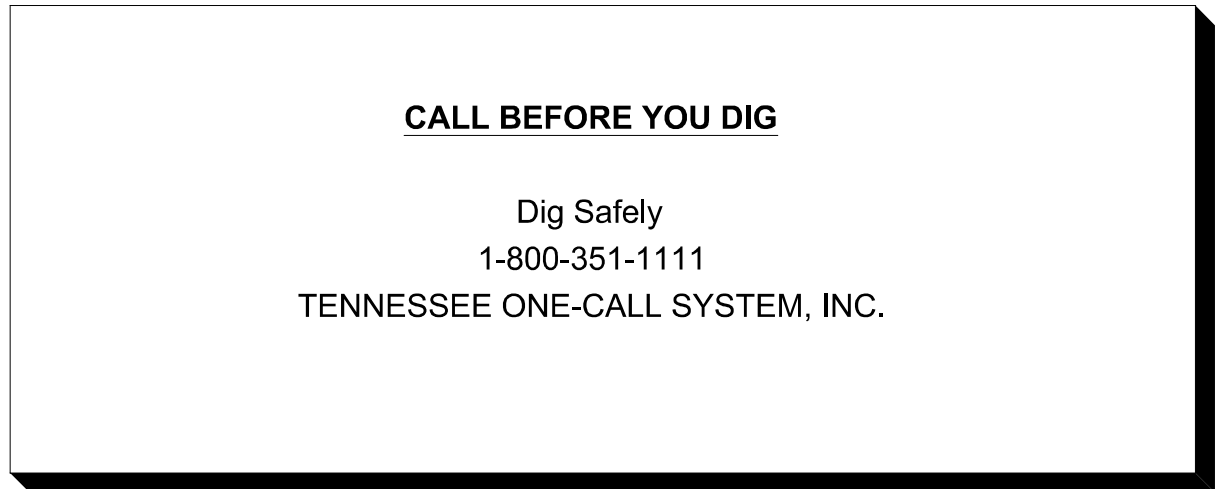


KNOXVILLE, TENNESSEE

CONTACT: DAVID HARRELL 865-755-1767



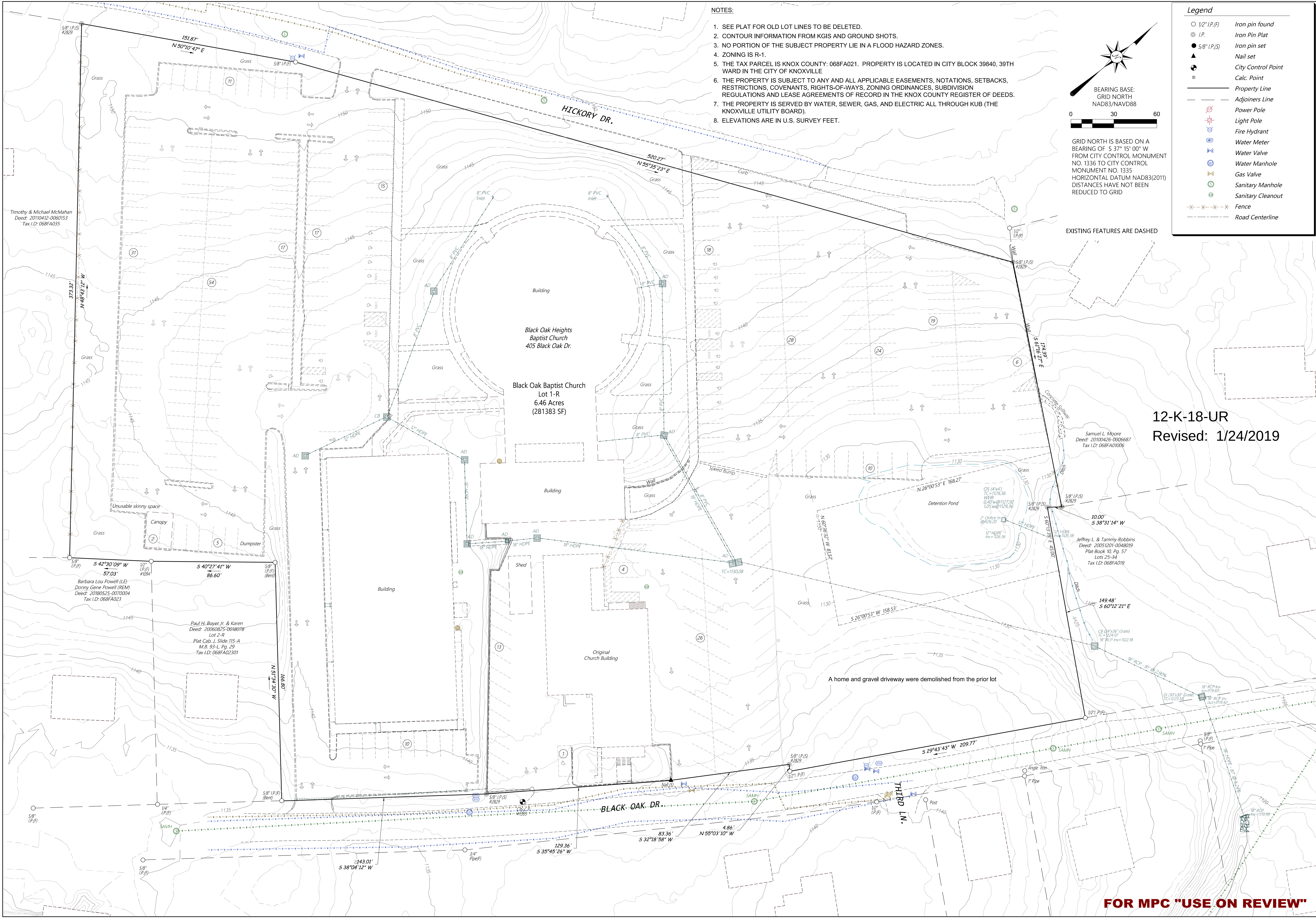
TENNESSEE ONE-CALL SYSTEM, INC.

Revised: 1/24/2019

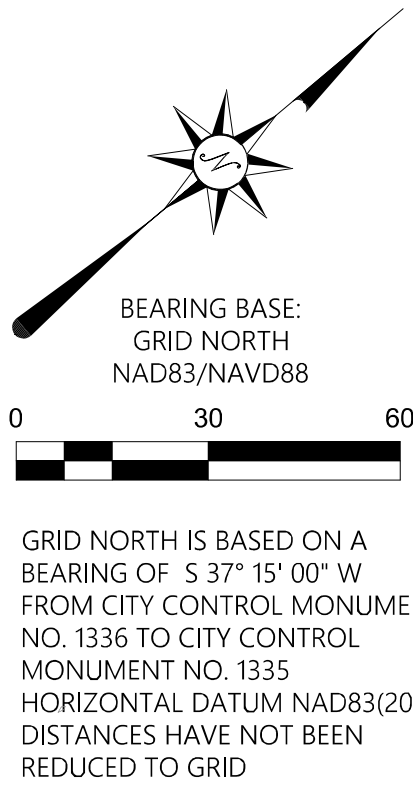
FOR MPC "USE ON REVIEW"

BZA FILE NUMBER: 01-B-19-VA
VARIANCE GRANTED ON JANUARY 17TH
FOR FRONT PARKING SETBACK FROM 25 FEET TO 10 FEET

Cantrell Engineering & Surveying, PLLC
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Bruce S. Cantrell, PE
brcantrelles@gmail.com
835 Bell Rd., Gatlinburg, TN 37738



- NOTES:
1. SEE PLAT FOR OLD LOT LINES TO BE DELETED.
 2. CONTOUR INFORMATION FROM KGIS AND GROUND SHOTS.
 3. NO PORTION OF THE SUBJECT PROPERTY LIE IN A FLOOD HAZARD ZONES.
 4. ZONING IS R-1.
 5. THE TAX PARCEL IS KNOX COUNTY: 068FA021. PROPERTY IS LOCATED IN CITY BLOCK 39840, 39TH WARD IN THE CITY OF KNOXVILLE
 6. THE PROPERTY IS SUBJECT TO ANY AND ALL APPLICABLE EASEMENTS, NOTATIONS, SETBACKS, RESTRICTIONS, COVENANTS, RIGHTS-OF-WAYS, ZONING ORDINANCES, SUBDIVISION REGULATIONS AND LEASE AGREEMENTS OF RECORD IN THE KNOX COUNTY REGISTER OF DEEDS.
 7. THE PROPERTY IS SERVED BY WATER, SEWER, GAS, AND ELECTRIC ALL THROUGH KUB (THE KNOXVILLE UTILITY BOARD).
 8. ELEVATIONS ARE IN U.S. SURVEY FEET.



GRID NORTH IS BASED ON A BEARING OF S 37° 15' 00" W FROM CITY CONTROL MONUMENT NO. 1336 TO CITY CONTROL MONUMENT NO. 1335 HORIZONTAL DATUM NAD83(2011) DISTANCES HAVE NOT BEEN REDUCED TO GRID

- Legend
- 1/2" I.P.(F) Iron pin found
 - ⊙ I.P. Iron Pin Plat
 - 5/8" I.P.(S) Iron pin set
 - ▲ Nail set
 - ⊙ City Control Point
 - ⊙ Calc. Point
 - Property Line
 - Adjoiners Line
 - ⚡ Power Pole
 - ⚡ Light Pole
 - ⚡ Fire Hydrant
 - ⚡ Water Meter
 - ⚡ Water Valve
 - ⚡ Water Manhole
 - ⚡ Gas Valve
 - ⚡ Sanitary Manhole
 - ⚡ Sanitary Cleanout
 - Fence
 - Road Centerline

EXISTING FEATURES ARE DASHED

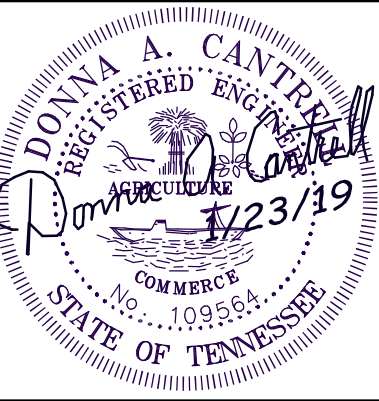
12-K-18-UR
Revised: 1/24/2019

EXISTING CONDITIONS

BLACK OAK HEIGHTS BAPTIST CHURCH USE ON REVIEW

405 BLACK OAK DRIVE TAX ID: 068FA021 (068FA20 TO BE COMBINED) - 6.46 ACRES TOTAL
OWNER: BLACK OAK HEIGHTS BAPTIST CHURCH, DEED: 20180209047103
CITY WARD 39, CITY BLOCK 39840, CITY OF KNOXVILLE, KNOX COUNTY, TN

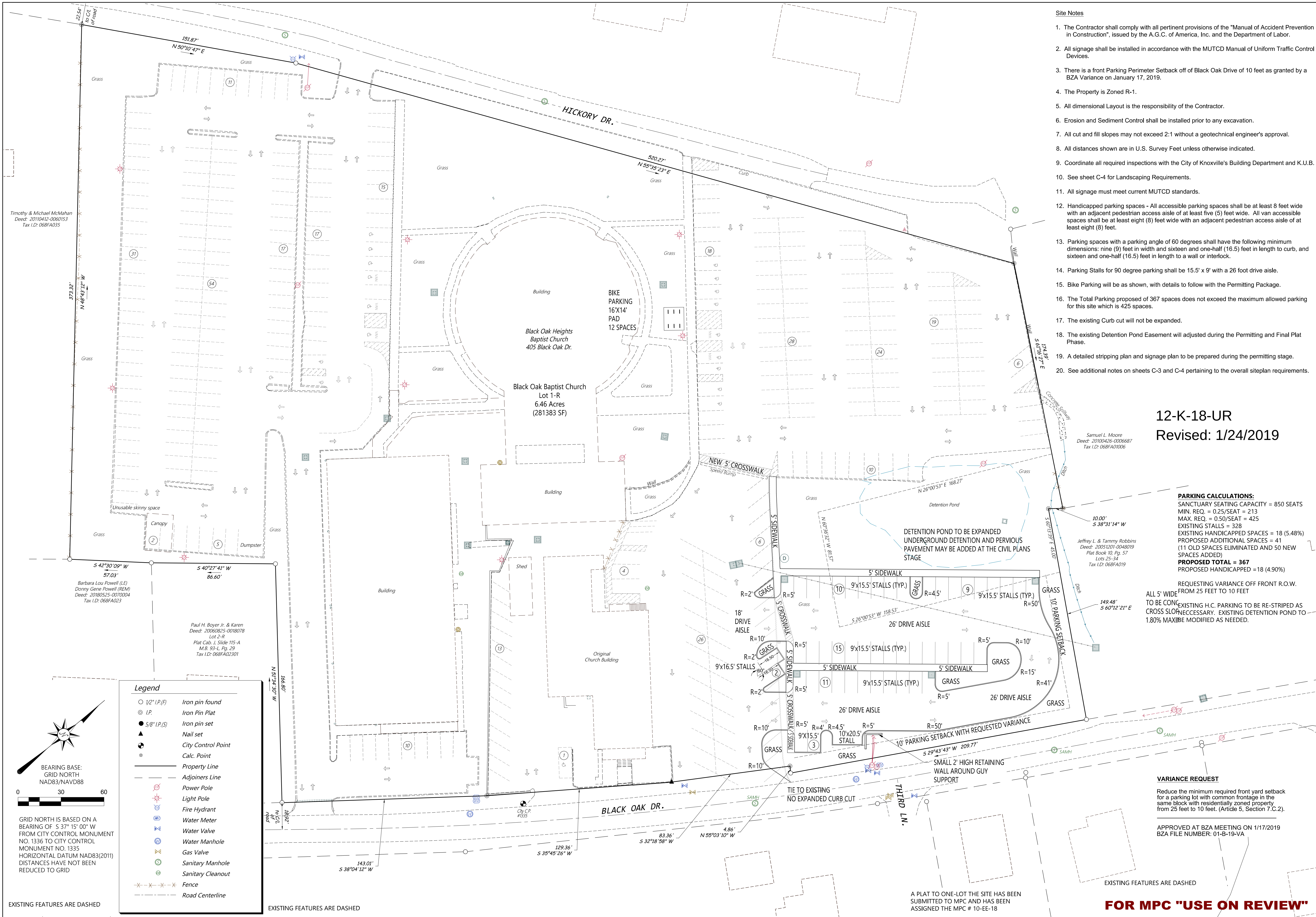
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SCALE: 1" = 30'

C-1

FOR MPC "USE ON REVIEW"



- Site Notes
- The Contractor shall comply with all pertinent provisions of the "Manual of Accident Prevention in Construction", issued by the A.G.C. of America, Inc. and the Department of Labor.
 - All signage shall be installed in accordance with the MUTCD Manual of Uniform Traffic Control Devices.
 - There is a front Parking Perimeter Setback off of Black Oak Drive of 10 feet as granted by a BZA Variance on January 17, 2019.
 - The Property is Zoned R-1.
 - All dimensional Layout is the responsibility of the Contractor.
 - Erosion and Sediment Control shall be installed prior to any excavation.
 - All cut and fill slopes may not exceed 2:1 without a geotechnical engineer's approval.
 - All distances shown are in U.S. Survey Feet unless otherwise indicated.
 - Coordinate all required inspections with the City of Knoxville's Building Department and K.U.B.
 - See sheet C-4 for Landscaping Requirements.
 - All signage must meet current MUTCD standards.
 - Handicapped parking spaces - All accessible parking spaces shall be at least 8 feet wide with an adjacent pedestrian access aisle of at least five (5) feet wide. All van accessible spaces shall be at least eight (8) feet wide with an adjacent pedestrian access aisle of at least eight (8) feet.
 - Parking spaces with a parking angle of 60 degrees shall have the following minimum dimensions: nine (9) feet in width and sixteen and one-half (16.5) feet in length to curb, and sixteen and one-half (16.5) feet in length to a wall or interlock.
 - Parking Stalls for 90 degree parking shall be 15.5' x 9' with a 26 foot drive aisle.
 - Bike Parking will be as shown, with details to follow with the Permitting Package.
 - The Total Parking proposed of 367 spaces does not exceed the maximum allowed parking for this site which is 425 spaces.
 - The existing Curb cut will not be expanded.
 - The existing Detention Pond Easement will adjusted during the Permitting and Final Plat Phase.
 - A detailed stripping plan and signage plan to be prepared during the permitting stage.
 - See additional notes on sheets C-3 and C-4 pertaining to the overall siteplan requirements.

12-K-18-UR
Revised: 1/24/2019

PARKING CALCULATIONS:
SANCTUARY SEATING CAPACITY = 850 SEATS
MIN. REQ. = 0.25/SEAT = 213
MAX. REQ. = 0.50/SEAT = 425
EXISTING STALLS = 328
EXISTING HANDICAPPED SPACES = 18 (5.48%)
PROPOSED ADDITIONAL SPACES = 41
(11 OLD SPACES ELIMINATED AND 50 NEW SPACES ADDED)
PROPOSED TOTAL = 367
PROPOSED HANDICAPPED = 18 (4.90%)

REQUESTING VARIANCE OFF FRONT R.O.W.
FROM 25 FEET TO 10 FEET
ALL 5' WIDE EXISTING H.C. PARKING TO BE RE-STRIPED AS
TO BE CONC. CROSS SLOPE NECESSARY. EXISTING DETENTION POND TO
1.80% MAX BE MODIFIED AS NEEDED.

LAYOUT PLAN

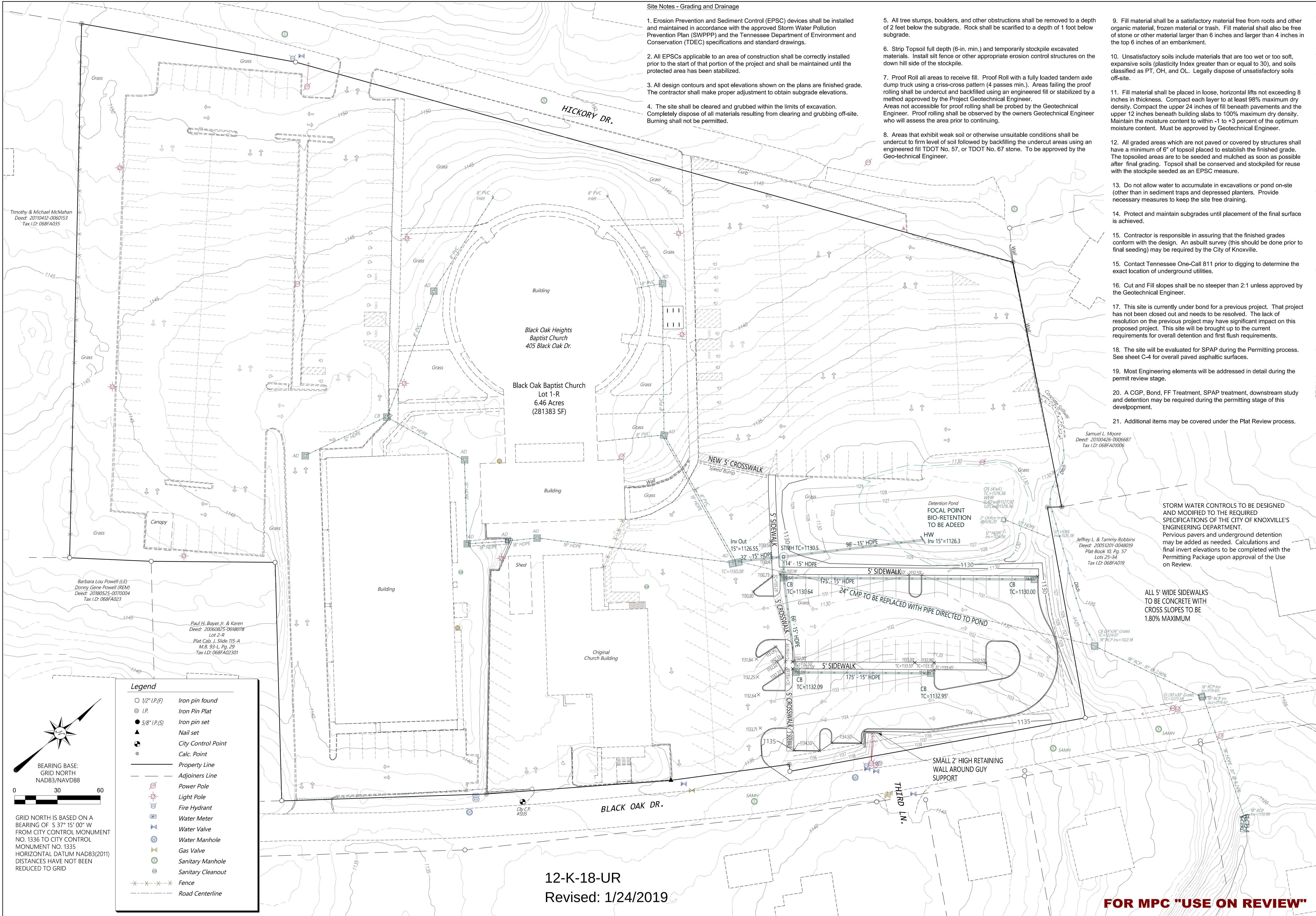
BLACK OAK HEIGHTS BAPTIST CHURCH USE ON REVIEW

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APPROVED AT BZA MEETING ON 1/17/2019
BZA FILE NUMBER: 01-B-19-VA

SCALE: 1" = 30'

C-2



DATE	DESCRIPTION
10/29/18	ISSUED FOR REVIEW
12/21/18	ISSUED FOR BZA INITIAL REVIEW PRIOR TO SUBMITTAL
1/23/19	ISSUED FOR BZA USE ON REVIEW 2/14/19 MEETING

GRADING PLAN

BLACK OAK HEIGHTS BAPTIST CHURCH USE ON REVIEW

405 BLACK OAK DRIVE TAX ID: 068FA021 (068FA20 TO BE COMBINED) - 6.46 ACRES TOTAL
OWNER: BLACK OAK HEIGHTS BAPTIST CHURCH, DEED: 201802080047103
CITY WARD 38, CITY BLOCK 39840, CITY OF KNOXVILLE, KNOX COUNTY, TN

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DONNA A. CANTRELL
REGISTERED ENGINEER
No. 10958
7/23/19
COMMERCIAL
STATE OF TENNESSEE

SCALE: 1" = 30'



- Site Landscaping Notes:
- Landscaping will comply with all aspects of the Knoxville Tree Protection Ordinance. Details to be provided during the Permitting Stage.
 - For parking lots over 20,000 sq. ft. terminal islands, interior islands, and interior and perimeter parkways shall be landscaped as follows:
 - One (1) perennial shade tree, which will grow to a minimum height of thirty (30) feet and crown spread of no less than one-half the height at maturity, for each five thousand (5,000) square feet of parking lot area, such tree shall be no less than one and one-half (1 1/2) inches caliper, measured four (4) feet above the ground, and no less than eight (8) feet high at the time of planting.
 - Landscaped areas will be planted with natural plant materials (vines, shrubs, ground covers, or grass) which will not exceed two and one-half (2 1/2) feet in height above the crown of the adjacent parking aisle.
 - 6 trees/acre is the requirement for this site. This equates to a total of 39 trees for the entire site. See suggested locations on this plan. An existing tree inventory count will be provided with the Site Permit Package, and additional tree locations will be determined. Additional landscaping shall be provided in a detailed plan at the Permitting Stage of this project.

TOTAL SITE = 6.46 ACRES

GREEN SPACE

GRASS/ LANDSCAPING =
±68,340 SF (1.57 ACRES)

IMPERVIOUS AREAS

ROOFTOPS AND SIDEWALKS
= 1.42 ACRES

PAVED AREAS (ASPHALT)

NEW ASPHALT
PARKING AREA=17,998 SF

EXISTING ASPHALT AREA
132,965 SF

TOTAL ASPHALT PARKING AREA
= 150,963 SF OR 3.47 ACRES

TOTAL TREES REQUIRED = 39

12-K-18-UR
Revised: 1/24/2019

ALL 5' WIDE SIDEWALKS
TO BE CONCRETE WITH
CROSS SLOPES TO BE
1.80% MAXIMUM

DESCRIPTION		DATE
ISSUED FOR REVIEW	10/29/18	
ISSUED FOR BZA INITIAL REVIEW PRIOR TO SUBMITTAL	12/21/18	
ISSUED FOR BZA USE ON REVIEW 2/14/19 MEETING	1/23/19	

LANDSCAPING REQUIREMENTS PLAN

BLACK OAK HEIGHTS BAPTIST CHURCH USE ON REVIEW

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CITY WARD 38, CITY BLOCK 39840, CITY OF KNOXVILLE, KNOX COUNTY, TN

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REGISTERED PROFESSIONAL ENGINEER
DONNA A. CANTRELL
No. 10958
EXPIRATION DATE 12/31/19
STATE OF TENNESSEE
COMMERCE

SCALE: 1" = 30'

C-4

FOR MPC "USE ON REVIEW"