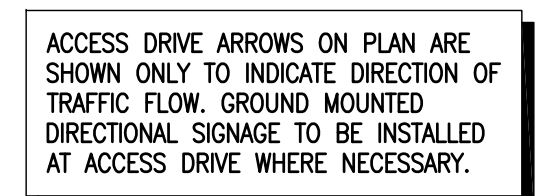






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	OWNER:
M	<b>THE ASLAN FOUNDATION</b> 4823 OLD KINGSTON PIKE SUITE 140 KNOXVILLE, TN 37919 T 865.524.6360
T	ARCHITECT:
L	<b>SANDERS PACE ARCHITECTURE</b> 514 W. JACKSON AVE, SUITE 102 KNOXVILLE, TENNESSEE 37902 T 865.329.0316 F 865.546.2348
K	CIVIL ENGINEER:  <b>FULGHUM, MACINDOE, &amp; ASSOCIATES, INC.</b> 10330 HORDEN VALLEY ROAD KNOXVILLE, TENNESSEE 37932 T 865.690.6419



SITE PLAN | FLOOR PLAN

A

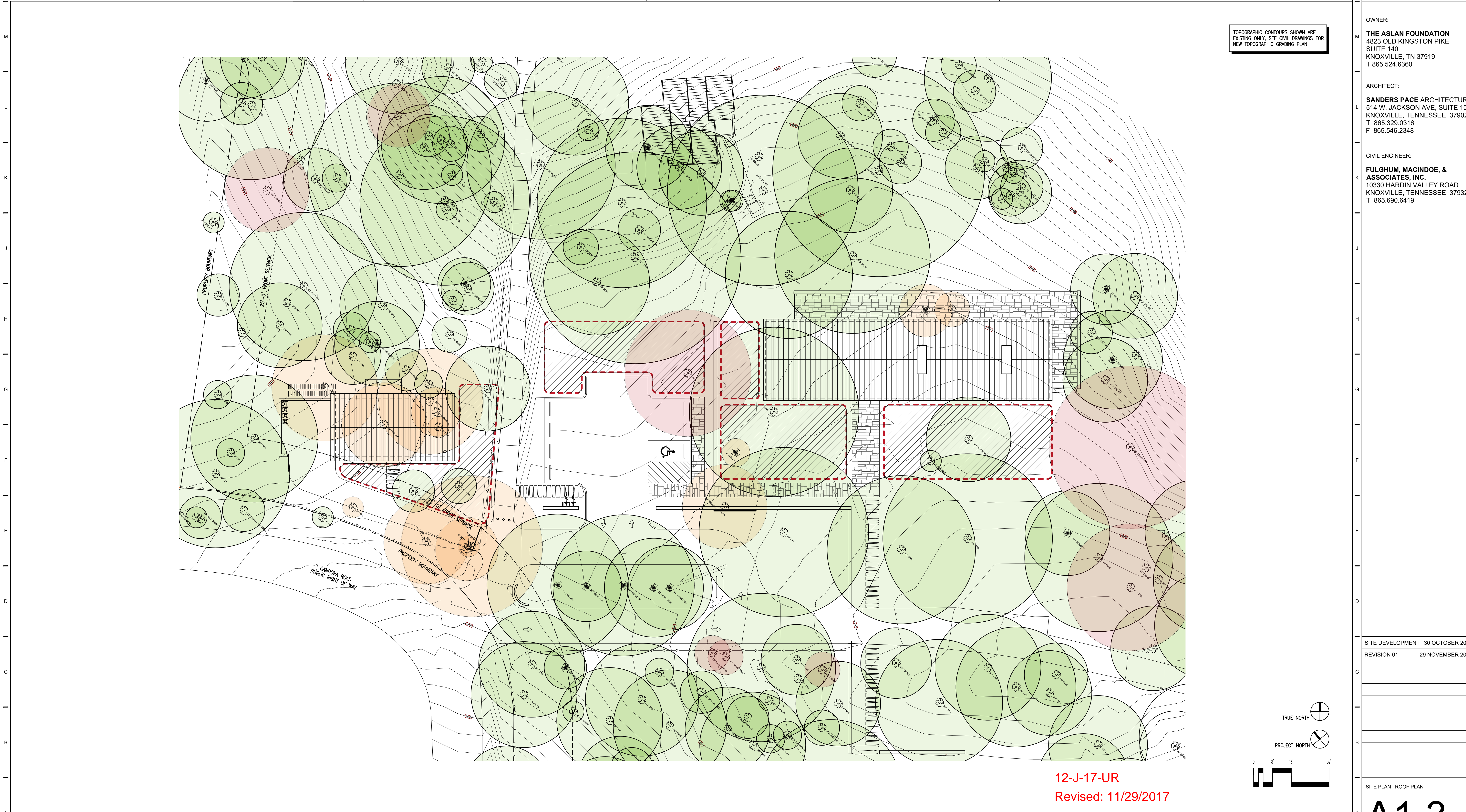
# A1.2

1724\_A12.DWG

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<div><div><div><div><div></div><div>EXISTING TREES TO REMAIN</div></div><div><div></div><div>NEW LANDSCAPE PLANTINGS</div></div><div><div></div><div>DEAD EXISTING TREES TO BE REMOVED</div></div><div><div></div><div>EXISTING TREES TO BE REMOVED</div></div></div></div></div>		<div><div><div><div><div>PARKING LOT LANDSCAPING: PER ORDINANCE SECTION 7.11 PARKING LOT LANDSCAPING IS NOT REQUIRED: "THESE STANDARDS SHALL APPLY TO NEWLY CONSTRUCTED PARKING LOTS/VEHICULAR USE AREAS OF 10,000SF OR LARGER"</div><div>PROPOSED PARKING LOT/ VEHICULAR USE AREA: 5,281 SF</div></div></div><div><div><div><div><div>KNOXVILLE TREE REQUIREMENTS:</div><div>NO NEW TREES ARE REQUIRED PER ORDINANCE CHAPTER 14. SEE A1.3 FOR QUANTITY/CALIPER AND CLASSIFICATION OF SPECIES OF EXISTING TREES.</div></div></div></div></div></div></div>		<div><div><div><div><div>PARKING REQUIREMENTS (PER KNOXVILLE MPC CODE OF ORDINANCES ADOPTED 10.10.17)</div><div>GATEWAY BUILDING   USE: ACCESSORY TO RESIDENTIAL UNITS</div><div>EXISTING RESIDENTIAL UNITS</div><div>CARETAKER/MAINTENANCE BUILDING   USE: HOUSING DETACHED</div><div>PROJECT TOTALS</div></div><div><div>(1) SPACE PER EMPLOYEE AT LARGEST SHIFT: (2) SPACES REQUIRED, (7) SPACES PROPOSED</div><div>(10) SPACES EXISTING</div><div>(2) SPACES REQUIRED PER UNIT: (2) SPACES PROPOSED</div><div>(10) PARKING SPACES EXISTING, (9) NEW PARKING SPACES PROPOSED</div></div></div></div></div>		<div><div><div>N5</div><div>1724_LNDKEY</div></div><div><div>EXISTING LANDSCAPING KEY</div><div>NTS</div></div></div>	<div><div><div>N10</div><div>1724_LNDREQ</div></div><div><div>LANDSCAPING REQUIREMENTS</div><div>NTS</div></div></div>	<div><div><div>N15</div><div>1724_PRKREQ</div></div><div><div>PARKING REQUIREMENTS</div><div>NTS</div></div></div>
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A1	SITE PLAN   ROOF PLAN - EXISTING LANDSCAPING
1724_XPRF	1/16" = 1'-0"

LOGHAVEN GATEWAY  
4100 CANDORA RD  
KNOXVILLE, TENNESSEE 37920  
SPA PROJECT #: 1724

NOT FOR CONSTRUCTION

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4823 OLD KINGSTON PIKE  
SUITE 140  
KNOXVILLE, TN 37919  
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ARCHITECT:  
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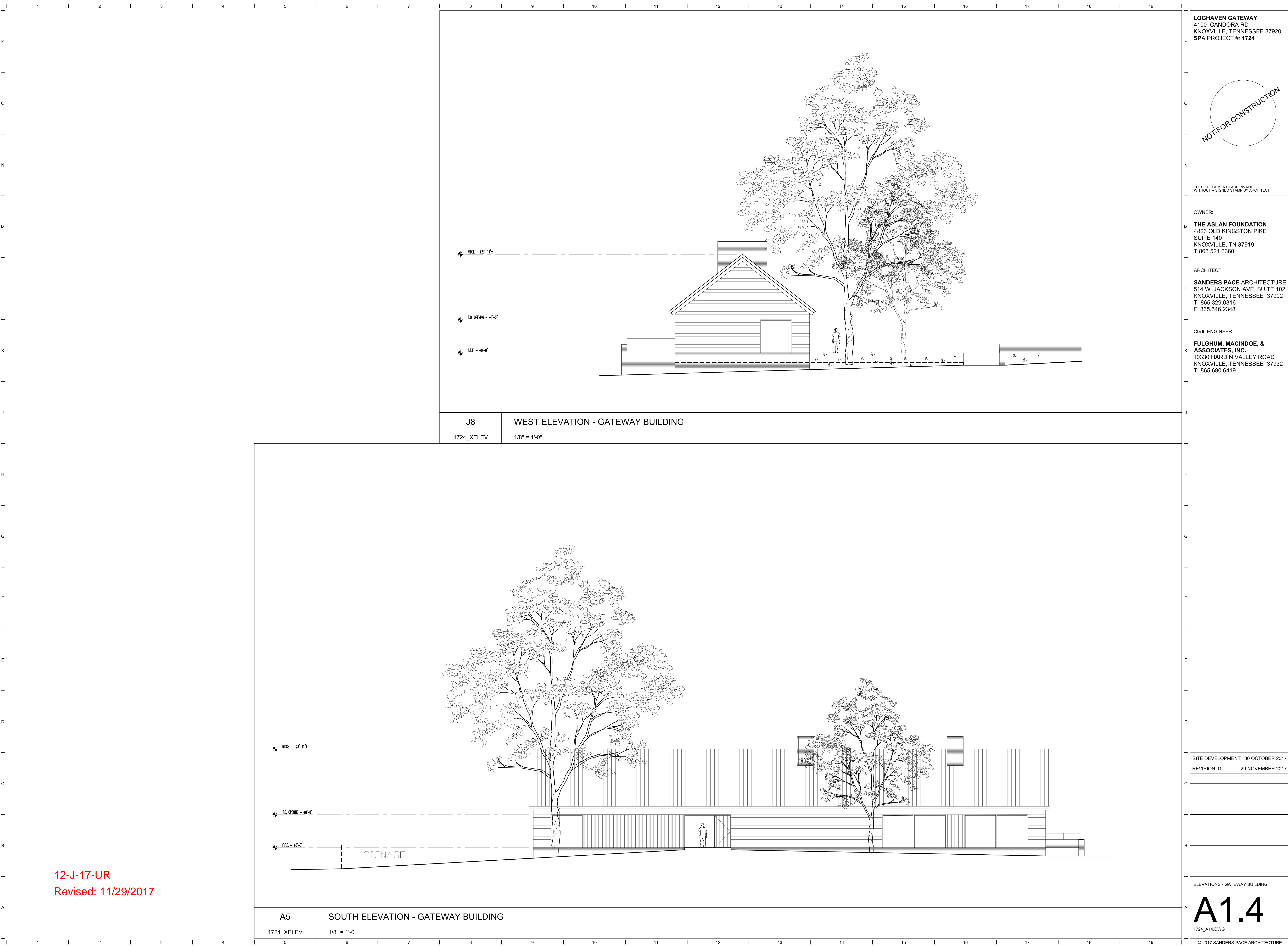
SITE DEVELOPMENT 30 OCTOBER 2017  
REVISION 01 29 NOVEMBER 2017

SITE PLAN | ROOF PLAN

A1.3  
1724\_A13.DWG

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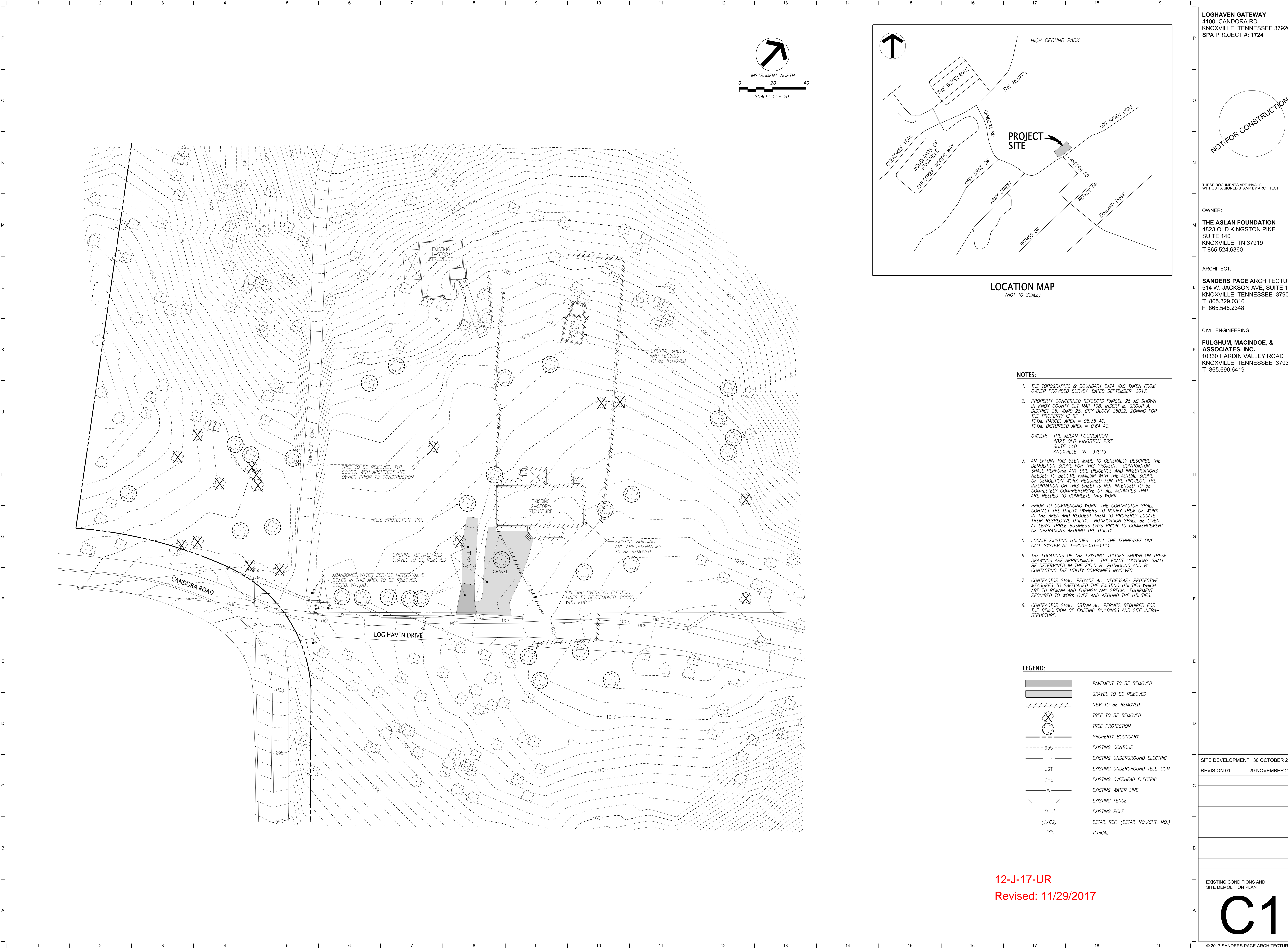
12-J-17-UR  
Revised: 11/29/2017

		<p><b>LOGHAVEN GATEWAY</b> 4100 CANDORA RD KNOXVILLE, TENNESSEE 37920 SPA PROJECT #: 1724</p> <p>NOT FOR CONSTRUCTION</p> <p>THESE DOCUMENTS ARE INVALID WITHOUT A SIGNED STAMP BY ARCHITECT</p> <p>OWNER: <b>THE ASLAN FOUNDATION</b> 4823 OLD KINGSTON PIKE SUITE 140 KNOXVILLE, TN 37919 T 865.524.6360</p> <p>ARCHITECT: <b>SANDERS PACE ARCHITECTURE</b> 514 W. JACKSON AVE, SUITE 102 KNOXVILLE, TENNESSEE 37902 T 865.329.0316 F 865.546.2348</p> <p>CIVIL ENGINEER: <b>FULGHUM, MACINDOE, &amp; ASSOCIATES, INC.</b> 10330 HARDIN VALLEY ROAD KNOXVILLE, TENNESSEE 37932 T 865.690.6419</p>
J8	EAST ELEVATION - CARETAKER/MAINTENANCE BUILDING	
1724_XELEV	1/8" = 1'-0"	
A8	SOUTH ELEVATION - CARETAKER/MAINTENANCE BUILDING	
1724_XELEV	1/8" = 1'-0"	

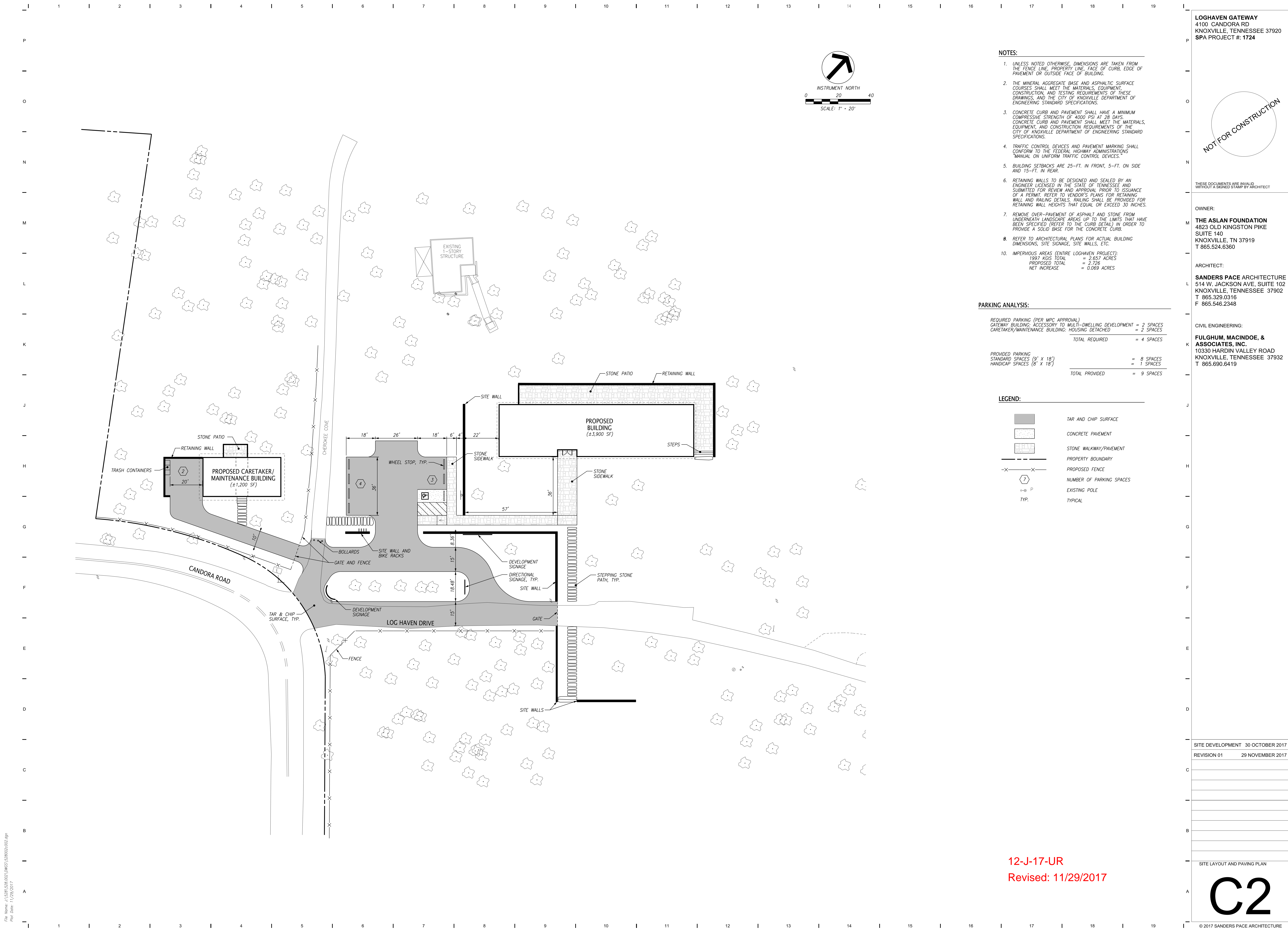
SITE DEVELOPMENT 30 OCTOBER 2017	
REVISION 01	29 NOVEMBER 2017
ELEVATIONS - CARETAKER BUILDING	
A1.5	
1724_A15.DWG	
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8 9 10 11 12 13 14 15 16 17 18 19









NOTES:

1. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
2. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
3. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
4. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
5. BUILDING SETBACKS ARE 25-FT. IN FRONT, 5-FT. ON SIDE AND 15-FT. IN REAR.
6. RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS; RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
7. REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
8. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS, SITE SIGNAGE, SITE WALLS, ETC.
10. IMPERVIOUS AREAS (ENTIRE LOGHAVEN PROJECT):  
1997 KGIS TOTAL = 2.657 ACRES  
PROPOSED TOTAL = 2.728 ACRES  
NET INCREASE = 0.069 ACRES

PARKING ANALYSIS:

REQUIRED PARKING (PER MPC APPROVAL)	
GATEWAY BUILDING: ACCESSORY TO MULTI-DWELLING DEVELOPMENT	= 2 SPACES
CARETAKER/MAINTENANCE BUILDING: HOUSING DETACHED	= 2 SPACES
TOTAL REQUIRED	= 4 SPACES

PROVIDED PARKING	
STANDARD SPACES (9' X 18')	= 8 SPACES
HANDICAP SPACES (8' X 18')	= 1 SPACES
TOTAL PROVIDED	= 9 SPACES

LEGEND:

	TAR AND CHIP SURFACE
	CONCRETE PAVEMENT
	STONE WALKWAY/PAVEMENT
	PROPERTY BOUNDARY
	PROPOSED FENCE
	NUMBER OF PARKING SPACES
	EXISTING POLE
	TYPICAL

12-J-17-UR  
Revised: 11/29/2017

LOGHAVEN GATEWAY  
4100 CANDORA RD  
KNOXVILLE, TENNESSEE 37920  
SPA PROJECT #: 1724

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CIVIL ENGINEERING:

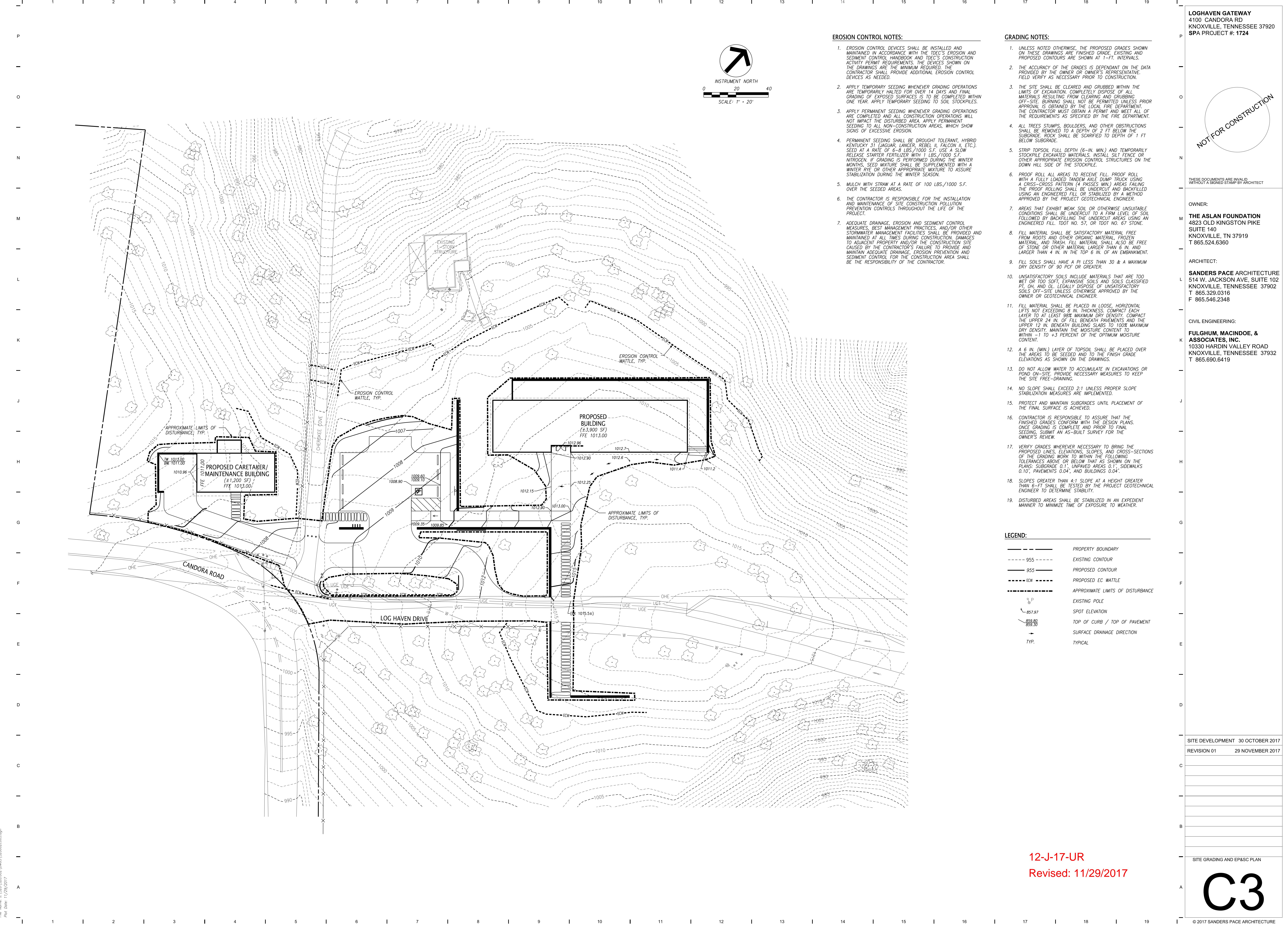
FULGHUM, MACINDOE, &  
ASSOCIATES, INC.  
10330 HARDIN VALLEY ROAD  
KNOXVILLE, TENNESSEE 37932  
T 865.690.6419

SITE DEVELOPMENT 30 OCTOBER 2017  
REVISION 01 29 NOVEMBER 2017

SITE LAYOUT AND PAVING PLAN

C2





EROSION CONTROL NOTES:

1. EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TDEC'S EROSION AND SEDIMENT CONTROL HANDBOOK AND TDEC'S CONSTRUCTION ACTIVITY PERMIT REQUIREMENTS. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
2. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
3. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
4. PERMANENT SEEDING SHALL BE DROUGHT TOLERANT, HYBRID KENTUCKY 31 (JAGUAR, LANCER, REBEL II, FALCON II, ETC.), SEED AT A RATE OF 6-8 LBS./1000 S.F. USE A SLOW RELEASE STARTER FERTILIZER WITH 1 LBS./1000 S.F. NITROGEN. IF GRADING IS PERFORMED DURING THE WINTER MONTHS, SEED MIXTURE SHALL BE SUPPLEMENTED WITH A WINTER RYE OR OTHER APPROPRIATE MIXTURE TO ASSURE STABILIZATION DURING THE WINTER SEASON.
5. MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREAS.
6. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF SITE CONSTRUCTION POLLUTION PREVENTION CONTROLS THROUGHOUT THE LIFE OF THE PROJECT.
7. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE, EROSION PREVENTION AND SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

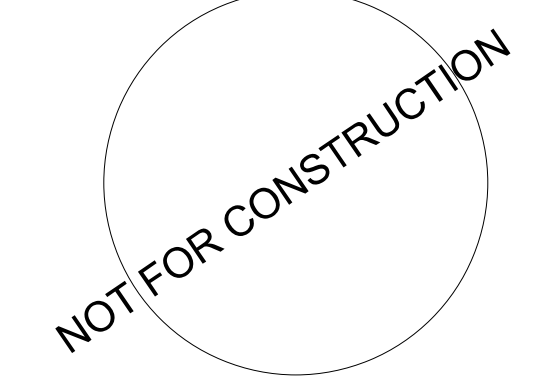
GRADING NOTES:

1. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 1'-FT. INTERVALS.
2. THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING. OFF-SITE BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
4. ALL TREES, STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCAFFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
5. STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
6. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK USING A CRISS-CROSS PATTERN (4 PASSES MIN.) AREAS FAILING THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
7. AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL. TDOT NO. 57, OR TDOT NO. 67 STONE.
8. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL, FROZEN MATERIAL AND TOASH. FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
9. FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
10. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PT, OH, AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
11. FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -1 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
12. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDD AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
13. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
14. NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
15. PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
16. CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADES CONFORM WITH THE DESIGN PLANS. ONCE GRADING IS COMPLETE AND PRIOR TO FINAL SEEDING, SUBMIT AN AS-BUILT SURVEY FOR THE OWNER'S REVIEW.
17. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10', PAVEMENTS 0.04', AND BUILDINGS 0.04'.
18. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6-FT SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
19. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDIENT MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

LEGEND:

- |                  |                                   |
|------------------|-----------------------------------|
| ---              | PROPERTY BOUNDARY                 |
| ---              | EXISTING CONTOUR                  |
| ---              | PROPOSED CONTOUR                  |
| ---              | PROPOSED EC WATTLE                |
| ---              | APPROXIMATE LIMITS OF DISTURBANCE |
| ⊙                | EXISTING POLE                     |
| 857.97           | SPOT ELEVATION                    |
| 829.80<br>829.30 | TOP OF CURB / TOP OF PAVEMENT     |
| →                | SURFACE DRAINAGE DIRECTION        |
| TYP.             | TYPICAL                           |

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SITE GRADING AND EP&SC PLAN

C3