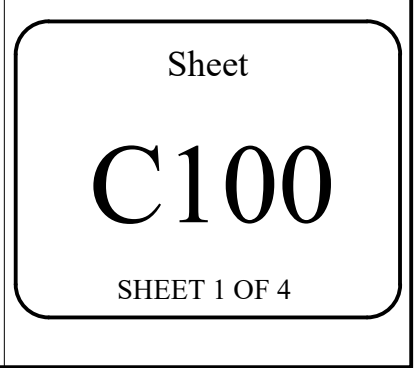
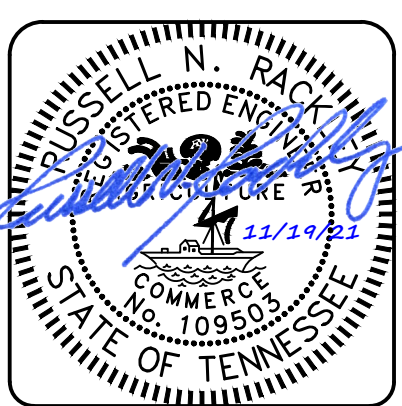




NOTES:
1. EXISTING PROPERTY AND TOPOGRAPHIC INFORMATION OBTAINED FROM KGIS. CONTOURS ARE 2' INTERVAL WITH 10' INDEX.
2. A 10' DRAINAGE AND UTILITY EASEMENT EXISTS ALONG A STEET RIGHT OF WAY, 10' ALONG EXTERIOR BOUNDARY AND 5' ALONG ALL INTERIOR LOT LINES.
3. ALL DIMENSIONS ARE SUBJECT TO CHANGE ON FINAL PLAT.
4. ALL LOTS SHALL HAVE INTERNAL STREET ACCESS ONLY.
5. ALL ROADS TO BE IN 50' PUBLIC RIGHT OF WAY.
6. CONSTRUCTION PLANS MUST BE APPROVED BY APPROPRIATE AGENCIES AND PERMITS OBTAINED PRIOR TO ANY CONSTRUCTION ACTIVITY.
7. DETENTION PONDS WILL REQUIRE 20' TRAVERSABLE ACCESS EASEMENTS ON FINAL PLAT.
8. ROAD CENTERLINE HORIZONTAL GEOMETRY DATA PROVIDED ON PLAN AND PROFILE SHEETS INCLUDED WITH THE CONCEPT PLAN.

VARIANCES:
1. INCREASE MAX GRADE FROM 12% TO 14% ROAD B STA 4+50
2. REDUCE MINIMUM SAG K VALUE FROM 25 TO 20 ROAD B STA 2+00

LEGEND	
	PROPERTY LINE
	EXISTING MNR CONTOUR
	EXISTING MNR CONTOUR
	EXISTING SANITARY SEWER
	EXISTING WATER MAIN
	EXISTING DITCH LINE
	EXISTING GAS LINE
	PROPOSED LOT LINE
	BUILDING SET BACK LINE
	PROPOSED ROAD CENTERLINE
	PROPOSED ROAD CURB
	STREAM BUFFER



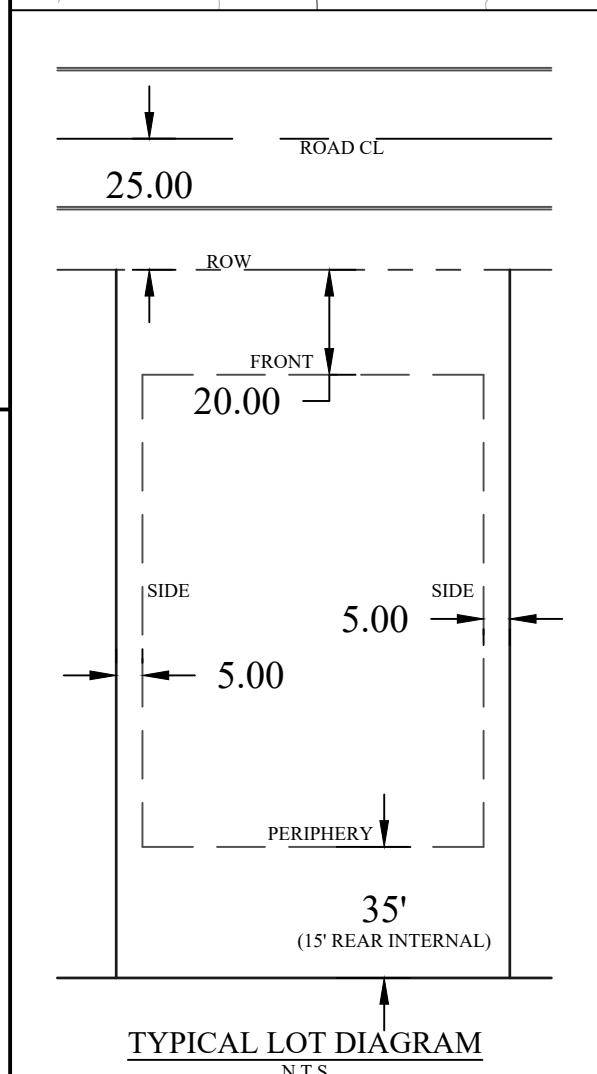
Revisions	
No.	Description
1	REVISED PER MPC REVIEW COMMENTS

Designed By:	RNR
Checked By:	RNR
Date:	10/22/21
File Name:	WKS - Alignment (2) - 11.dwg

DEVELOPER:
HOMESTEAD LAND HOLDINGS, LLC
122 PERIMETER PARK DR
KNOXVILLE, TN 37922

CONCEPT OF LONG/DONAHUE PROPERTY
KNOX COUNTY, TN
CONCEPT LAYOUT

Sheet
C101
SHEET 2 OF 4

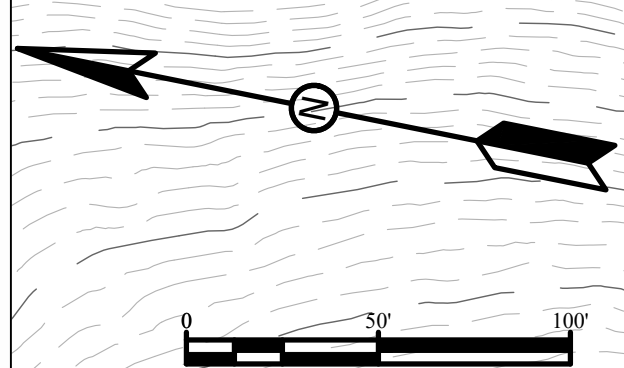


PROPERTY DATA:
MAP 129 PARCEL 126.05, 126.04, 126.03, PORTION OF 126.01
AREA: 18.422 ACRES +/-
ZONE:
10.126 AC = PR < 3 DU/AC
8.3 AC = PR-2
2.5 AC = CA/CR
TOTAL LOTS: 47
DENSITY: 1.92 DU/AC; 8.46 AC DISTURBED
COMMON AREA: 5.99 AC (32.5%)
SETBACKS:
FRONT= 20 FT
SIDE= 5 FT; REAR= 15 FT
PERIPHERAL= 35 FT; 30 FT ALONG ROW ON LOT 46
UTILITIES:
WEST KNOX UTILITY DISTRICT (WATER AND SEWER)
KUB (GAS)
LCUB (ELECTRIC)



CERTIFICATION OF CONCEPT PLAN
I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

REGISTERED ENGINEER: *Russell N. Rackley*
TENNESSEE CERTIFICATE NO.: 109503



Sheet
C102
SHEET 3 OF 4

