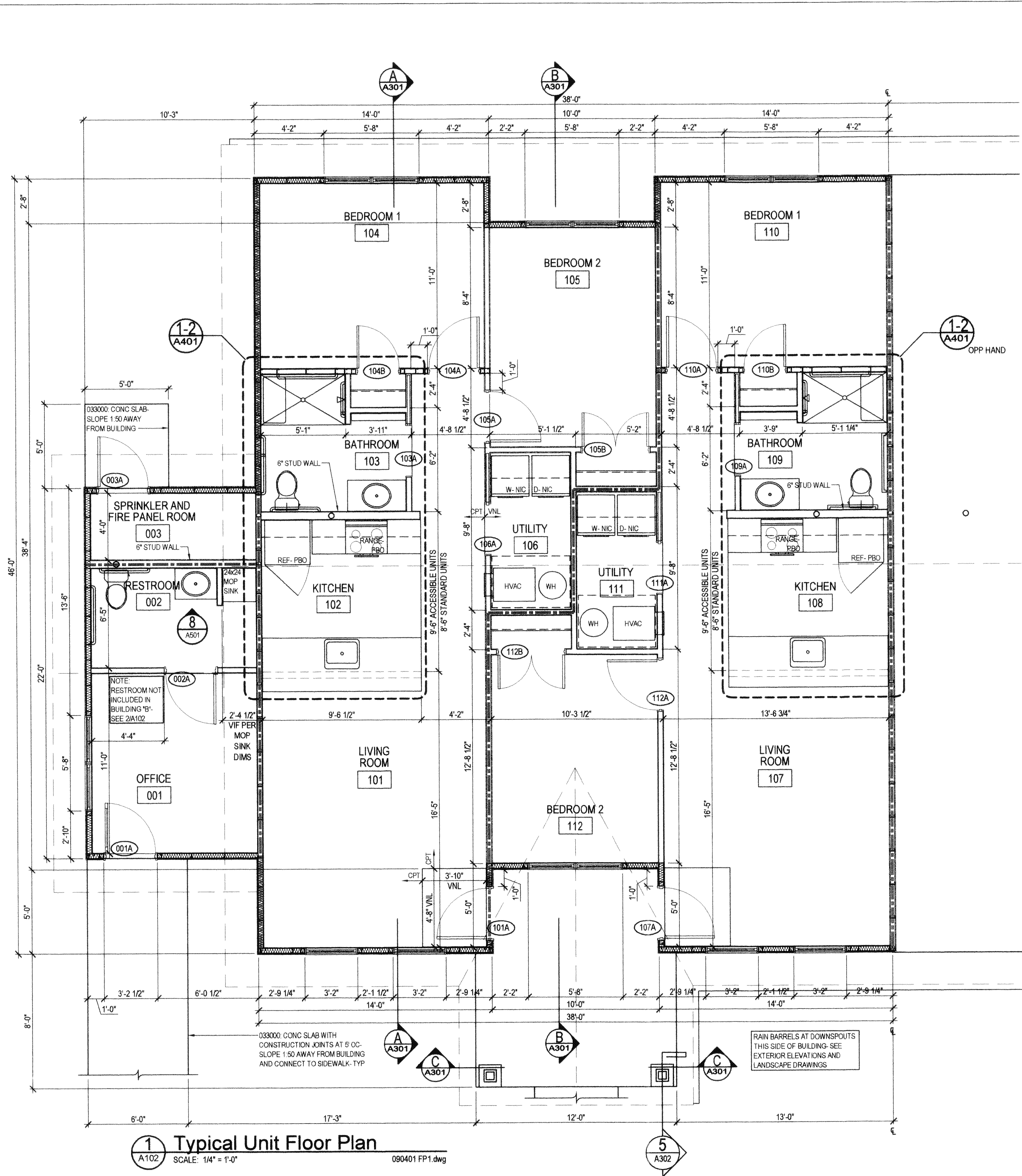
PLANTING PLAN

12-D-09-VR

L301

Project Number 090401





NOTES

- ALL DIMENSIONS ARE TO FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
- DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED FROM DRAWINGS.
- DISCREPANCIES OR QUESTIONS SHALL BE DIRECTED TO ELIZABETH EASON ARCHITECTURE, LLC.
- SEE ELEVATIONS FOR WINDOW TYPES.

WALL TYPES

INTERIOR WALL (NON-LOAD BEARING): 3/8" METAL STUDS UNO, 5/8" GYP BD EA SIDE

INTERIOR WALL (LOAD BEARING): 3/8" METAL STUDS, 5/8" GYP BD EA SIDE

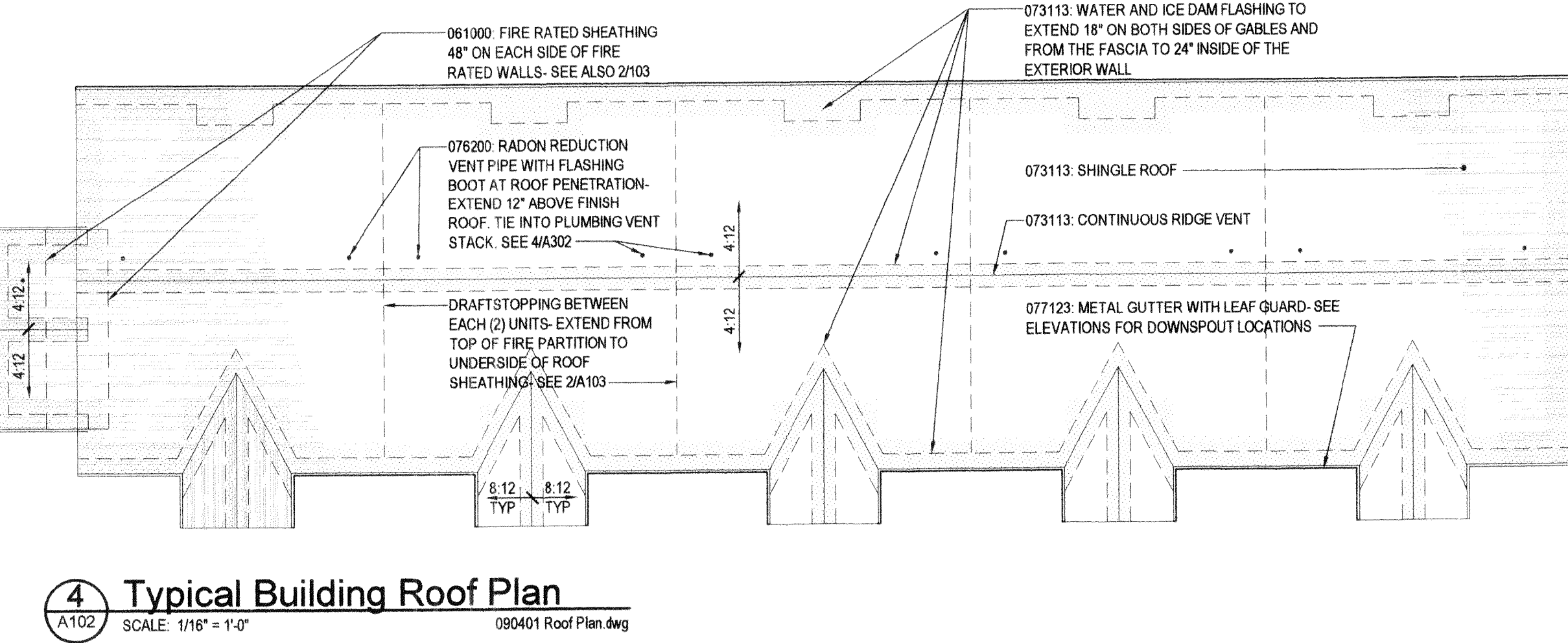
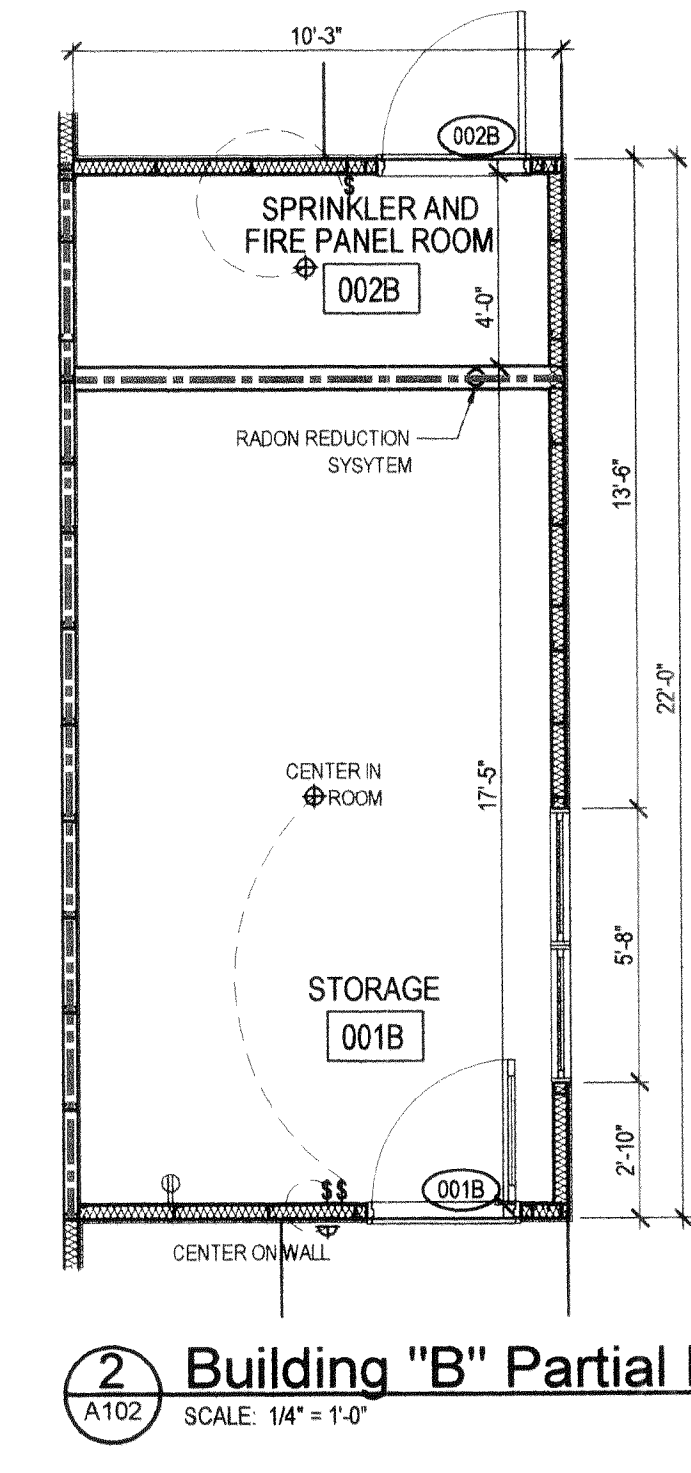
INTERIOR WALL (DRAFTSTOPPING): 3/8" METAL STUDS, 5/8" GYP BD EA SIDE, CONTINUOUS FLEXIBLE ACOUSTICAL PERIMETER SEALANT, DRAFTSTOPPING WALLS EXTEND FROM TOP OF FIRE PARTITIONS TO BOTTOM OF ROOF SHEATHING-TYP

INTERIOR WALL (1-HOUR RATED PARTITION PER UL#419): 3/8" METAL STUDS, CONTINUOUS BLOWN CELLULOSE INSULATION, (1) LAYER 5/8" TYPE "X" GYP BD EACH SIDE, CONTINUOUS FLEXIBLE ACOUSTICAL PERIMETER SEALANT, 1-HOUR PARTITIONS TO EXTEND FROM TOP OF SLAB TO BTM OF TRUSSES-TYP

EXTERIOR WALL (LOAD BEARING): 3/8" METAL STUDS WITH RESNET GRADE 1 R-15 BATT INSULATION, 5/8" GYP BD INTERIOR, SHOWN ON ROOF FRAMING PLAN.

EXTERIOR WALL (1-HOUR RATED PARTITION PER UL#419): 3/8" METAL STUDS, CONTINUOUS BLOWN CELLULOSE INSULATION, INTERIOR: (1) LAYER 5/8" TYPE "X" GYP BD INTERIOR FACE, EXTERIOR: 5/8" DENSEGLASS GOLD FIREGUARD EXTERIOR SHEATHING, 1" SIS, FIBERCEMENT SIDING, CONTINUOUS FLEXIBLE ACOUSTICAL PERIMETER SEALANT, 1-HOUR PARTITIONS TO EXTEND TO BTM OF TRUSSES-TYP.

FIRE PARTITIONS TO COMPLY WITH IBC 2006 SECTION 708



DOOR SCHEDULE												
DOOR								FRAME		HARD-WARE	DOOR PATHWAY, OR OTHER REMARKS	
MARK	WIDTH	HEIGHT	THICK	MATL	GLASS	UNDER CUT	FINISH	FIRE RATING	MATL	TYPE		
001A	3'-0"	6'-8"	1 3/4"	MTL	YES		PAINT		MTL		1	HALF GLASS, WEATHERSTRIP
001B	3'-0"	6'-8"	1 3/4"	MTL	YES		PAINT		MTL		1	HALF GLASS, WEATHERSTRIP
002A	3'-0"	6'-8"	1 3/8"	CMP					MTL		2	
002B	3'-0"	6'-8"	1 3/4"	MTL			PAINT		MTL		1	WEATHERSTRIP
003A	3'-0"	6'-8"	1 3/4"	MTL			PAINT		MTL		1	WEATHERSTRIP
101A	3'-0"	6'-8"	1 3/4"	MTL			PAINT	20 min	MTL		1	WEATHERSTRIP, 20min UL 10C
103A	3'-0"	6'-8"	1 3/8"	CMP							4	POCKET DOOR
104A	3'-0"	6'-8"	1 3/8"	CMP							2	
104B	2'-6"	6'-8"	1 3/8"	CMP							3	
105A	3'-0"	6'-8"	1 3/8"	CMP							2	
105B	4'-0"	6'-8"	1 3/8"	CMP							3	DOUBLE
106A	3'-0"	6'-8"	1 3/8"	CMP							4	POCKET DOOR
107A	3'-0"	6'-8"	1 3/4"	MTL			PAINT		MTL		1	WEATHERSTRIP
109A	3'-0"	6'-8"	1 3/8"	CMP							4	POCKET DOOR
110A	3'-0"	6'-8"	1 3/8"	CMP							2	
110B	2'-6"	6'-8"	1 3/8"	CMP							3	
111A	3'-0"	6'-8"	1 3/8"	CMP							4	POCKET DOOR
112A	3'-0"	6'-8"	1 3/8"	CMP							2	
112B	4'-0"	6'-8"	1 3/8"	CMP							3	DOUBLE

DOOR NOTES

VERIFY DOOR SCHEDULE PRIOR TO PURCHASE.

1. ALSO INCLUDE EXTERIOR SCREEN DOOR

HARDWARE SCHEDULE

SET 1: SCHLAGE "ACCENT" ENTRANCE LEVER, MODEL F51 ACC 613 (OIL RUBBED BRONZE); INCLUDE MATCHING DEAD BOLT; LEVER AND DEADBOLT TO BE KEYPED IDENTICAL; INSTALL TO MEET ICC/ANSI A117.1-2003

SET 2: SCHLAGE "ACCENT" LEVER, MODEL F51 ACC 619 (SATIN NICKEL); PRIVACY LOCK TO OPERATE FROM BEDROOM SIDE; INSTALL TO MEET ICC/ANSI A117.1-2003

SET 3: SCHLAGE "ACCENT" LEVER, MODEL F51 ACC 619 (SATIN NICKEL); PASSAGE; INSTALL TO MEET ICC/ANSI A117.1-2003

SET 4: TRIMCO 1069L SLIDING DOOR PRIVACY PULL, BHMA 630 (SATIN STAINLESS STEEL); INSTALL TO MEET ICC/ANSI A117.1-2003

NOTE 1: VERIFY HARDWARE SCHEDULE WITH OWNER PRIOR TO CONSTRUCTION.

NOTE 2: EACH UNIT SHALL BE KEYPED DIFFERENTLY SUCH THAT NO TWO UNITS SHARE THE SAME KEY. TWO COPIES OF EACH UNIT KEY SHALL BE PROVIDED TO KNOX HOUSING PARTNERSHIP. TWO MASTER KEYS ABLE TO UNLOCK ALL DOORS SHALL BE PROVIDED TO KNOX HOUSING PARTNERSHIP.

ABBREVIATIONS

CMP COMPOSITE METAL PAINT

MTL METAL

ROOM FINISH SCHEDULE											
ROOM NO.	FUNCTION/DESCRIPTION	FLOORING			WALLS			CEILING			
		MATL	BASE	FINISH	MATERIAL	FINISH	WAIN-SCOT	MATL	TYPE	FINISH	HEIGHT
001	OFFICE	VNL	WD		GWB	PAINT		GWB		PAINT	9'-0"
001B	STORAGE	CONC	WD		GWB	PAINT		GWB		PAINT	9'-0" BLDG "B"
002	RESTROOM	VNL	WD		GWB-MR	PAINT		GWB		PAINT	9'-0"
002B	SPRINKLER / FIRE PANEL	CONC	WD		GWB-MR	PAINT		GWB		PAINT	9'-0" BLDG "B"
003	SPRINKLER / FIRE PANEL	CONC	WD		GWB-MR	PAINT		GWB		PAINT	9'-0"
101	LIVING ROOM	CPT/VNL	WD		GWB	PAINT		GWB		PAINT	VARIES
102	KITCHEN	VNL	WD		GWB-MR	PAINT		GWB		PAINT	9'-0"
103	BATHROOM	VNL	WD		GWB-MR	PAINT		GWB-MR		PAINT	8'-0"
104	BEDROOM 1	CPT	WD		GWB	PAINT		GWB		PAINT	VARIES
105	BEDROOM 2	CPT	WD		GWB	PAINT		GWB		PAINT	9'-0"
106	UTILITY	VNL	WD		GWB-MR	PAINT		GWB-MR		PAINT	8'-0"
107	LIVING ROOM	CPT/VNL	WD		GWB	PAINT		GWB		PAINT	VARIES
108	KITCHEN	VNL	WD		GWB-MR	PAINT		GWB		PAINT	9'-0"
109	BATHROOM	VNL	WD		GWB-MR	PAINT		GWB-MR		PAINT	8'-0"
110	BEDROOM 1	CPT	WD		GWB	PAINT		GWB		PAINT	VARIES
111	UTILITY	VNL	WD		GWB-MR	PAINT		GWB-MR		PAINT	8'-0"
112	BEDROOM 2	CPT	WD		GWB	PAINT		GWB		PAINT	9'-0"

FINISH NOTES

- PAINT GYPSUM BOARD (1) COAT PRIMER, (2) COATS FINISH.
- TRANSITION STRIPS SHALL BE INSTALLED AT ALL CHANGES IN FLOOR MATERIAL TO COMPLY WITH ICC/ANSI A117.1-2003.
- SEE PLAN FOR LOCATIONS WHERE FIRE RESISTIVE GYPSUM WALL BOARD IS REQUIRED.

ABBREVIATIONS

GWB GYPSUM WALL BOARD-SEE PLAN FOR TYPE "X" LOCATIONS

GWB-MR GYPSUM WALL BOARD, MOISTURE-RESISTANT

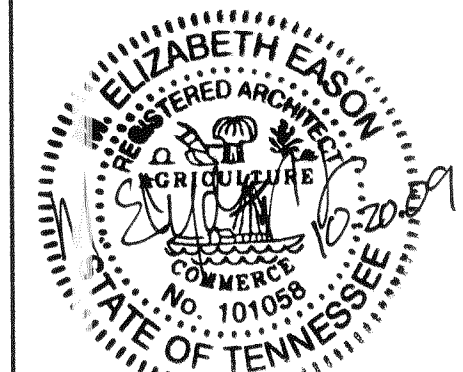
PAINT PAINTED

VNL PAINTED SHEET VINYL

WD WOOD

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KNOX HOUSING PARTNERSHIP

ISSUE:

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FLOOR AND ROOF PLANS

12-D-09-02

A 102

Project Number 090401