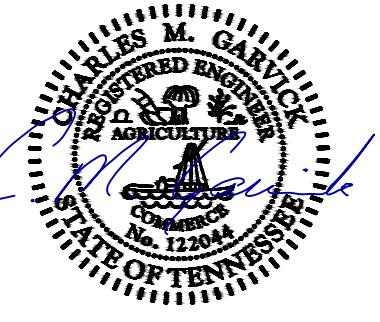


# Conceptual Plan For Woodbury Crossing Subdivision Edwards Place Boulevard Corryton, Knox County, Tennessee

File No. 12-SA-20-C / 12-A-20-UR

**CHADAN**  
ENGINEERING, INC.

171 West Main Street  
P.O. Box 695  
St. Clairsville, OH 43950  
Office: 304.845.8480  
chadanengineering.com



CLIENT:  
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Attn: Anne Little  
500 S. Front Street, 10th Floor  
Columbus, OH 43215  
614.396.3200

## WOODBURY CROSSING SUBDIVISION

Edwards Place Boulevard  
Corryton, Knox County, Tennessee

### GENERAL NOTES

1. The Contractor and Subcontractor shall be solely responsible for complying with all Federal, State and local safety requirements, together with exercising precautions at all times for the protection of persons (including employees) and property. It is also the sole responsibility of the Contractor and Subcontractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with this work.
2. Existing utilities shown are from best available records and field investigation, and are not necessarily complete or exact. The Contractor is responsible for the investigation, location, support, protection and restoration of all existing utilities and appurtenances whether shown on these plans or not. The Contractor shall expose all utilities or construction prior to construction to verify the vertical and horizontal offset on the proposed construction, and shall make adjustments in elevations to provide sufficient clearance between the proposed and existing utilities. The Contractor shall call the utilities protection service (Dial 811) at least three (3) working days prior to work in the vicinity of their underground utilities.
3. Chadan Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.
4. The Contractor shall exercise extreme caution when working near existing utilities. It is the Contractor's responsibility to contact the appropriate utility agency prior to exposing the agency's utility. The Contractor is responsible for repairing any utility that may become damaged during the course of construction.
5. Should the Contractor discover any discrepancies or conflicts with the existing and/or proposed information, the project Architect and Engineer shall be notified prior to continuing work.
6. All proposed utility locations shall be provided by a state licensed surveyor, prior to installation. The Contractor shall adjust all structures to final grade as needed.
7. The Contractor and/or Owner is responsible for coordinating with the electric, gas and communication companies regarding providing service to the development. Any information shown on plans shall be considered schematic only.
8. Any property corner pins or permanent survey markings disturbed during construction shall be reset by a registered surveyor at the Contractor's expense.
9. The tracking or spillage of mud, dirt or debris upon public roads is prohibited and any such occurrence shall be cleaned up immediately by the Contractor. If the Contractor fails to keep the work area clean of debris, or fails to clean mud or dirt, the local jurisdiction may take action and assess the Contractor for the costs that are incurred.
10. No non-rubber tire vehicles shall be moved on public roads; exceptions may be granted where short distances and special circumstances are involved. Granting of exceptions shall be in writing.
11. The Contractor shall exercise extreme caution when excavating in the vicinity of existing trees, taking all measures possible to protect and preserve them. The Contractor shall be governed by the provisions of his contract with the Owner.
12. All field tile broken during excavation shall be replaced to its original condition or connected to the storm sewer system. The Contractor shall maintain a set of as-built documents for any tile encountered during construction.
13. Proposed storm water management basins and conveyance system will be owned by the Owner. It will be the Owner's responsibility to properly maintain and inspect the storm water management system.
14. All traffic control devices shall be furnished, erected, maintained and removed by the Contractor in accordance with the latest edition of the Tennessee Department of Transportation Manual for Traffic Controls.
15. All trenches shall be backfilled or securely plated during nonworking hours.
16. Access to all adjoining properties shall be maintained at all times.
17. All areas within the public right-of-way that are disturbed by this project shall be restored to original or better condition.
18. At all utility crossings where the existing utility is exposed in the trench, the backfill shall consist of compacted granular material between the deeper and shallower pipe. Where proposed utilities or services cross proposed or existing pavement areas, backfill shall be compacted granular extending at least 3 feet beyond the back of curb or edge of pavement. Cost is to be included in the price bid for related pipe.
19. Clean water connections to sanitary sewer lines are strictly prohibited, this includes but not limited to, roof drains, foundation drains, yard drains, catch basins and trench drains.

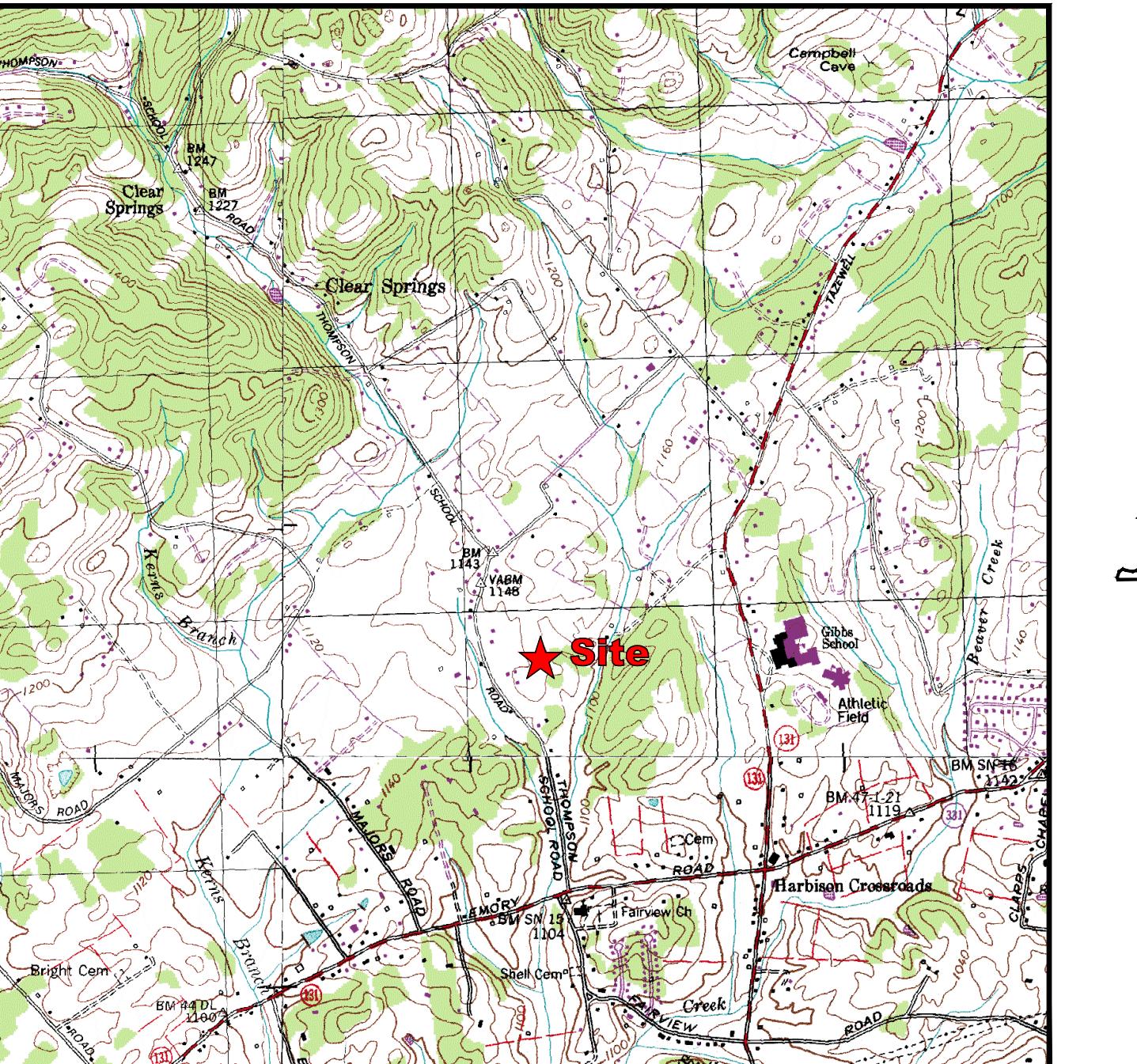


### Mapping Notes

Boundary and existing conditions survey provided by:

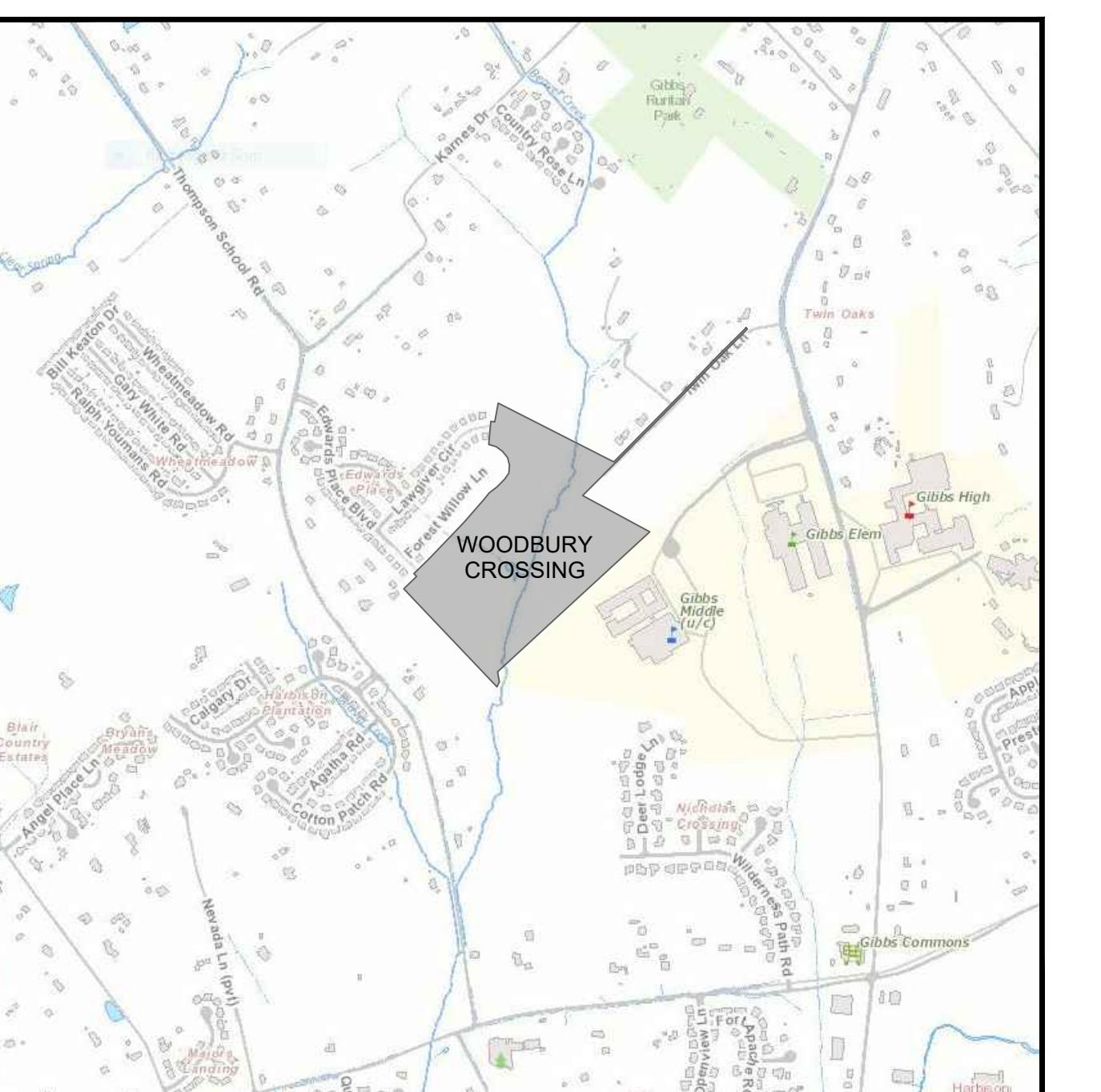
Civil & Environmental Consultants, Inc.  
2704 Cherokee Farm Way Ste 101  
Knoxville, TN 37920  
865.977.9979

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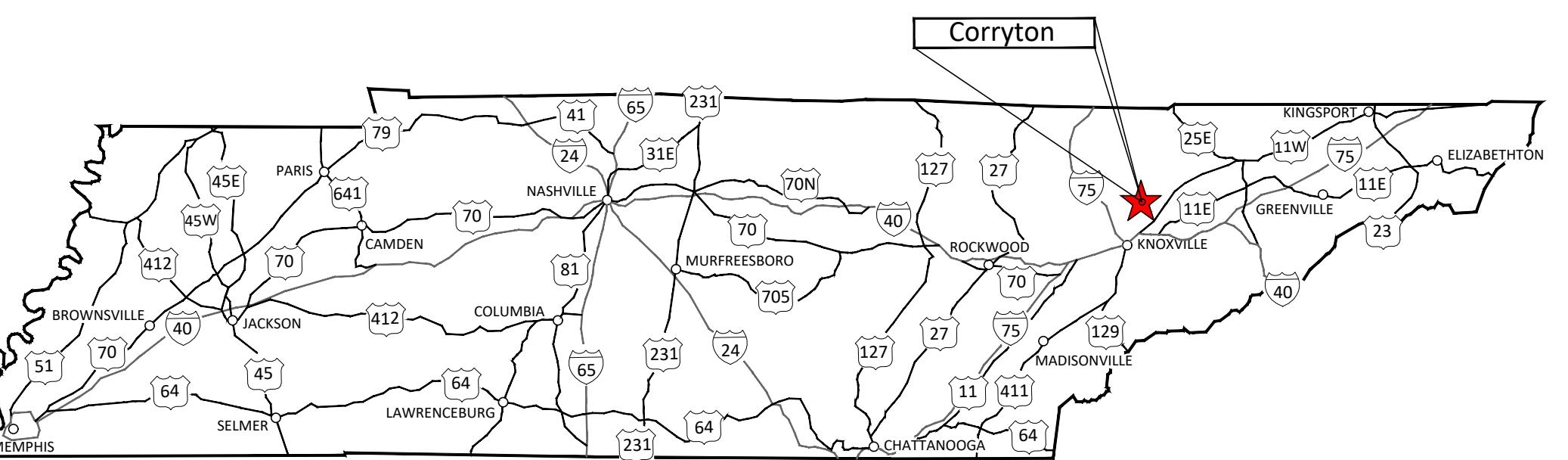
LOCATION MAP

Scale: 1" = 2000'  
0 2000 4000 6000



VICINITY MAP

Scale: 1" = 1000'  
0 1000 2000 3000



STATE MAP

### DRAWING INDEX

Sheet CS	Cover Sheet
Sheet C100	Overall Site Plan
Sheet C101	Sight Distance Exhibit & Sidewalk Profile
Sheet C200	Overall Site Grading Plan
Sheet C201	Edwards Place Boulevard Plan & Profile
Sheet C202	Lawgiver Circle Plan & Profile
Sheet C203	Lawgiver Circle Plan & Profile
Sheet C204	Road "A" Plan & Profile

DATE ISSUED:	10-27-2020
DRAWN:	DJB/RLL
CHECKED:	CG
NOTES:	1. Knoxville & Knox County Planning & Engineering Review Comments
REVISIONS:	A ISSUE

DATE ISSUED: 10-27-2020  
DRAWN: DJB/RLL CHECKED: CG

NOTES:

12-SA-20-C / 12-A-20-UR

11/23/2020

Cover  
Sheet

CS

File No. 12-SA-20-C / 12-A-20-UR

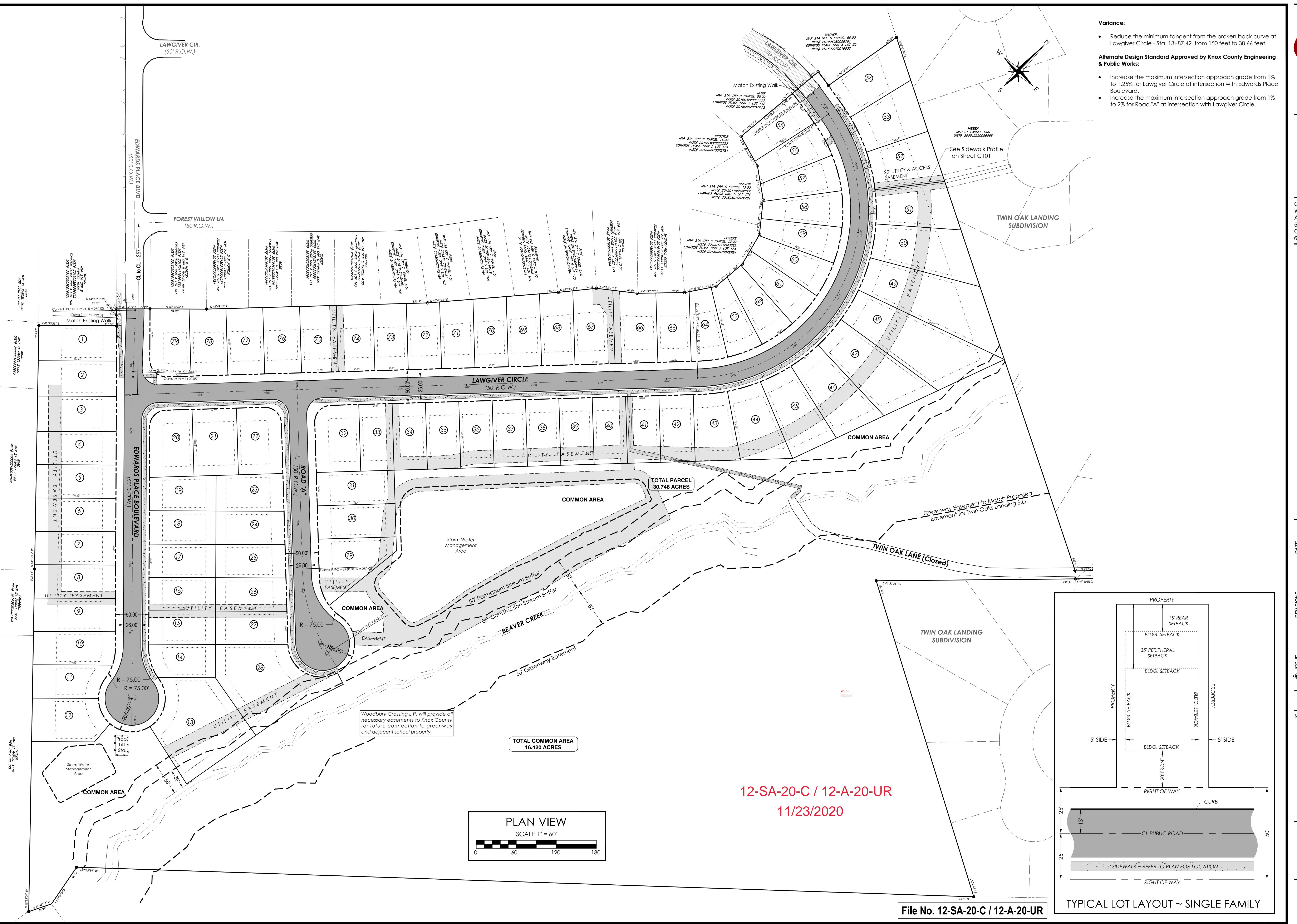
Woodbury Crossing



CLIENT:  
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## WOODBURY CROSSING SUBDIVISION

Edwards Place Boulevard  
Caryton, Tennessee



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11/23/2020

**C100**

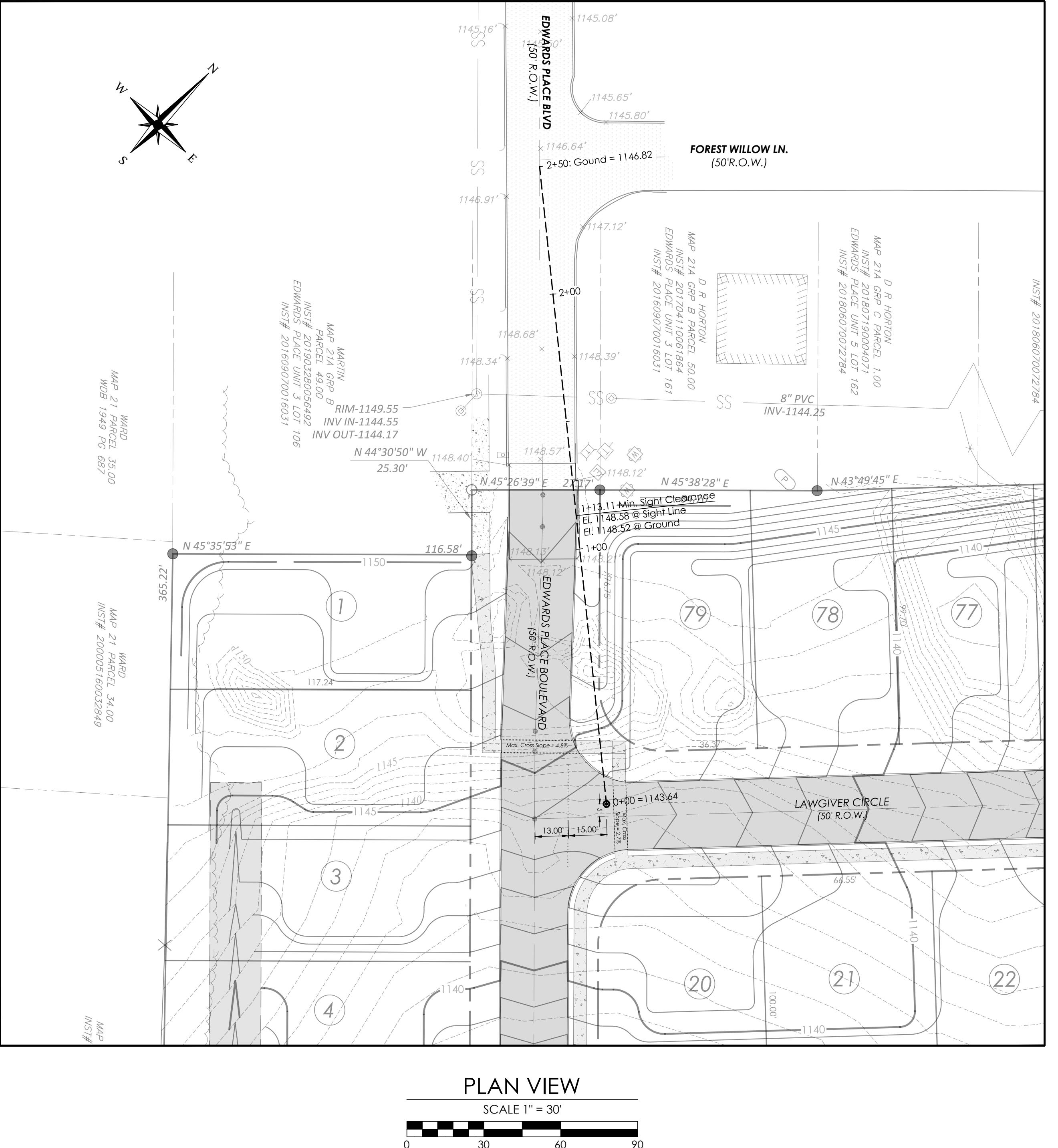
**Site Plan**

File No. 12-SA-20-C / 12-A-20-UR

TYPICAL LOT LAYOUT ~ SINGLE FAMILY

12-SA-20-C / 12-A-20-UR  
11/23/2020

PLAN VIEW  
SCALE 1" = 60'  
0 60 120 180



Sta. 0+00 Starting Point On Lawgiver Circle

3.50'

LINE OF SIGHT

PROPOSED GRADE

1143.64

1148.58 = Line of Sight  
1148.52 = Ground

Sta. 1+00 Min. Sight Clearance

1148.52

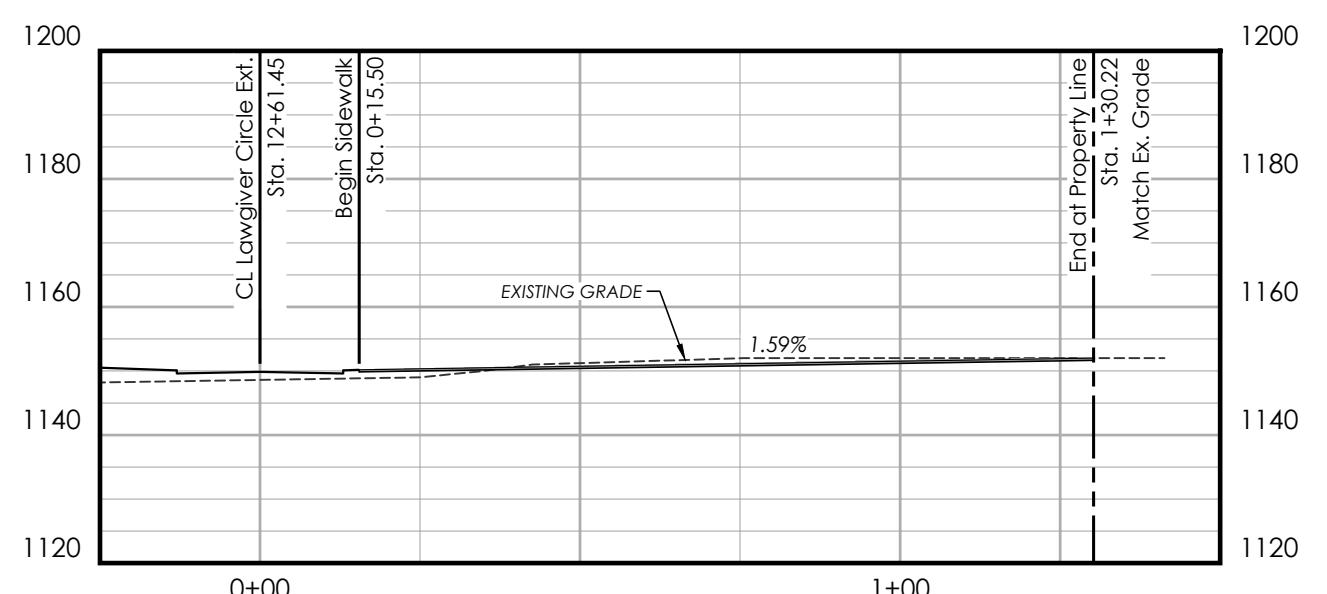
3.50'

1146.82

Sta. 3+00

# PROFILE ~ LINE OF SIGHT: LAWGIVER TO FOREST WILLOW

SCALE: HORIZ. & VERT.: 1" = 30'



**PROFILE ~ SIDEWALK TO TWIN OAKS LANDING S.D.**

SCALE: HORIZ & VERT : 1" ≡ 30'

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# WOODBURY CROSSING SUBDIVISION

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Edwards Place Boulevard  
Corryton, Knox County, Tennessee

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ISSUED: 10-27-2020  
I: DJB/RLL      CHECKED: CG

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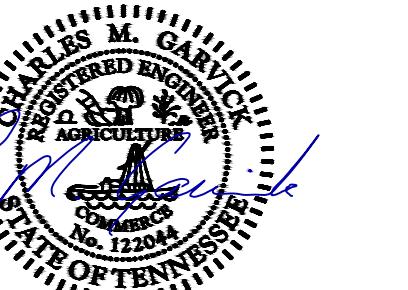
# Flight Distance Plan & Profile

E101

# 12-SA-20-C / 12-A-20-UR

## 11/23/2020

File No. 12-SA-20-C / 12-A-20-UR



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## WOODBURY CROSSING SUBDIVISION

Edwards Place Boulevard  
Caryton, Knox County, Tennessee

### LEGEND

○ ●	Property Markers
—	Property Boundary Line
—	Existing Grade Contour (Index)
—	Existing Grade Contour (Intermediate)
X	Existing Grade Spot Elevation
—	Existing Fresh Water Feature
—	Existing Fence
—	Existing Mailbox
—	Existing Utility Pole
—	Existing Guy
—	Existing Gas Utility Feature
—	Existing Overhead Electric
—	Existing Electric Pipe
—	Existing Sanitary Sewer
—	Existing Sanitary Manhole
—	Existing Sanitary Lift Station
—	Existing Storm Sewer Pipe
—	Existing Storm Sewer Structures
—	Existing Sign
—	Existing Telephone Box
—	Existing Water Meter
—	Existing Asphalt Surface
—	Existing Concrete Surface
—	Existing Aggregate Surface
—	Proposed Grade Contour (Index)
—	Proposed Grade Contour (Intermediate)
X X	Proposed Grade Spot Elevation
—	Proposed Standard Duty Asphalt Pavement
—	Proposed Heavy Duty Asphalt Pavement
—	Proposed Concrete Surface
—	Proposed Storm Sewer Pipe
—	Proposed Roof Drain Collector
—	Proposed Storm Sewer Structure
—	Proposed Rock Riprap Outlet Protection

REVISIONS	DATE
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11/23/2020

Overall Grading  
Plan

File No. 12-SA-20-C / 12-A-20-UR

C200

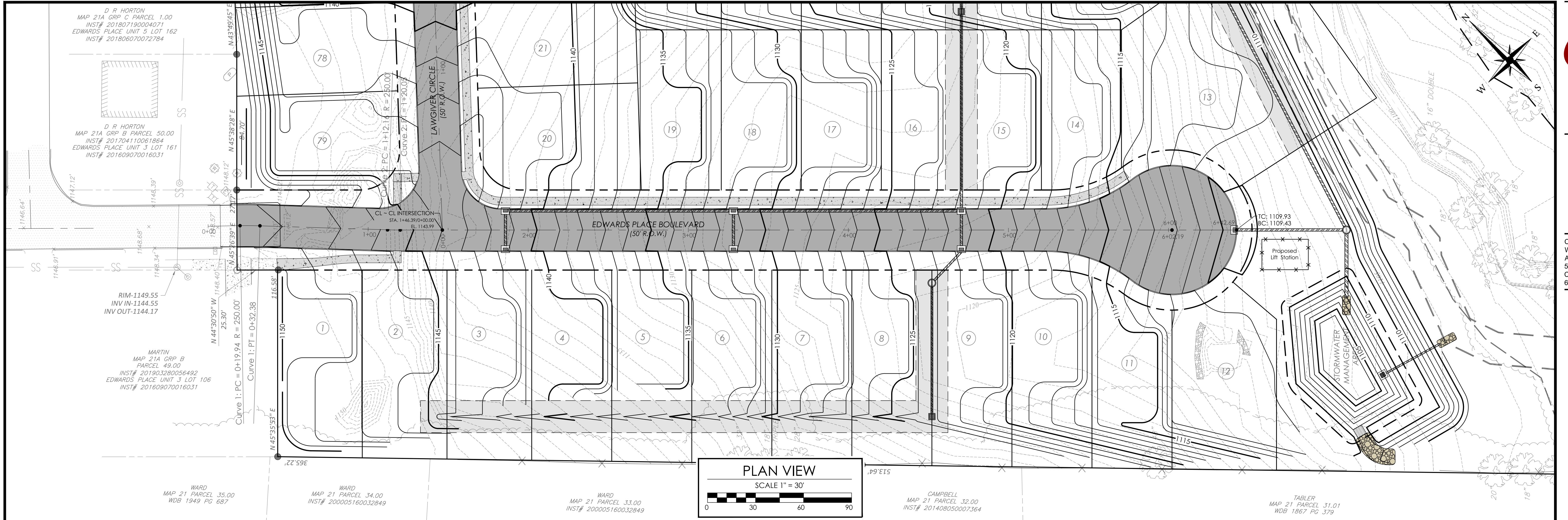




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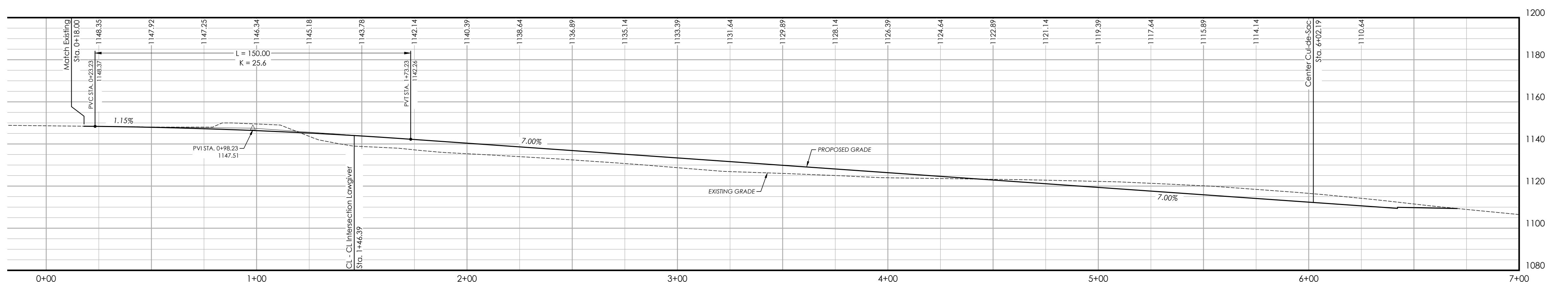
## WOODBURY CROSSING SUBDIVISION

Edwards Place Boulevard  
Corryton, Knox County, Tennessee



PLAN VIEW

SCALE 1" = 30'

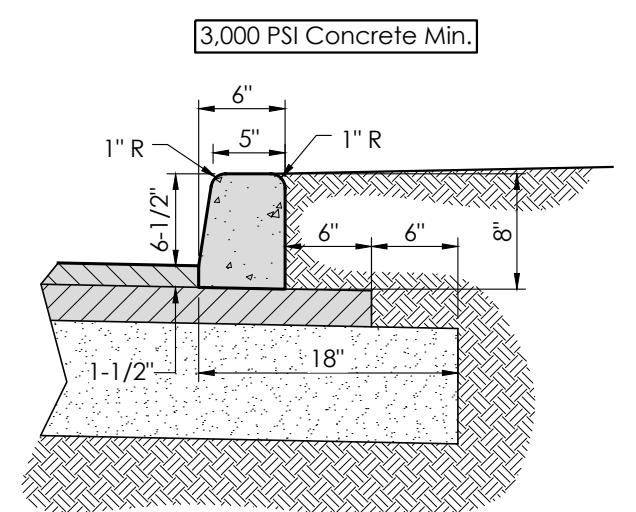
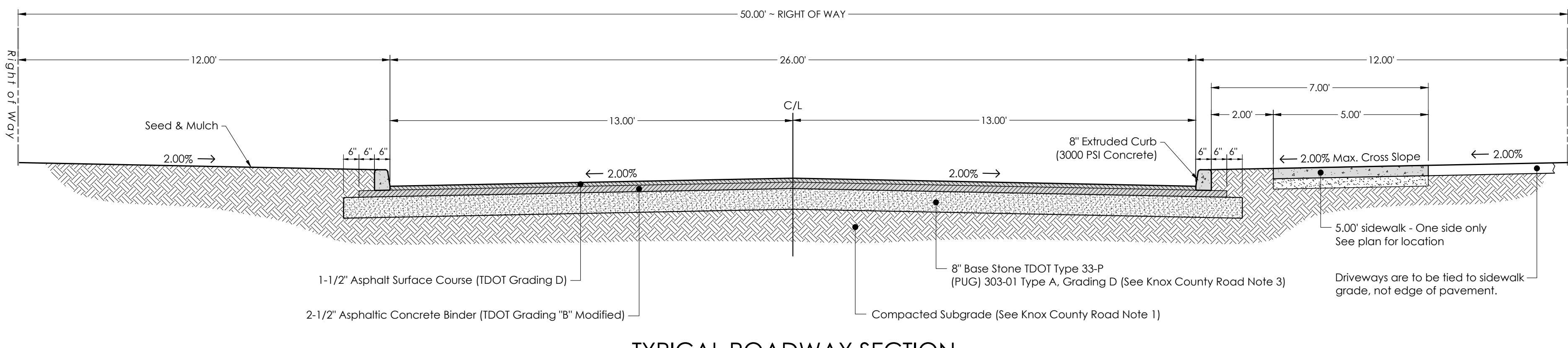


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NOTES:



TYPICAL ROADWAY SECTION

NOT TO SCALE

File No. 12-SA-20-C / 12-A-20-UR

Edward's Place  
Boulevard  
Plan & Profile

C201





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n: Anne Little  
0 S. Front Street, 10th Floor  
lumbus, OH 43215  
4.396.3200

# WOODBURY CROSSING SUBDIVISION

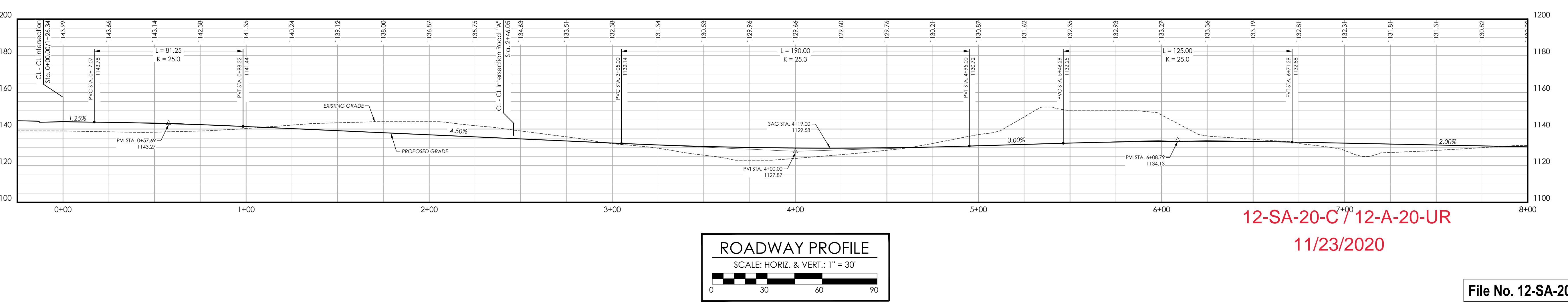
Edwards Place Boulevard  
Corryton, Knox County, Tennessee

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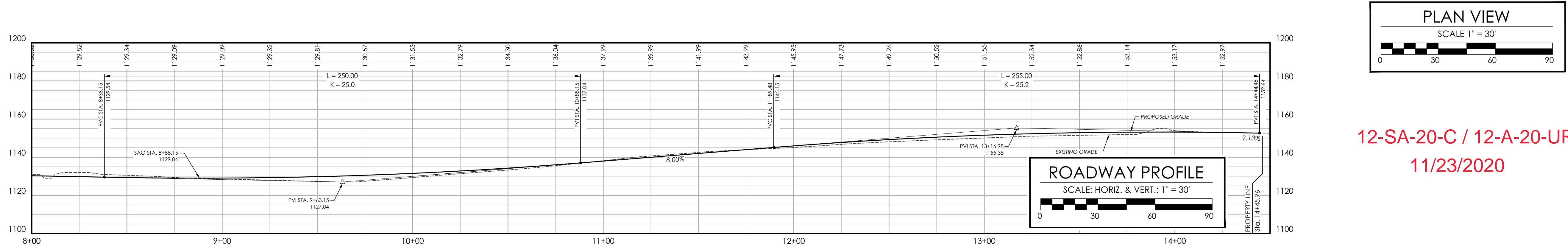
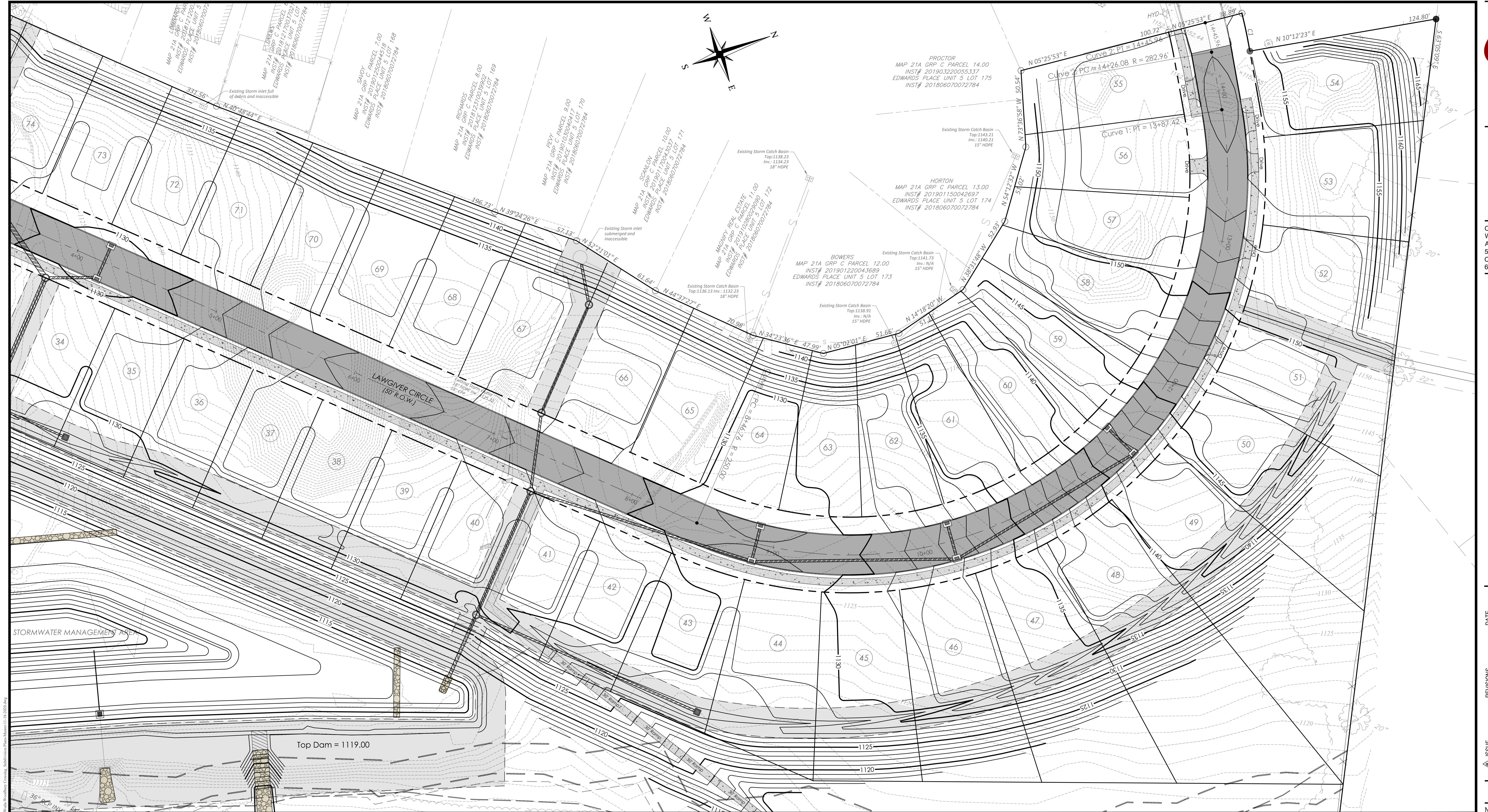
## WOODBURY CROSSING SUBDIVISION

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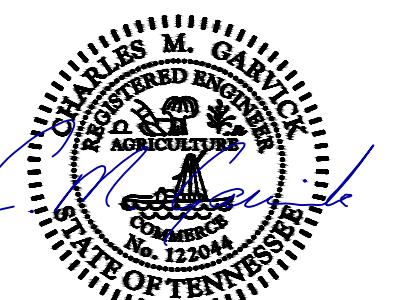
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Lawgiver Circle  
Sta. 8+00 - 14+46  
Plan & Profile

C203



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## WOODBURY CROSSING SUBDIVISION

Edwards Place Boulevard  
Corryton, Knox County, Tennessee

