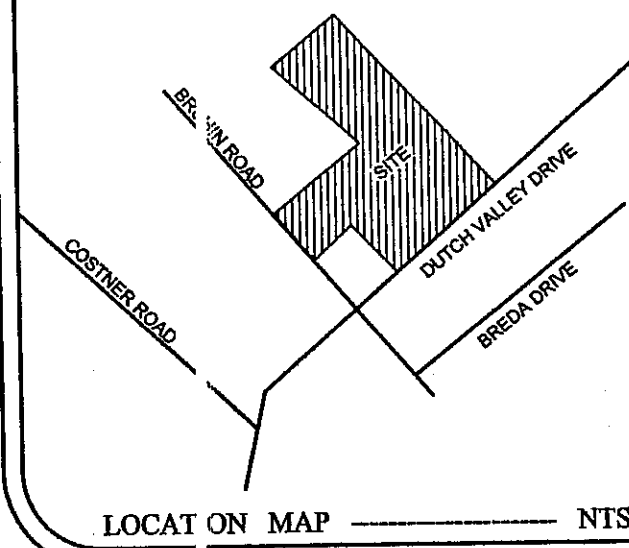


GRID NORTH
NAD 83



- LEGEND
- JB - JUNCTION BOX
 - ENDWALL
 - CB - CATCH BASIN
 - SEWER MANHOLE
 - WATER TEE
 - GATE VALVE
 - FIRE HYDRANT
 - SANITARY SEWER ESMT.
 - DRAINAGE EASEMENT
 - WATER LINE EASEMENT
 - LOT LINE & R/W LINE
 - OUTSIDE BOUNDARY LINE

VA UNANCE APPROVED
-T- REDUCE REAR YARD SETBACK
FROM 15' TO 0'
-152004 (FILE 4-J04-A) BZA

SITE UTILITIES

SANITARY SEWER	K.U.B.
WATER	K.U.B.
ELECTRIC	K.U.B.
GAS	K.U.B.
TELEPHONE	BELLSOUTH
CABLE	COMCAST

NOTE:

"OWNER(S) RESPONSIBILITY NOTE"

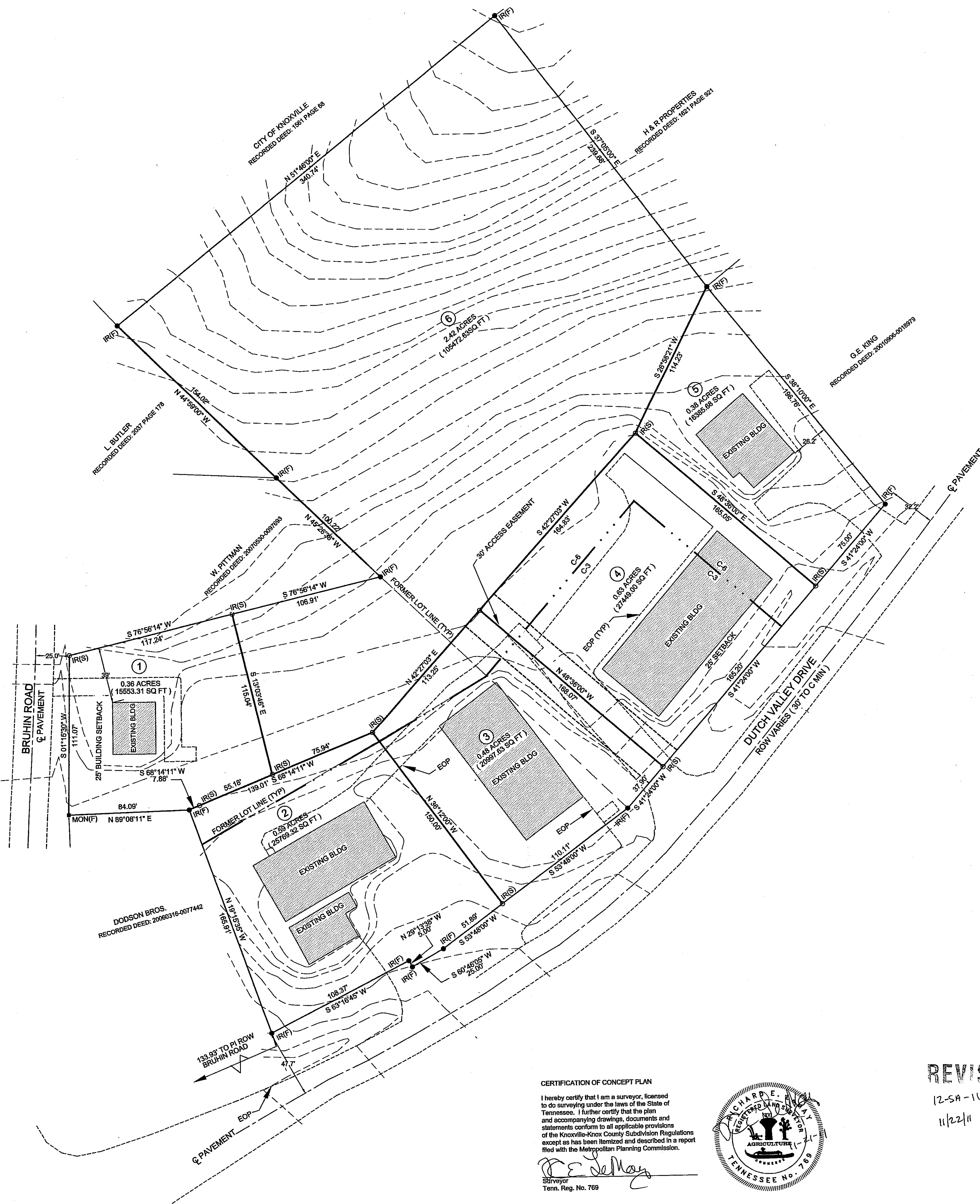
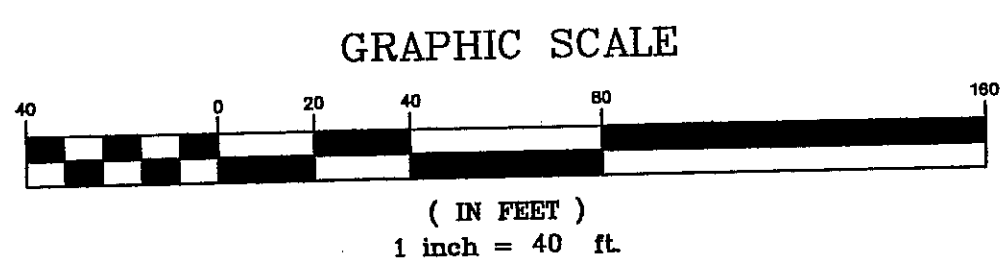
- THE PROPERTY OWNER(S) IS(ARE) RESPONSIBLE FOR MAINTAINING STORM WATER FACILITIES ON THIS PROPERTY.
- ADDITION OF IMPERVIOUS IMPROVEMENTS WHICH CREATE A TOTAL IMPERVIOUS AREA OVER 0.5 ACRES ON ANY LOT WILL REQUIRE PERMITTING IN ACCORDANCE WITH THE CITY OF KNOXVILLE DRAINAGE ORDINANCE. DETENTION OF STORM WATER WILL BE REQUIRED.

BUILDING SETBACKS

ZONE: C-3	ZONE: C-6
FRONT YARD: 25'	FRONT YARD: 25'
SIDE YARD: 0'	SIDE YARD: 20' MIN
REAR YARD: 30'	60' ADJ. RESIDENTIAL
	REAR YARD: 30'

SITE NOTES

- VERIFY EXACT SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- 10' UTILITY AND DRAINAGE EASEMENT INSIDE ALL EXTERIOR BOUNDARY LINES AND ALONG ROAD RIGHTS-OF-WAY, 5' EACH SIDE ALL INTERIOR LOT LINES EXCEPT AS MODIFIED BY THE SUBDIVISION VARIANCE.
- TAX MAP REFERENCE: MAP 069, PARCELS: 011, 012, 013, 015
- PLAT REFERENCE: 20031022-0046900
- DEED REFERENCE: DEED 20110602-0069634
- SURVEYED PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, RIGHT-OF-WAYS, & RESTRICTIONS OF RECORD OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, NOT SHOWN BY PUBLIC RECORDS.
- A 15' UTILITY EASEMENT EITHER SIDE OF WATER AND/OR SEWER LINES AS INSTALLED.
- NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR AND OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.
- SURVEYED PROPERTY IS SUBJECT TO ALL APPLICABLE EASEMENTS, SETBACKS, RIGHT-OF-WAYS, & RESTRICTIONS OF RECORD OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, NOT SHOWN BY PUBLIC RECORDS.
- PROPERTY ZONED: C-3 & C-6
- TOTAL LOTS: 6
- TOTAL ACERAGE: 4.85 ACRES (211472.58 SQ FT)



CERTIFICATION OF CONCEPT PLAN

I hereby certify that I am a surveyor, licensed to do surveying under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

RECEIVED
12-5A-11-C
11/22/11



LeMAY AND ASSOCIATES
CONSULTING ENGINEERS

PH: 865-671-0183 FAX: 865-671-0213
10816 KINGSTON PIKE
KNOXVILLE, TENNESSEE 37934

CONCEPT PLAN

SHEET 1 OF 1

CHESTER COCHRAN PROPERTY
AND UN-PLATTED PROPERTY

City Map 069, Parcels: 011, 012, 013, 015	City of Knoxville * Knox County * Tennessee
District 7 * Ward 37 * City Block 37600	
DRAWN BY: GMS	APPROVED BY: REL
DATE: 10-15-2011	LATEST REVISION: 11-21-2011
SCALE: 1" = 40'	DRAWING NUMBER: 5170 CP