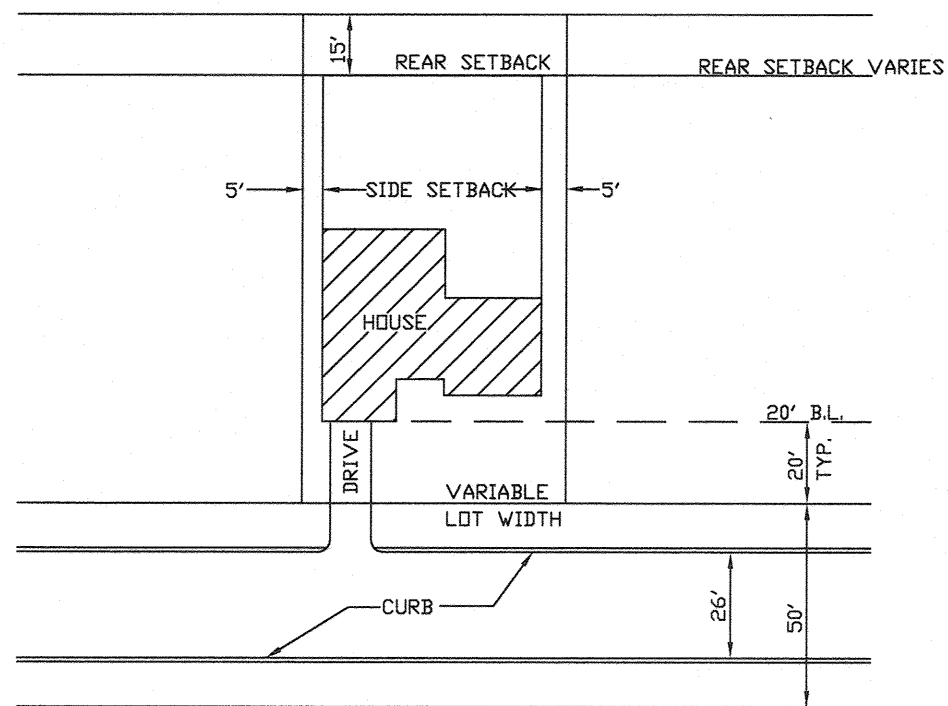


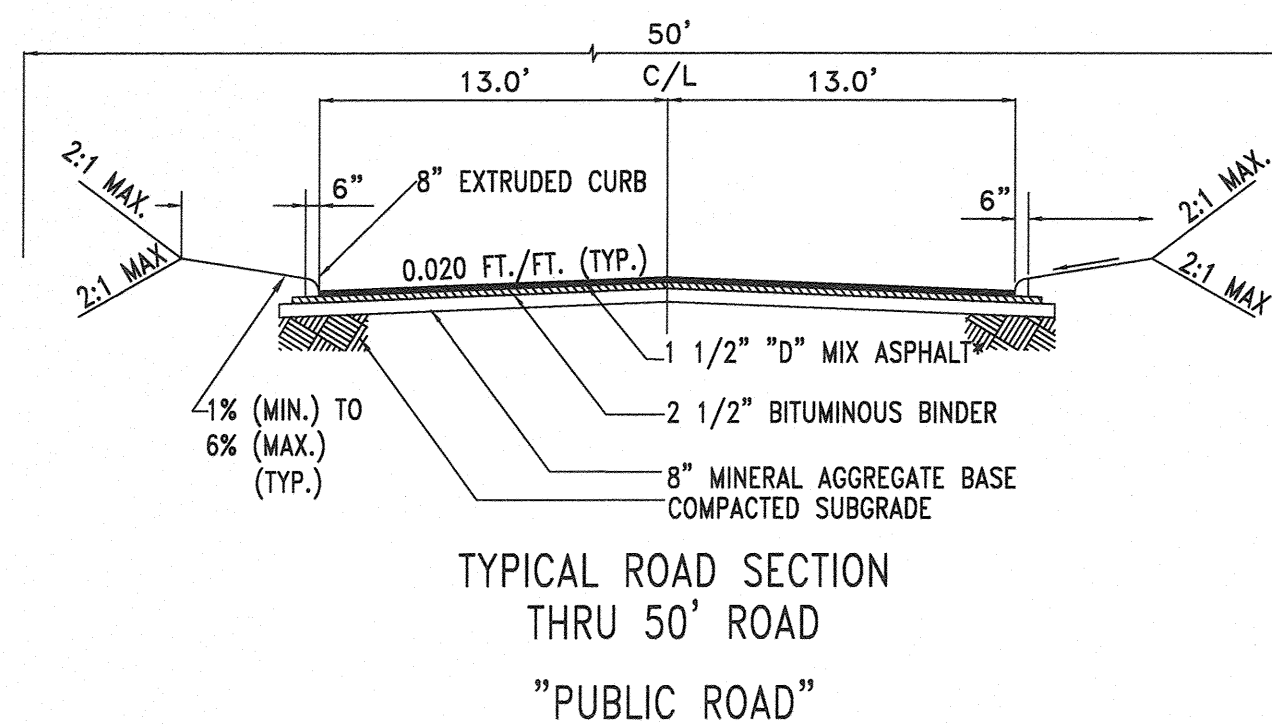
NOTE:
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OSHA RULES SHALL BE ABIDED BY.

NOTE:
CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION

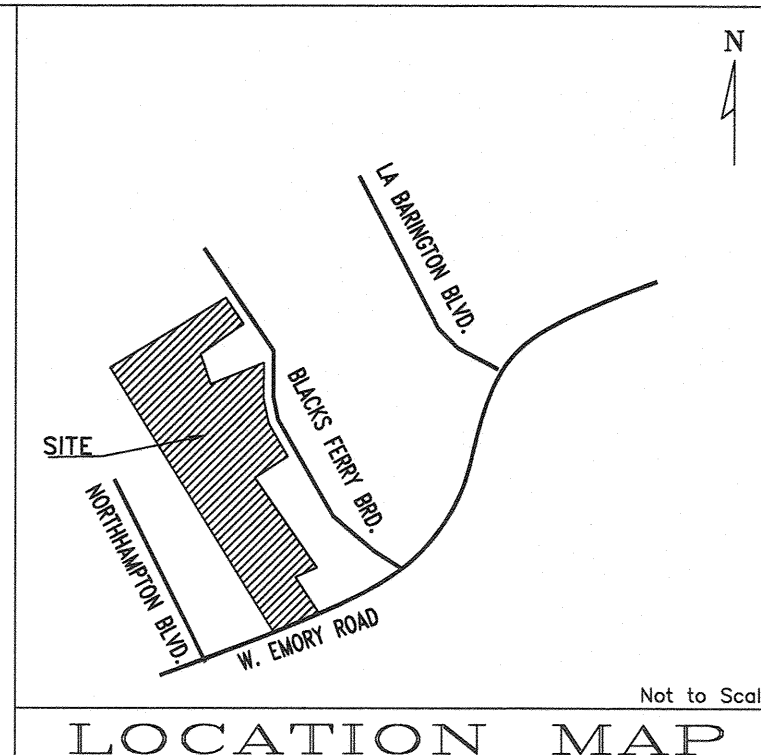


TYPICAL LOT LAYOUT
1" = 40'

- NOTES:
1. ALL DIMENSIONS AND AREAS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAN.
 2. THERE SHALL BE TEN (10) FEET IN WIDTH UTILITY AND DRAINAGE EASEMENTS INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHT-OF-WAYS AND FIVE (5) IN WIDTH SHALL BE PROVIDED ALONG BOTH SIDES OF ALL INTERIOR LOT LINES AND ON THE INSIDE OF ALL OTHER EXTERIOR LOT LINES. UTILITY AND DRAINAGE EASEMENTS TO BE CENTERED ABOUT DRAINAGE STRUCTURE AS INSTALLED.
 3. SANITARY SEWER EASEMENT OF 15, 7.5 EACH SIDE OF SEWER AS INSTALLED (WHERE APPLICABLE).
 4. THIS PROPERTY CONTAINS APPROXIMATELY 23.64 ACRES AND IS SUBDIVIDED INTO 94 SINGLE FAMILY LOTS, AND COMMON AREA (LOT 18).
 5. PER ZONING (PENDING) 65 DU/AC.
 6. CONTOURS PROVIDED BY KNOXVILLE, KNOX COUNTY GIS AND ROAD PROFILES ARE BASED ON KGIS.
 7. UTILITIES:
WATER: WEST KNOX UTILITY DISTRICT
SEWER: WEST KNOX UTILITY DISTRICT
ELECTRIC: KNOXVILLE UTILITIES BOARD
GAS: KNOXVILLE UTILITIES BOARD
TELEPHONE: FRONTIER
 8. THIS SUBDIVISION WILL HAVE A HOME OWNERS ASSOCIATION.
 9. BUILDING SETBACK LINES WILL BE AS FOLLOWS:
FRONT: 30'
SIDES: 30'
REAR: 15' (UNLESS CONTROLLED BY 35' PERIPHERAL SET BACK)
 10. VARIANCE REQUESTED:
a. ROAD "A", REQUEST REDUCTION OF VERTICAL CURVE FROM STATION 0+13 TO 0+47.0 FROM K+25.00 TO K+24.67 BECAUSE OF THE TOPOGRAPHY.
b. ROAD "A", REQUEST REDUCTION OF VERTICAL CURVE FROM STATION 4+90 TO 4+90 FROM K+25.00 TO K+18.35 BECAUSE OF TOPOGRAPHY.
c. REQUEST REDUCTION IN TANGENT REVERSE CURVE, ROAD "A" FROM 150' TO 9' BECAUSE OF THE REQUIRED HORIZONTAL CURVES PER YOUR COMMENTS.
d. REQUEST REDUCTION IN REVERSE CURVE TANGENT LENGTH FROM 90' TO 9' AT STA. 1+35.94 TO 1+45.38 BECAUSE OF THE TOPOGRAPHY.
 11. "ALTERNATIVE DESIGN STANDARDS"
a. ROAD "A", REQUEST REDUCTION OF HORIZONTAL CURVE FROM STATIONS 0+41 TO 0+35.94, FROM RADIUS 250' TO RADIUS 110' BECAUSE OF NARROW BOUNDARY AND TOPOGRAPHY.
b. ROAD "A", REQUEST REDUCTION OF HORIZONTAL CURVES FROM STATIONS 1+45.38 TO 2+92.78 AND 12+79.32 TO 16+22.57, FROM RADIUS 250' TO RADIUS 200' BECAUSE OF NARROW BOUNDARY AND TOPOGRAPHY.
c. ROAD "B", REQUEST REDUCTION OF HORIZONTAL CURVE FROM STATIONS 1+21 TO 5+07 AND STATION 8+42 TO 10+39 FROM RADIUS 250' TO RADIUS 100' BECAUSE OF NARROW BOUNDARY AND TOPOGRAPHY.
d. REQUEST REDUCTION IN PERIPHERAL SETBACK FROM 35' TO 25' ON THE BACK OF LOT 1, LOT 53 AND LOT 94 ALONG BLACKS FERRY ROAD.
 12. ALL ROADS IN THIS SUBDIVISION ARE PUBLIC ROAD WITH 50' RIGHT-OF-WAY AND 20' WIDE PAVEMENT.
 13. VEHICULAR ACCESS FOR ALL LOTS IS LIMITED TO INTERIOR ROAD SYSTEM ONLY EXCEPT LOT 95 WILL HAVE ACCESS THROUGH BLACKS FERRY ROAD.
 14. ALL FIRE HYDRANTS WILL BE LOCATED IN THE WATER PLAN.
 15. BUFFER LIMITS ARE TO BE DELINEATED AND MARKED WITH SIGNAGE OR FENCING PRIOR TO ANY DISTURBANCE. STREAM DETERMINATION STUDY WILL DEFINE THE START OF THE STREAM. WHEN THE REPORT BECOMES AVAILABLE, IT WILL BE SUBMITTED TO TDEC AND THE KNOX COUNTY ENGINEERING AND PUBLIC WORKS.
 16. LOT 44 WILL HAVE 25' ACCESS EASEMENT THROUGH LOT 43, LOT 48 WILL HAVE 25' ACCESS EASEMENT THROUGH LOT 49, LOT 53 WILL HAVE 25' ACCESS EASEMENT THROUGH LOT 52, AND LOT 63 WILL HAVE 25' ACCESS EASEMENT THROUGH LOT 62.
 17. BUFFER LIMITS ARE TO BE DELINEATED AND MARKED WITH SIGNAGE OR FENCING PRIOR TO ANY DISTURBANCE.
 18. LOT 18 IS NON-BUILDABLE LOT (AGENCY AND COMMON AREA).
 19. BOUNDARY IS BASED ON A FIELD SURVEY.



NOTE: NO BREAK IN GRADE FOR DRIVEWAYS SHALL EXCEED 8% FOR A MINIMUM 10 FEET BEHIND THE SIDEWALK.



NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK OR CONSTRUCTION CONTRACTOR MUST CONTACT:
TENNESSEE ONE-CALL
1-800-351-1111
RECORD AND SAVE YOUR
CONFIRMATION NUMBER.: 160926614
CONFIRMATION NUMBER.: 160985276

12-E-20-UR
12-SC-20-C

12-SC-20-C / 12-E-20-UR
11/23/2020

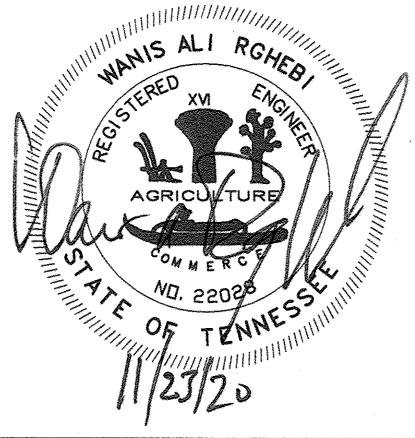
SITE ADDRESS:
5913 W. EMORY ROAD
KNOXVILLE, TENNESSEE 37849

OWNER/DEVELOPER:
PRIMOS LAND COMPANY, LLC
4909 BALL RD.
KNOXVILLE, TN 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699
EMAIL: JOSH@RHSCO.COM

CERTIFICATION OF CONCEPT PLAN
I HEREBY CERTIFY THAT I AM AN ENGINEER, LICENSED TO PRACTICE UNDER THE LAWS OF THE STATE OF TENNESSEE, AND THAT THE ENGINEERING INFORMATION PROVIDED AS PART OF THIS DESIGN PLAN IS TRUE AND IS BASED ON SOUND ENGINEERING PRACTICE.
ENGINEER: Wanis A. Roberi
TENNESSEE CERTIFICATE NUMBER 22028 22022

This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Map, and found that the above described is located in a special flood hazard area as shown on the Federal Insurance Rate Map Panel 47093C0115F, Knox County Community Number 475433, effective date MAY 2, 2007.

Date: 11/23/20
Signature: Wanis A. Roberi



SOUTHLAND ENGINEERING CONSULTANTS, LLC
GENERAL CIVIL & LAND SURVEYORS
4909 BALL ROAD
KNOXVILLE, TENNESSEE 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699
E-MAIL: wrgh@seengconsultants.com
www.southlandengineeringusa.com

DESIGNED	WAR	APPROVED
DRAWN	WAR	ENGINEER
CHECKED	WAR	

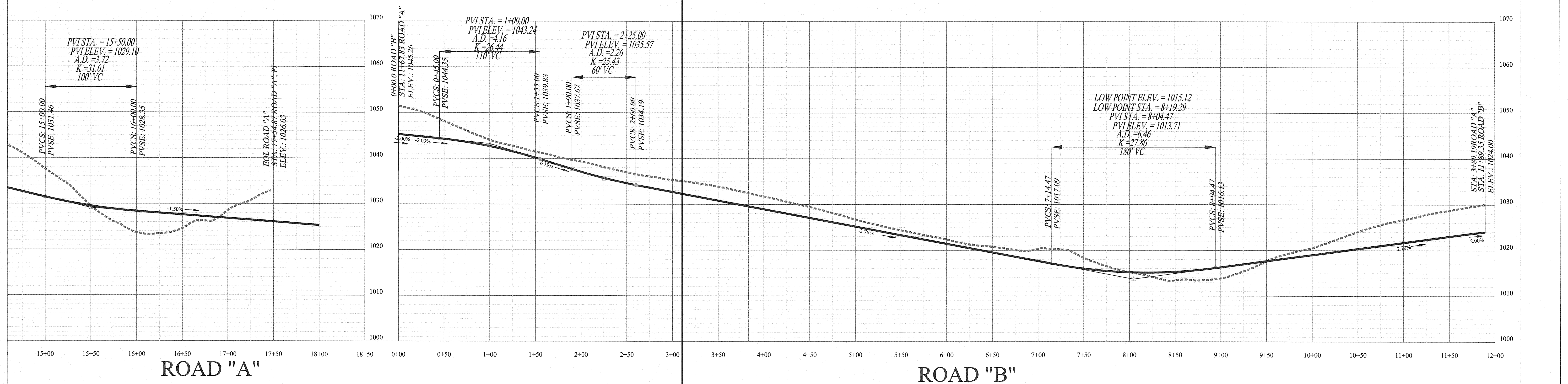
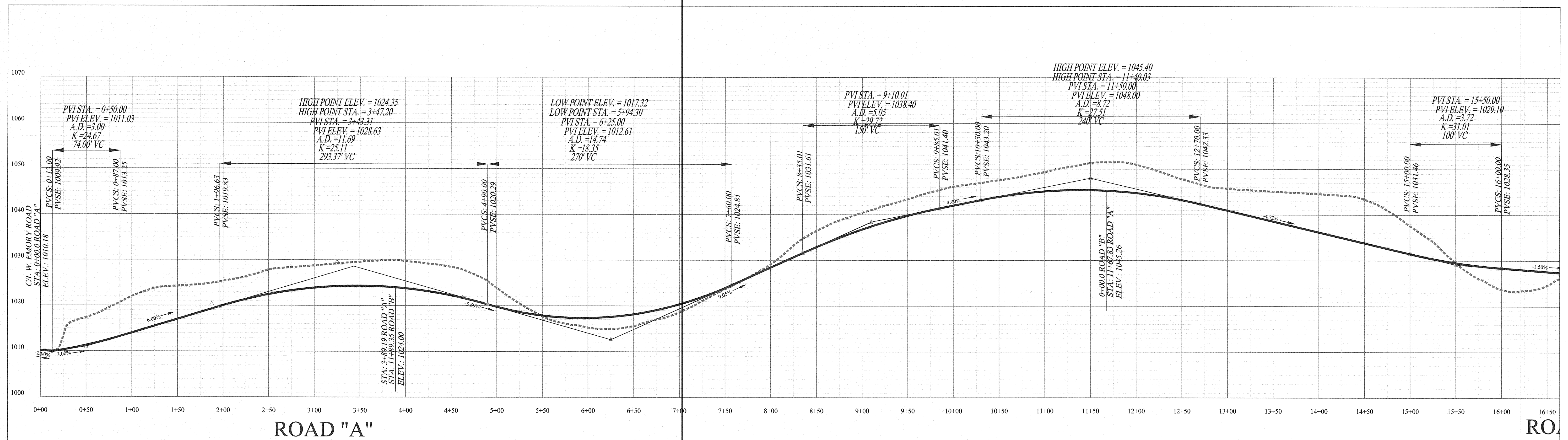
NO.	DATE	REVISION	APPR.

SCALE
HORIZONTAL: 1" = 60'
CONTOUR INTERVAL: 2'
DATE
10-20-2020

DEED REFERENCES:
INST.# 201902120047867
SCALE IN FEET
60 0 60 120

CONCEPT PLAN
FOR MILLER FARM SUBDIVISION
ON W. EMORY ROAD
CLT MAP 078, PARCEL 038
DISTRICT 6, KNOX COUNTY, TENNESSEE

PLC-10-20-20-CP
SHEET 1 OF 3 SHEETS



NOTE:

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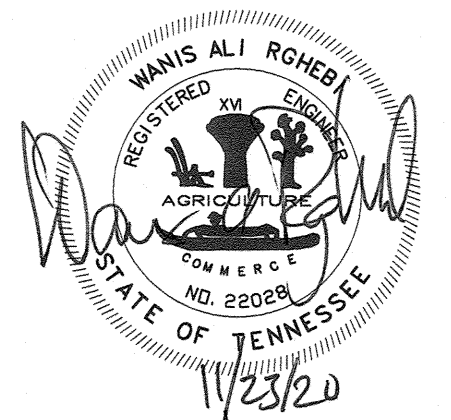
NOTE:
CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

12-SC-20-C
12-E-20-UR

OWNER/DEVELOPER:
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4909 BALL RD.
KNOXVILLE, TN 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699
EMAIL: josh@rthscoco.com

SITE ADDRESS:
5913 W. EMORY ROAD
KNOXVILLE, TENNESSEE 37849

12-SC-20-C / 12-E-20-UR
11/23/2020

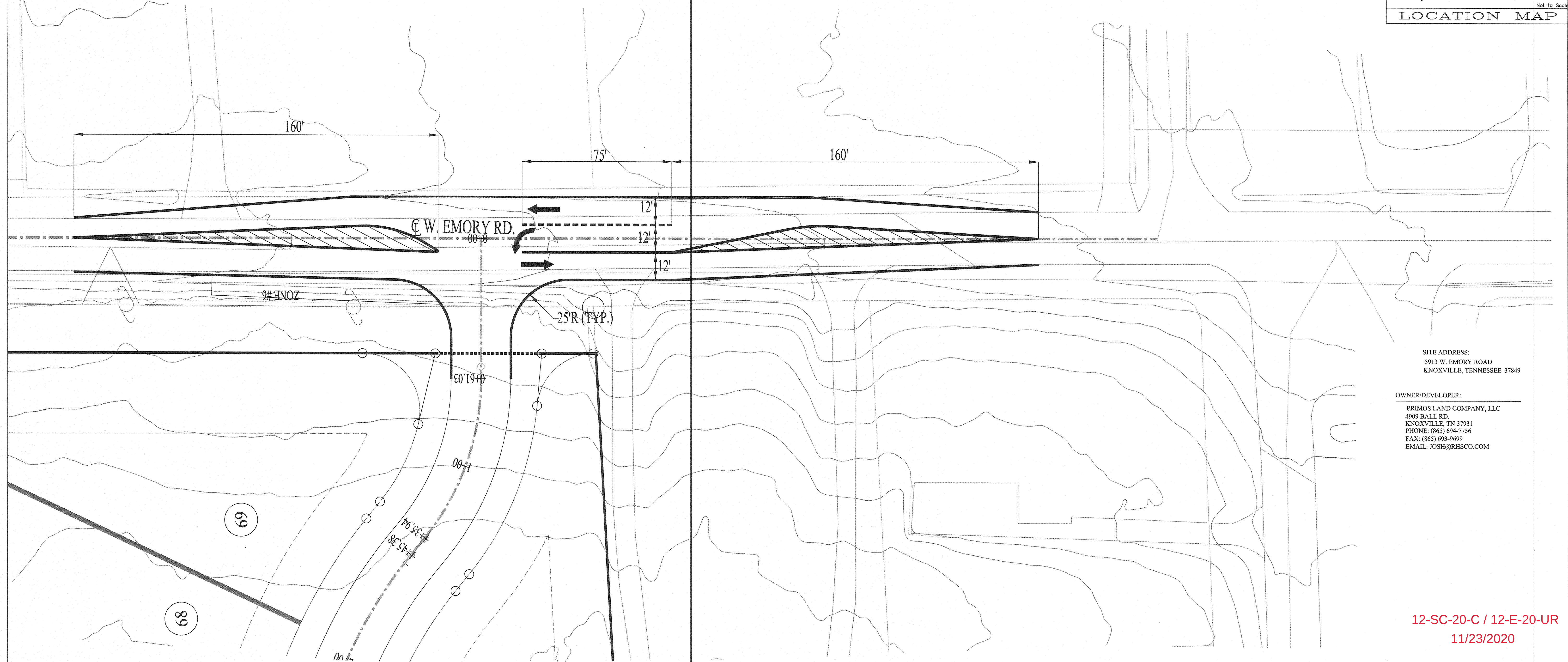


1"=50'

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[illegible]

NOTE:
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BEFORE START OF CONSTRUCTION



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12-SC-20-C / 12-E-20-UR
11/23/2020



DESIGNED	WAR	APPROVED
DRAWN	WAR	ENGINEER
CHECKED	WAR	

[illegible]

DEED REFERENCES:
INST.# 201902120047867

20 0 20 40
SCALE IN FEET

DEED REFERENCES:
INST.# 201902120047867

W. EMORY RD. IMPROVEMENT PLAN
FOR MILLER FARM SUBDIVISION
ON W. EMORY ROAD
CLT MAP 078, PARCEL 038
DISTRICT 6, KNOX COUNTY, TENNESSEE

PLC-10-20-20-ENT	
SHEET 3	OF 3 SHEETS