

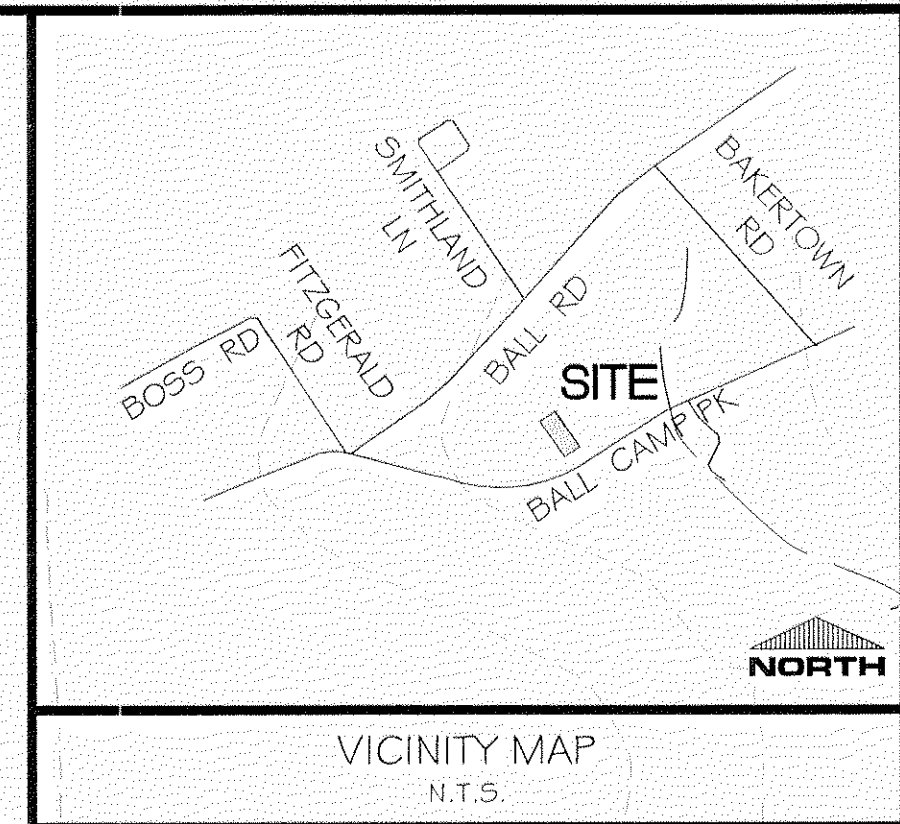
- NOTES:
- BEFORE ANY EXCAVATION, NOTIFY TENNESSEE ONE-CALL SYSTEM AT 1-800-351-1111 AND INDIVIDUAL UTILITY AUTHORITY FOR EXACT LOCATION OF ALL UNDERGROUND UTILITIES.
 - IRON RODS FOUND AT ALL CORNERS EXCEPT AS SHOWN.
 - PROPERTY IS ZONED PR 1-7 DU/AC.
SETBACKS:
FRONT.....20'
SIDE.....5'
REAR.....15'
PERIPHERY.....35'
 - CLT MAP 091 PARCEL 210.
 - 6th CIVIL DISTRICT KNOX COUNTY, TENNESSEE.
 - DEED REFERENCE: DEED BOOK 1957, PAGE 759.
 - 5' UTILITY AND DRAINAGE EASEMENT INSIDE ALL INTERIOR LOT LINES. 10' UTILITY AND DRAINAGE EASEMENT INSIDE ALL EXTERIOR LOT LINES AND ROAD, UNLESS OTHERWISE SHOWN.
 - 2' CONTOURS PROVIDED BY KNOXVILLE/KNOX COUNTY GIS.9. UTILITIES:
WATER & SEWER: W.K.U.D.
ELECTRIC & GAS: K.U.B.
TELEPHONE: BELLSOUTH
 - ALL ROADWAYS WILL BE PRIVATE.
 - MINIMUM FLOOR ELEVATION FOR UNIT 14-17, 12 & 22 IS ONE FOOT ABOVE THE BERM OF THE DETENTION BASIN
 - THIS PROPERTY CONTAINS 10.67 ACRES SUBDIVIDED INTO 2 SINGLE FAMILY DETACHED LOTS AND ONE LOT OF 69 UNITS, FOR A TOTAL OF 71 UNITS FOR THIS DEVELOPMENT

CERTIFICATION OF CONCEPT PLAN

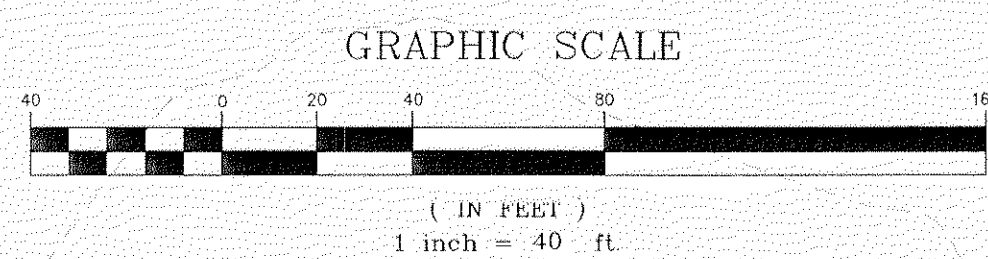
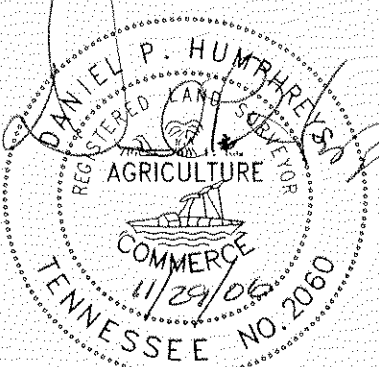
I HEREBY CERTIFY THAT I AM A SURVEYOR, LICENSED TO DO SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

DANIEL P. HUMPHREYS R.L.S.
Tennessee Reg. No. 2060

11/29/06
DATE



Site Infrastructure Transportation Engineers
Knoxville, TN 37932
Phone: (865) 693-5010
Fax: (865) 693-5868



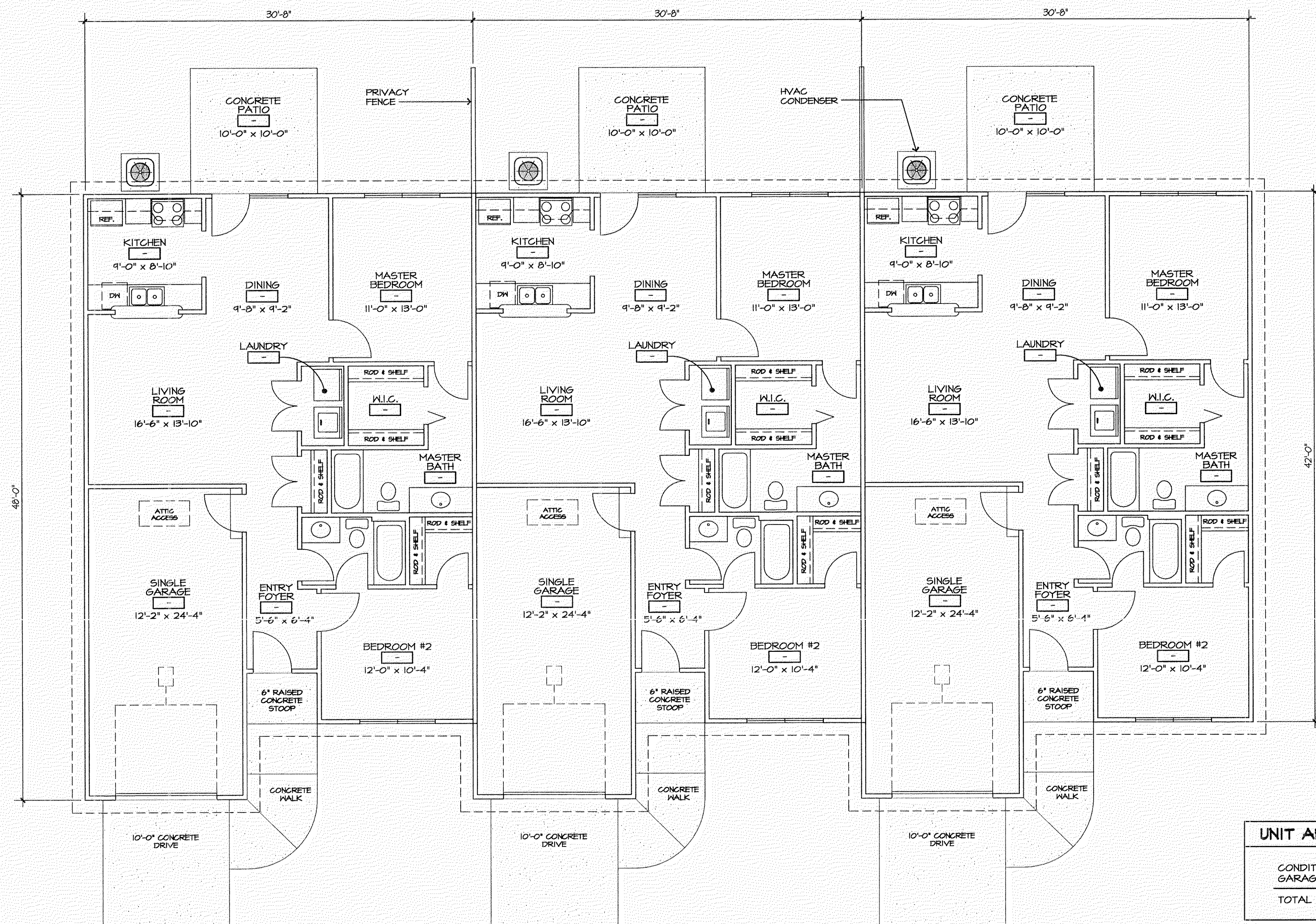
EMMETT GASTON STEVENS, JR.
INST#200009200020246

REVISED
12-1-06
MPC FILE # 12-J-06-UR

Development Plan for
Henderson Tract
Ball Camp Pike
Knox County, Tennessee
Owner: Debra Henderson

REVISIONS		DATE	BY	DATE
NO.	DATE	COMMENTS	CHECKED BY	FILE
1	11/29/06	revised per MPC comments dated 11/29/06	1676ur	11/05/06

C 1.0



UNIT AREA TABULATION		
CONDITIONED SPACE -	1,030	Sq. Ft.
GARAGE -	312	Sq. Ft.
TOTAL CONDITIONED =	1,342	Sq. Ft.

01 3 - UNIT BUILDING PLAN
 A1 1/8" = 1'-0"
 649_UNITS



02 3 - UNIT BUILDING ELEVATION
 A1 1/8" = 1'-0"
 649_UNITS

studio 7, pllc

ARCHITECTURE PLANNING INTERIORS

2033 CASTAIC LANE SUITE 102
KNOXVILLE TENNESSEE 37932
O 865 934 0277 F 865 693 5868

THIS DRAWING AND THE DESIGN IT
CONVEYS ARE THE SOLE PROPERTY OF
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PARTIES WITHOUT WRITTEN CONSENT

Ball Camp Condos Ball Camp Pike Knoxville, TN 37931

THIS DRAWING HAS BEEN ISSUED:

- ☒ FOR INFO/REVIEW
- ☐ FOR PERMITTING
- ☐ FOR PRICING/BIDDING
- ☐ FOR CONSTRUCTION

ISSUED DATE: 12/01/06

DRN BY THK CHK BY LEL

649_ba11.dwg PROJECT # - 0649

REV DRN BY DATE CHK BY

REV	DRN BY	DATE	CHK BY

Ball Camp Condos

FLOOR PLAN
ELEVATION

A1.1

12-5-06 UK

