

Certificate of Ownership and General Dedication.

(I, We), the undersigned owner(s) of the property shown herein, hereby adopt this as (my, our) plan of subdivision and dedicate the streets as shown to the public use forever and hereby certify that (I am, we are) the owner(s) in fee simple of the property, and as property owner(s) have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat

Owner(s) Printed Name: _____

Owner(s) Printed Name: _____

Signature(s): _____

Signature(s): _____

Date: _____

In the City of Knoxville, all final plats shall include the following notary certification stamp that relates to and shall be located under the owner(s) certification stamp: State of _____, County of _____ On this _____ day of _____, 20____ Before me personally appeared _____ to me known to be the person described in, and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

Witness my hand and notarial seal, this the day and year above.

Written _____ Notary My Commission expires _____ Seal

Zoning.

Zoning district(s) in which the land being subdivided is located shall be indicated as shown on the zoning map by the Planning Commission as follows:

Zoning Shown on Official Map _____

Date: _____ By: _____

Addressing Department Certification

I, the undersigned, hereby certify that the subdivision name and all street names conform to the Knoxville/Knox County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and these regulations.

Signed: _____

Date: _____

Certification that taxes and assessments have been paid shall be as follows:

This is to certify that all property taxes and assessments due on this property have been paid.

City Tax Clerk: Signed: _____ Date: _____

Knox Co. Trustee: Signed: _____ Date: _____

City of Knoxville Department of Engineering The Knoxville Department of Engineering hereby approves this plat on

this the _____ day of _____, 20____

Engineering Director

Certification of Approval of Public Sanitary Sewer System - Minor Subdivisions

This is to certify that the subdivision shown hereon is approved subject to the installation of public sanitary sewers and treatment facilities, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of sanitary sewers in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility _____ Date

Certification of Approval of Public Water System - Minor Subdivisions

This is to certify that the subdivision shown hereon is approved subject to the installation of a public water system, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of water system in the vicinity of the lot(s) and to pay for the installation of the required connections.

Utility Provider

Authorized Signature for Utility _____ Date

Certification of Final Plat - All Indicated Markers, Monuments and Benchmarks Set.

I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, documents, and statements conform to the best of my knowledge, to all applicable provisions of the Knoxville/Knox County Subdivision Regulations except as has been itemized, described and justified in a report filed with the Planning Commission, or for variances and waivers which have been approved as identified on the final plat. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the _____ day of _____, 20____.

Registered Land Surveyor _____

Tennessee License No. _____

Date: _____

Certification of Category and Accuracy of Survey.

I hereby certify that this is a Category _____ survey and the ratio of precision of the unadjusted survey is not less than 1:_____, as shown hereon and that said survey was prepared in compliance with the current edition of the Rules of the Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

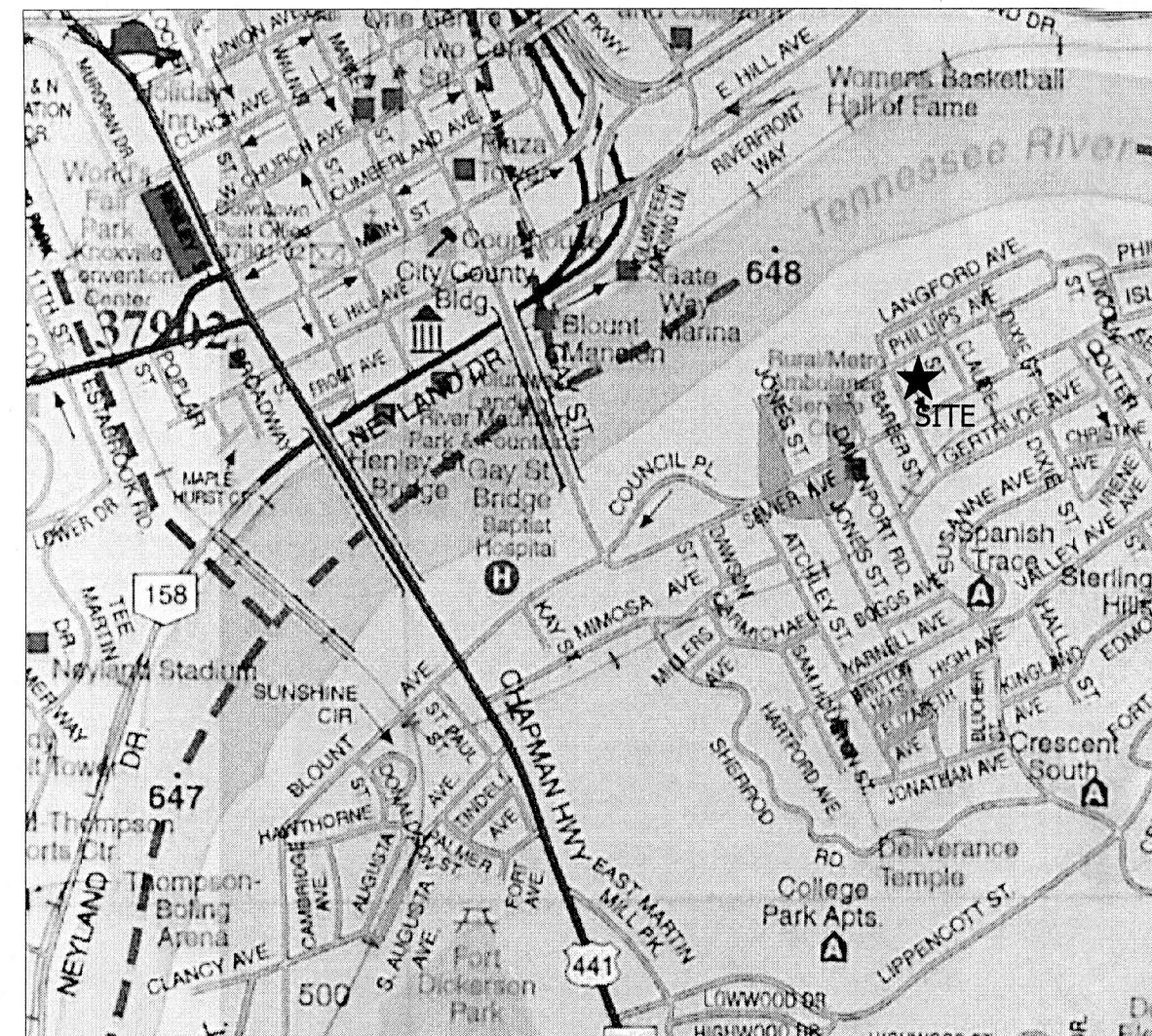
Registered Land Surveyor _____

Tennessee License No. _____ Date: _____

TENNESSEE ONE CALL
CALL BEFORE YOU DIG - 1-800-351-1111 OR 811
UTILITIES SHOWN WERE LOCATED FROM ACTUAL FIELD EVIDENCE, EXISTING UTILITY AGENCY RECORDS AND OTHER AVAILABLE EVIDENCE. OTHER UNDERGROUND UTILITIES MAY EXIST AND NOT BE SHOWN OR UTILITIES MAY VARY FROM WHERE SHOWN. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO THE EXACT LOCATION OF ANY UTILITIES SHOWN WHICH ARE NOT VISIBLE FROM THE SURFACE. UTILITY DATA SHOULD NOT BE RELIED UPON WITHOUT VERIFICATION FROM THE PROPER UTILITY AUTHORITY HAVING JURISDICTION. T.C.A. 0820-3-08

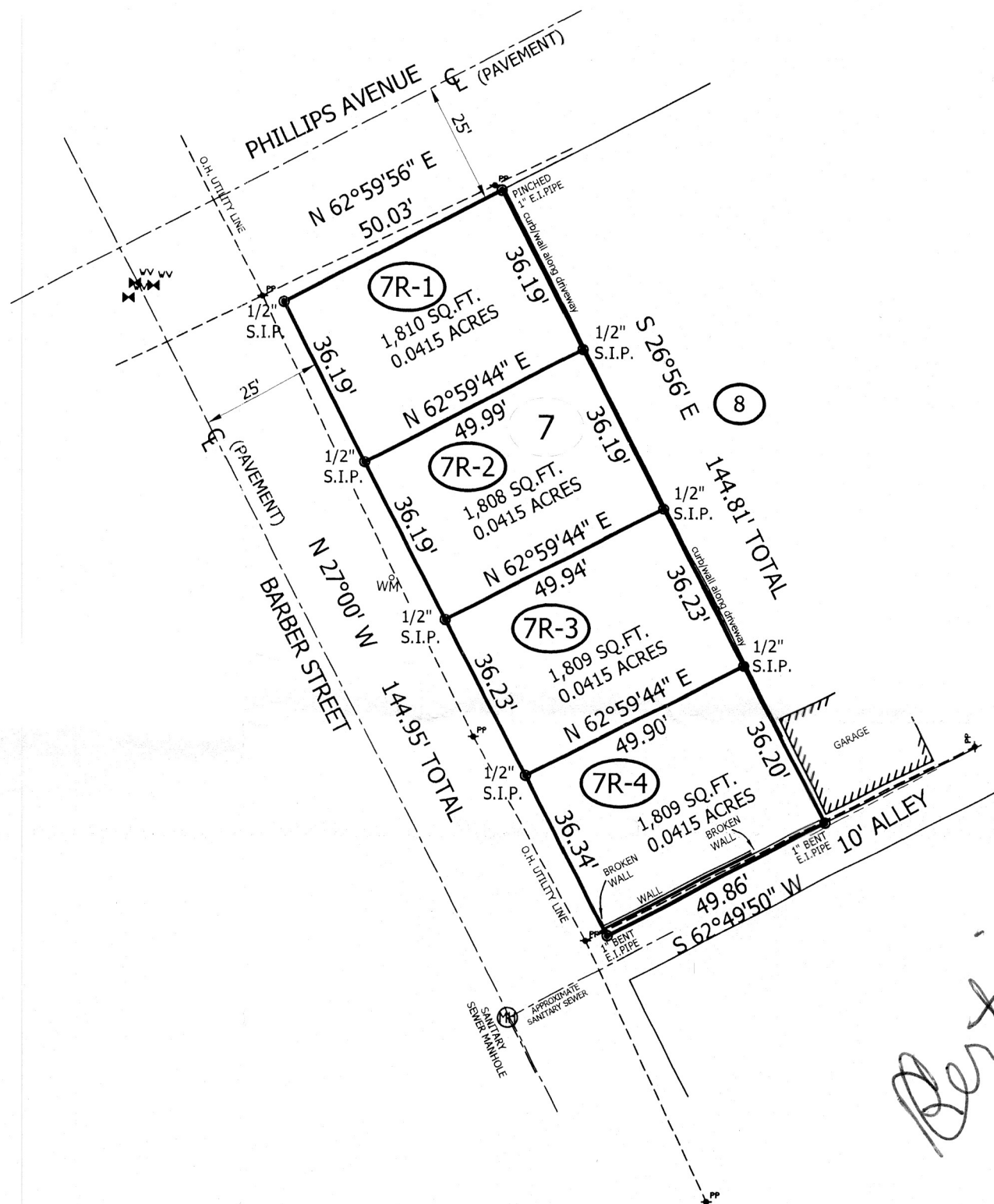


survey completed 7-15-19 WITH
TOPCON HIPER SR NETWORK ROVER
TDOT CORS STATION TN15 BASE USED
LAT 36 00 08.23511N
LONG 083 46 13.95236W
NAD 83 (2011) NO SCALE FACTOR APPLIED
GEOID 2012AU0
ACCURACY HORIZONTAL - 0.05



LOCATION MAP (N.T.S.)

OWNER:
URBAN COTTAGE, LLC
133 W. JACKSON AVE.
KNOXVILLE, TN 37902
PHONE: 865-309-4461

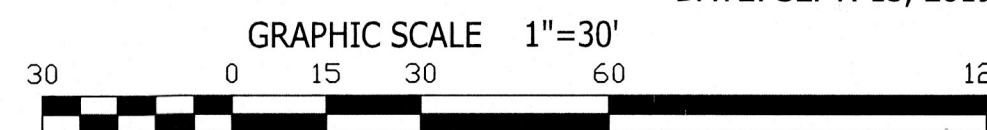


PURPOSE OF THIS PLAT IS TO DIVIDE LOT 7 INTO 4 LOTS.

NOTES :

- SUBJECT TO EASEMENTS OR RIGHT-OF-WAYS, OR CLAIMS OF EASEMENTS OR RIGHT-OF-WAYS, NOT SHOWN BY THE PUBLIC RECORDS.
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON, THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL.
- PROPERTY ZONED FD-SW-1. PROPERTY IS SUBJECT TO ANY AND ALL RESTRICTIONS, CONDITIONS, PLANNING COMMISSION REGULATIONS, ZONING ORDINANCES, RIGHTS-OF-WAY, EASEMENTS, AND BUILDING SETBACK REQUIREMENTS, IF ANY, AFFECTING SAID PROPERTY.
- ONLY THOSE FEATURES CLEARLY EVIDENT UPON THE SURFACE OF THE GROUND AND/OR NOTED IN THE DEED REFERENCED HEREON ARE SHOWN.
- FOUR LOTS TOTAL 7,236 SQ.FT. 0.166 ACRES
- UTILITY AND DRAINAGE EASEMENT SHALL BE TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAYS (INCLUDING JOINT PERMANENT EASEMENTS) AND FIVE (5) FEET IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LINE LINES AND ON INSIDE OF ALL OTHER EXTERIOR LOT LINES.
- REFERENCE: DEED INSTR. 201903040051410 MINUTE BK. 40, PG. 166

- LEGEND**
- △ NON-MONUMENT POINT
 - EXISTING IRON PIN
 - ⊙ SET IRON PIN
 - PP UTILITY POLE
 - ⊕ MANHOLE
 - WV WATER VALVE
 - ⊕ FIRE HYDRANT
 - WM WATER METER
 - GV GAS VALVE
 - GW GUIDE WIRE



Planning Commission Certification of Approval for Recording - Final Plat

This is to certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat and in the minutes of the Knoxville-Knox County Planning Commission, on this the _____ day of _____, 20____, and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds. Pursuant to Section 13-3-405 of Tennessee Code, Annotated, the approval of this plat by the Planning Commission shall not be deemed to constitute or effect an acceptance by the City of Knoxville or Knox County of the dedication of any street or other ground upon the plat.

Signed: _____ Date: _____

FINAL PLAT
SUBDIVISION OF
LOT 7 NORTHERN DIVISION of the JONES HEIRS TO KNOXVILLE
DISTRICT 9, KNOX CO., TN
WARD 26, CITY OF KNOXVILLE, TN
CITY WARD 26036
TAX MAP 095P "D" 012.00
DATE: SEPT. 15, 2019

T.M.W. LAND SURVEYING INC.
P.O. BOX 18358
KNOXVILLE, TN 37928
PHONE: 865-689-4303

DRAWING NO. 19-058-1

Approved 12-12-19 @ Planning Comm.

Certified 12-18-19
VARIANCE APPROVED - DEC. , 2018
VARIANCE TO REDUCE THE REQUIRED RADIUS AT THE INTERSECTION OF BARBER STREET AND PHILLIPS AVENUE FROM 25' TO 0' AS SHOWN ON THIS PLAT.
add date

Return to Emile when certified

12-5A-19-F

Revised 11-5-19
Revised certifications