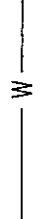
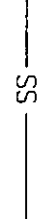
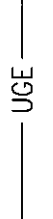
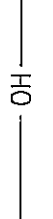
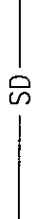
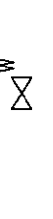
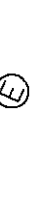




NOTES:

1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM A SURVEY DATED SEPTEMBER 23, 2013 AND PREPARED BY ROTH LAND SURVEYING.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
3. THE MINIMUM ALLOWED GRADE AND ASPHALT SURFACE COURSES SHALL MEET THE MATERIALS SPECIFICATIONS, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE SPECIFICATIONS. THE MINIMUM ALLOWED GRADE SHALL MEET THE MINIMUM ALLOWED GRADE SPECIFICATIONS OF THE ENGINEERING STANDARD SPECIFICATIONS.
4. CONCRETE CURB AND FINGERWALL SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS SPECIFICATIONS OF THE MINIMUM ALLOWED GRADE SPECIFICATIONS OF THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. PROPERTY CONCERNED REFLECTS PARCEL 19.03 AS SHOWN ON THE CITY OF KNOXVILLE PLAT MAP OF THE BLOCK NO. 08.143, WARD NO. 6, DISTRICT 06. ZONING FOR THE PROPERTY IS C-2, D-1. TOTAL DISTURBED AREA = 1.15 ± AC.
7. OWNER: CITY OF KNOXVILLE
KNOXVILLE, TN 37901
8. BUILDING SETBACK:
FRONT - 10 FEET SETBACK, FOR ALL BUILDINGS
SIDE - 5 FEET SETBACK, FOR ALL BUILDINGS
REAR - 10 FEET SETBACK, FOR ALL BUILDINGS
STREET - 10 FEET SETBACK, FOR ALL BUILDINGS
SIDE - NONE
REAR - NONE
9. RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER. RETAINING WALLS SHALL BE DESIGNED AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REVIEW TO DETERMINE PLANS FOR RETAINING WALLS SHALL BE PROVIDED TO THE CITY OF KNOXVILLE FOR REVIEW. RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES, SHALL BE REVIEWED BY THE CITY OF KNOXVILLE FOR REVIEW.
10. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
11. PRIOR TO INSTALLING NEW PIPING, CONTRACTOR SHALL LOCATE EXISTING UTILITIES/STRUCTURES WHERE NEW PIPES WILL BE INSTALLED. CONTRACTOR SHALL OBTAIN ALL NECESSARY UTILITY LOCATIONS FROM THE CITY OF KNOXVILLE. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES/STRUCTURES ARE AT THE CORRECT VERTICAL LOCATIONS BY FIELD SURVEY, AND RESOLVE ANY CONFLICTS PRIOR TO INSTALLING NEW PIPING. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND NOT BE RESPONSIBLE FOR THE PROTECTION OF THE OTHER.
12. PRIOR TO INSTALLING NEW PIPING.
13. THIS PROJECT WILL REQUIRE A SWPPP & NOC PERMIT.
14. A SPECIAL POLLUTION ABATEMENT PERMIT (SPAP) IS REQUIRED FOR THE MAIN RAYS.
15. A VARIANCE IS REQUESTED FOR THE TWO DRIVEWAY ACCESS POINTS ON WALNUT STREET.

LEGEND:

	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPERTY BOUNDARY
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD LINE
	EXISTING STORM PIPE
	EXISTING STORM MANHOLE
	EXISTING WATER VALVE
	EXISTING LIGHT/POWER POLE
	EXISTING STORM INLET
	EXISTING WATER METER
	EXISTING STORM MANHOLE
	EXISTING ELECTRIC VAULT
	EXISTING TREE/SHRUB

**-PRELIMINARY-
NOT FOR
CONSTRUCTION**

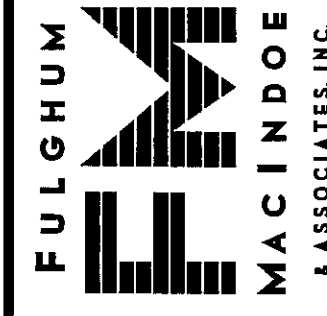
SITE LAYOUT AND PAVING PLAN

DATE: 26 NOV 2013
PROJECT NO.: 131034
PROJECT MGR.: STUART

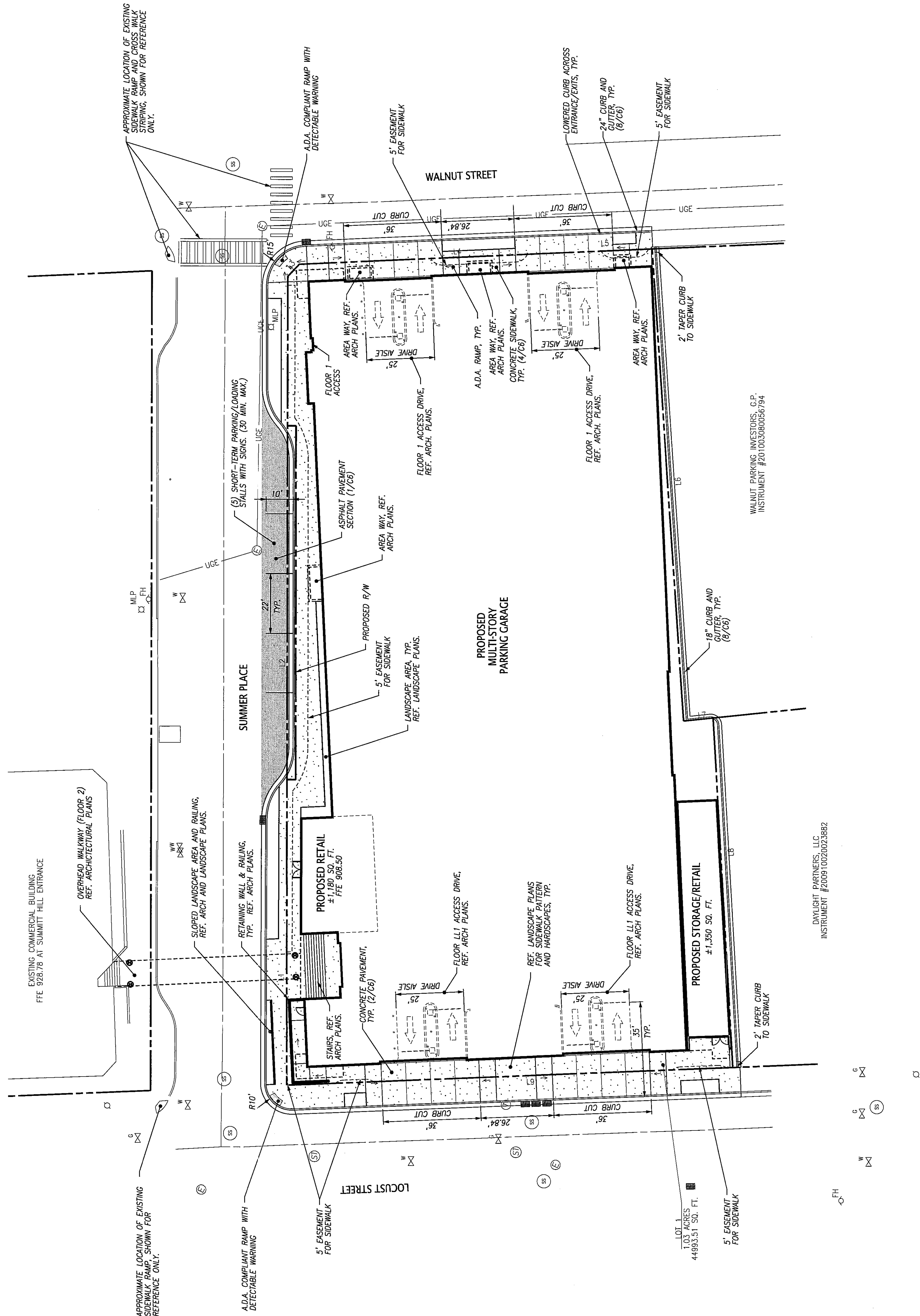
02

12-D-13-UR
REVISED
11-27-13

CIVIL ENGINEER:

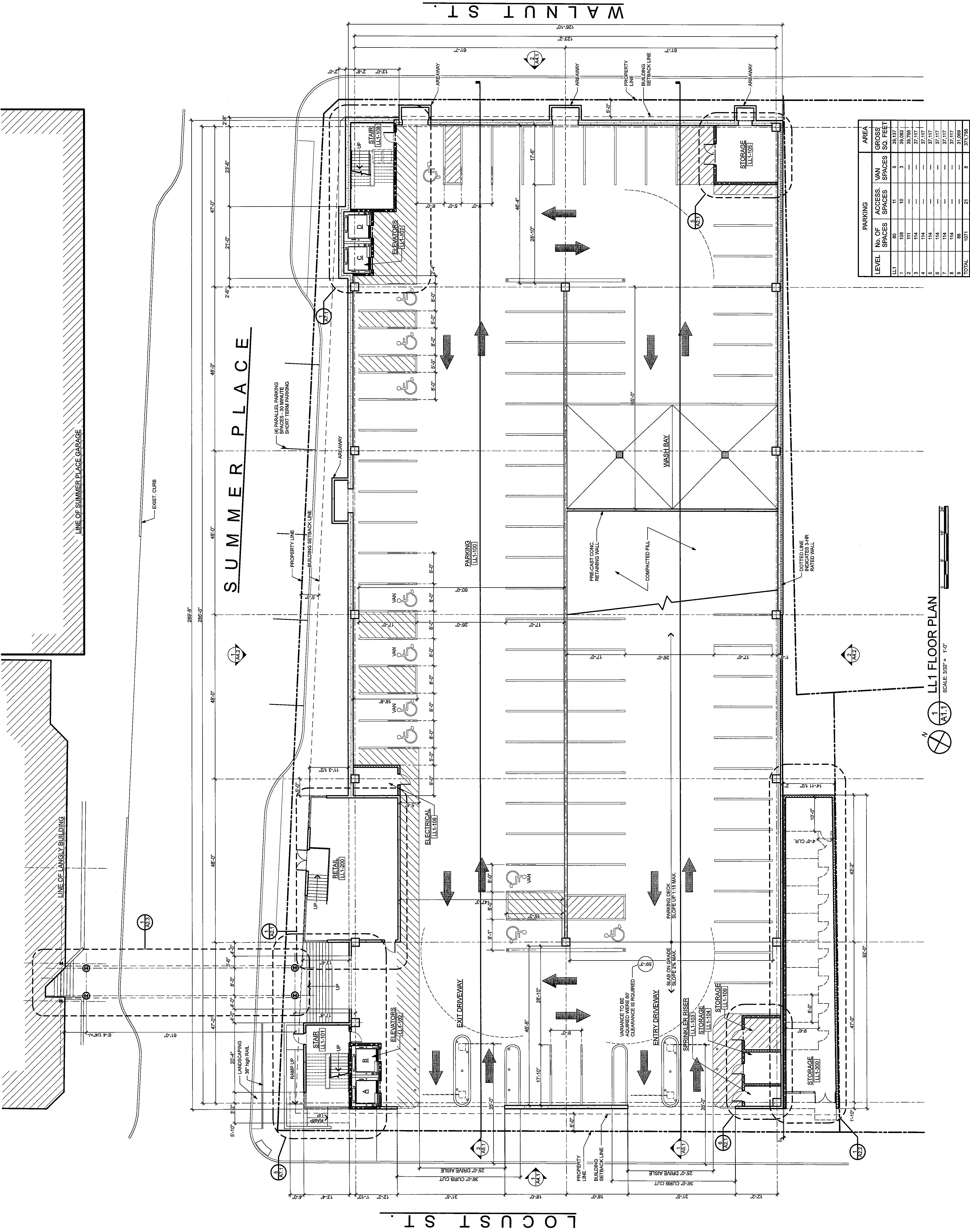


10330 HARDIN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com
EPA PROJECT: 338.017



DAYLIGHT PARTNERS, LLC
INSTRUMENT #200910020023882

 $\mathbb{C} \otimes \mathbb{Q}$

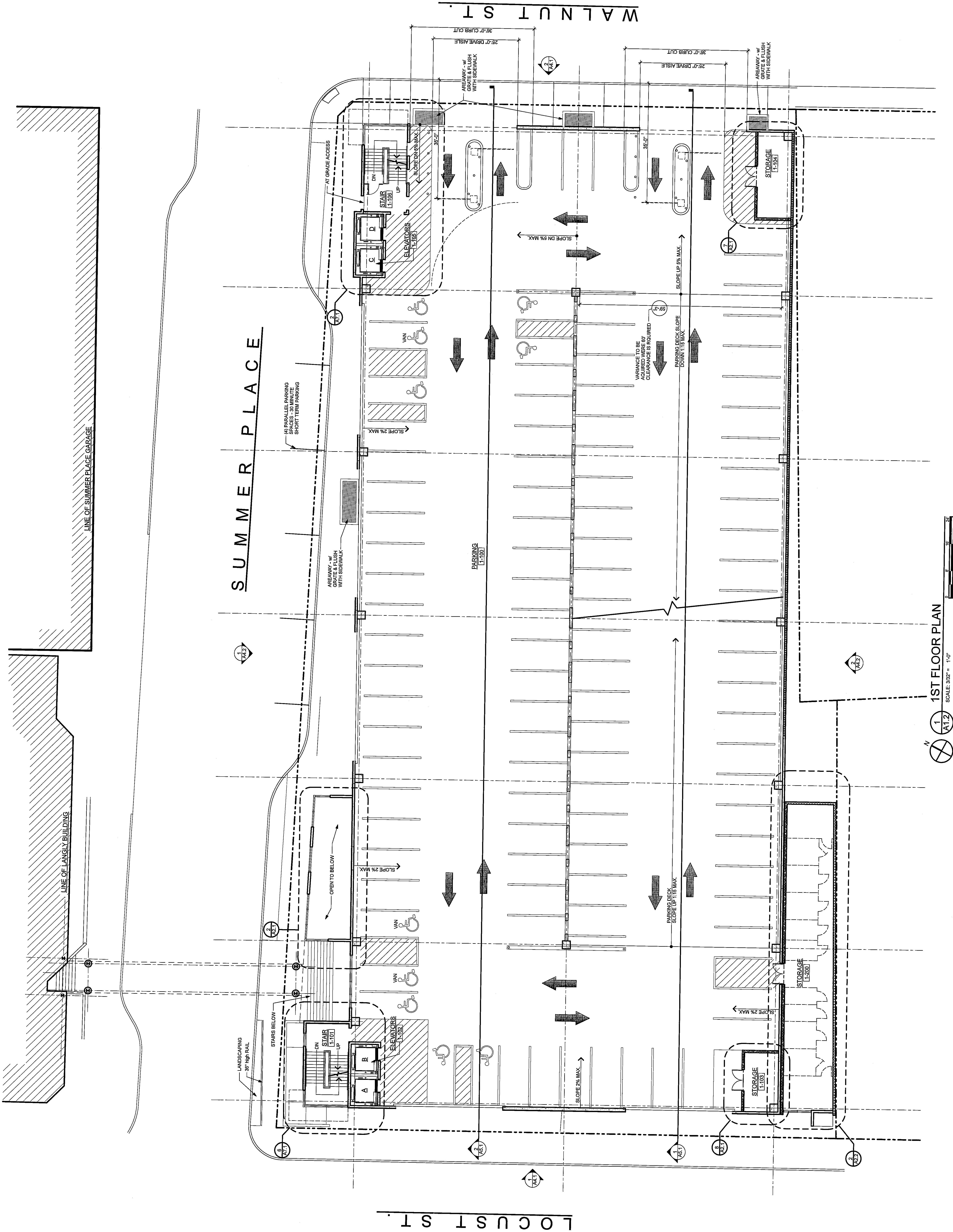


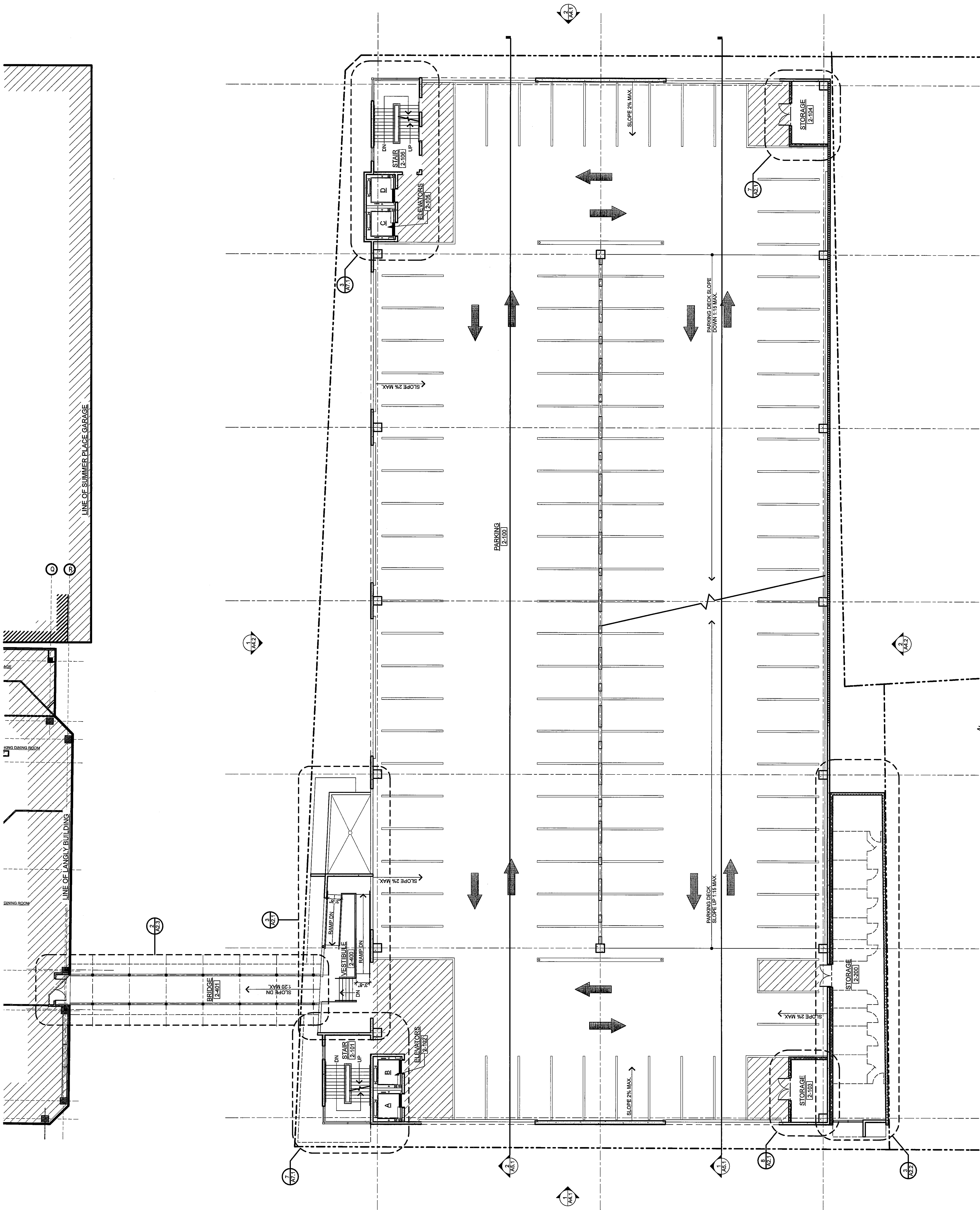
LL1 FLOOR PLAN
SCALE: 3/32" = 1'-0"

1ST FLOOR PLAN

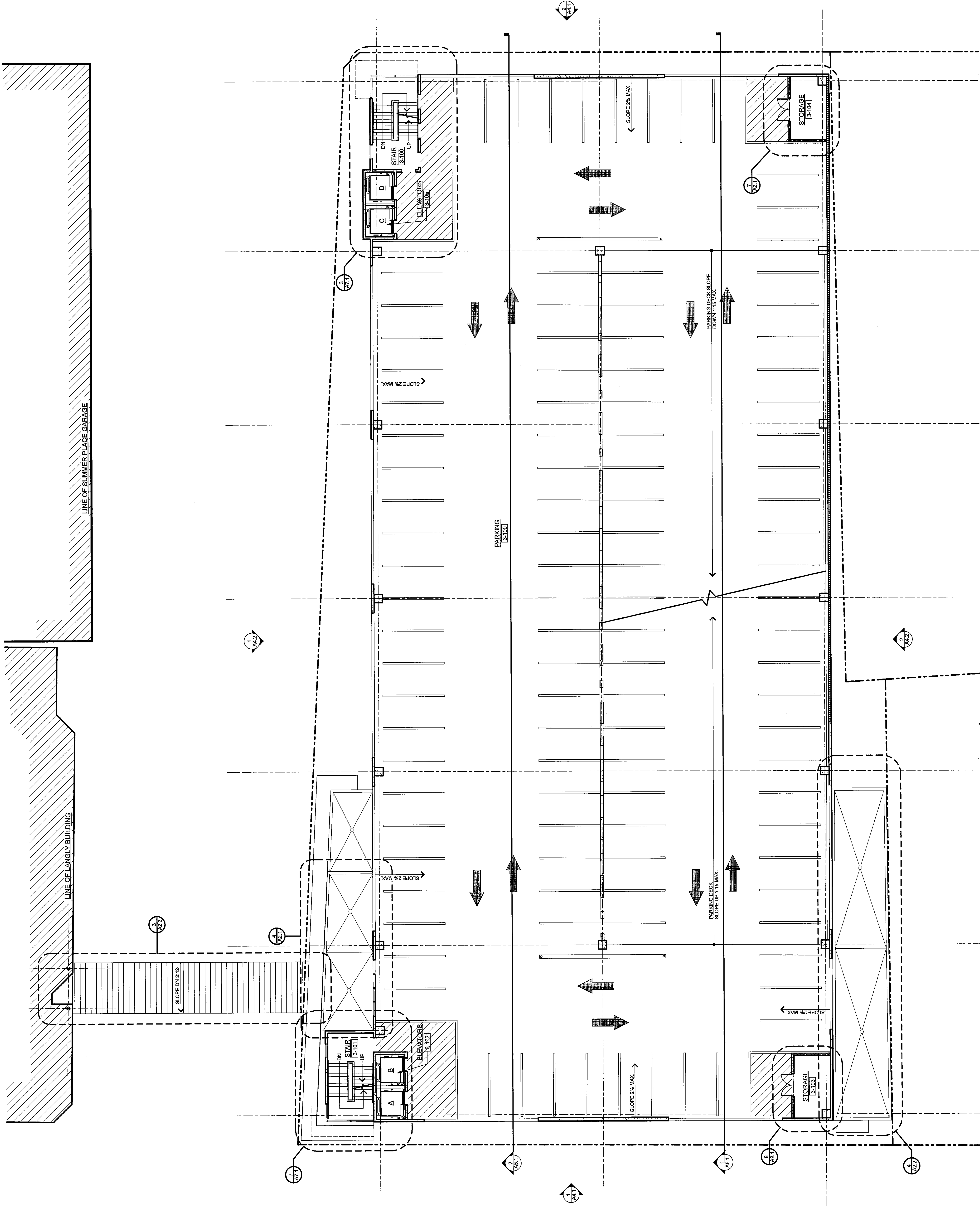
PRELIMINARY -
NOT FOR
CONSTRUCTION

A NEW PARKING GARAGE FOR
WALNUT PARKING GARAGE, LLC
KNOXVILLE, TENNESSEE

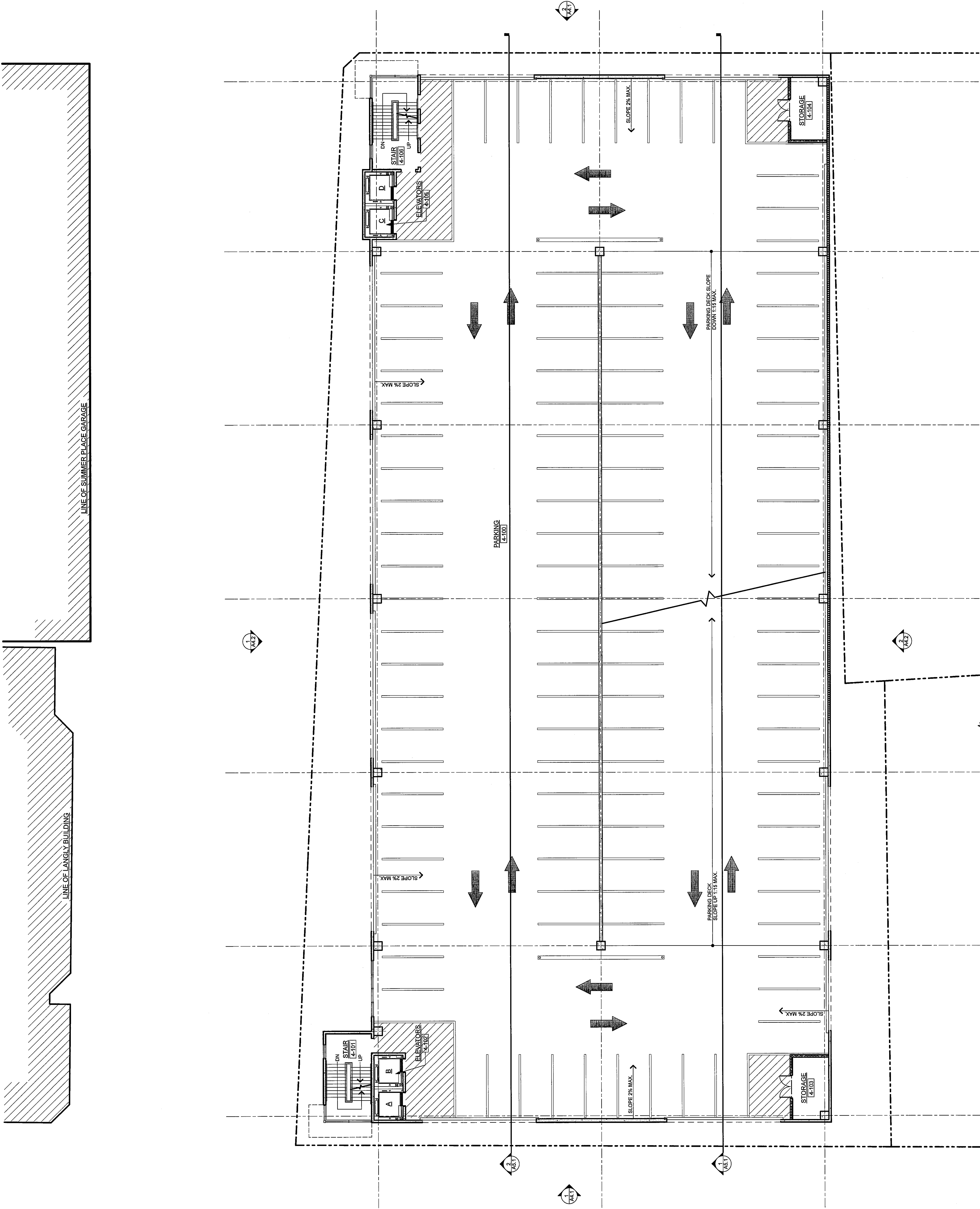


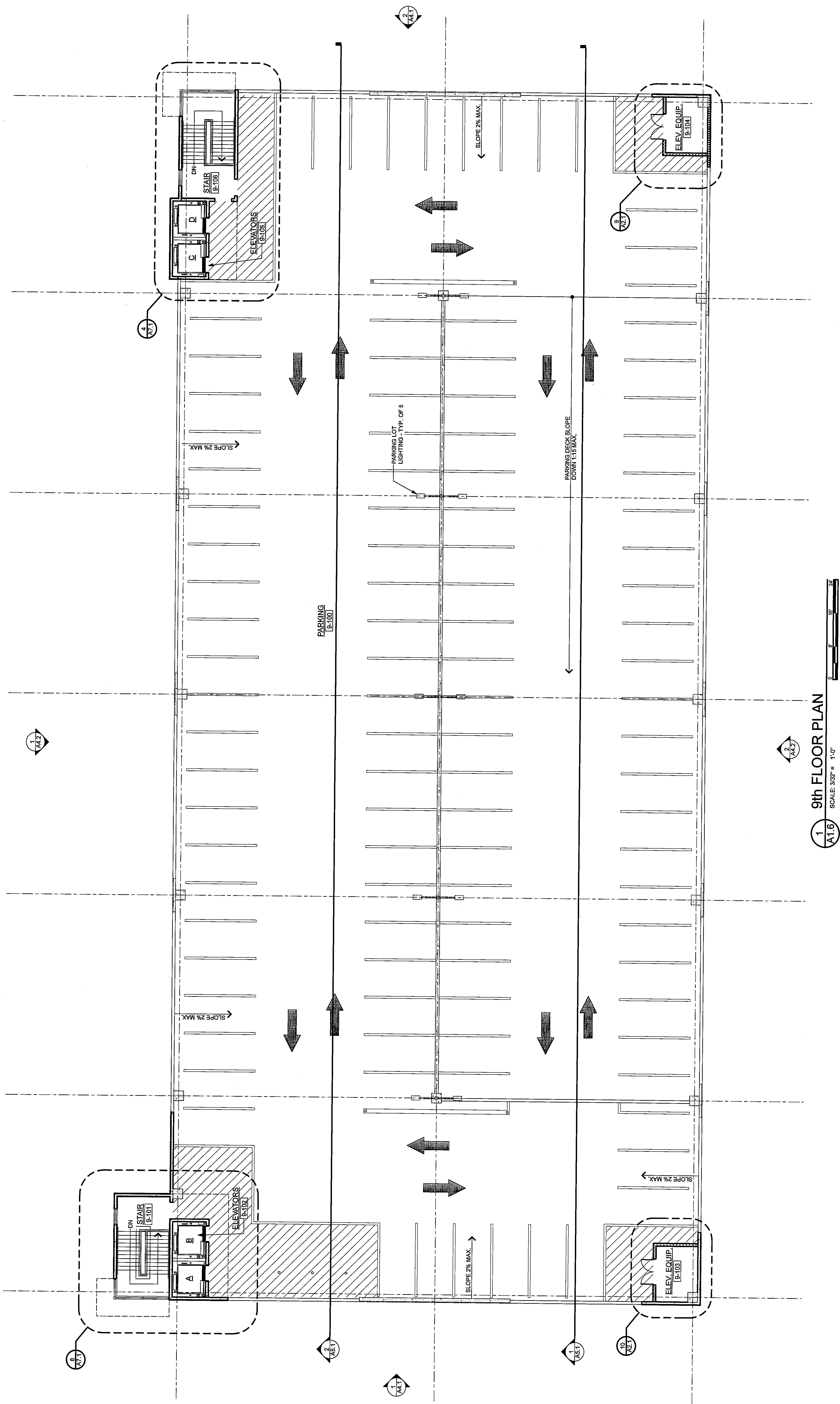


1 2ND FLOOR PLAN
SCALE 3/32" = 1'-0"



1 THIRD FLOOR PLAN
A1.4 SCALE: 3/32" = 1'-0"





1 9th FLOOR PLAN
A1.6 SCALE 3/32" = 1'-0"

