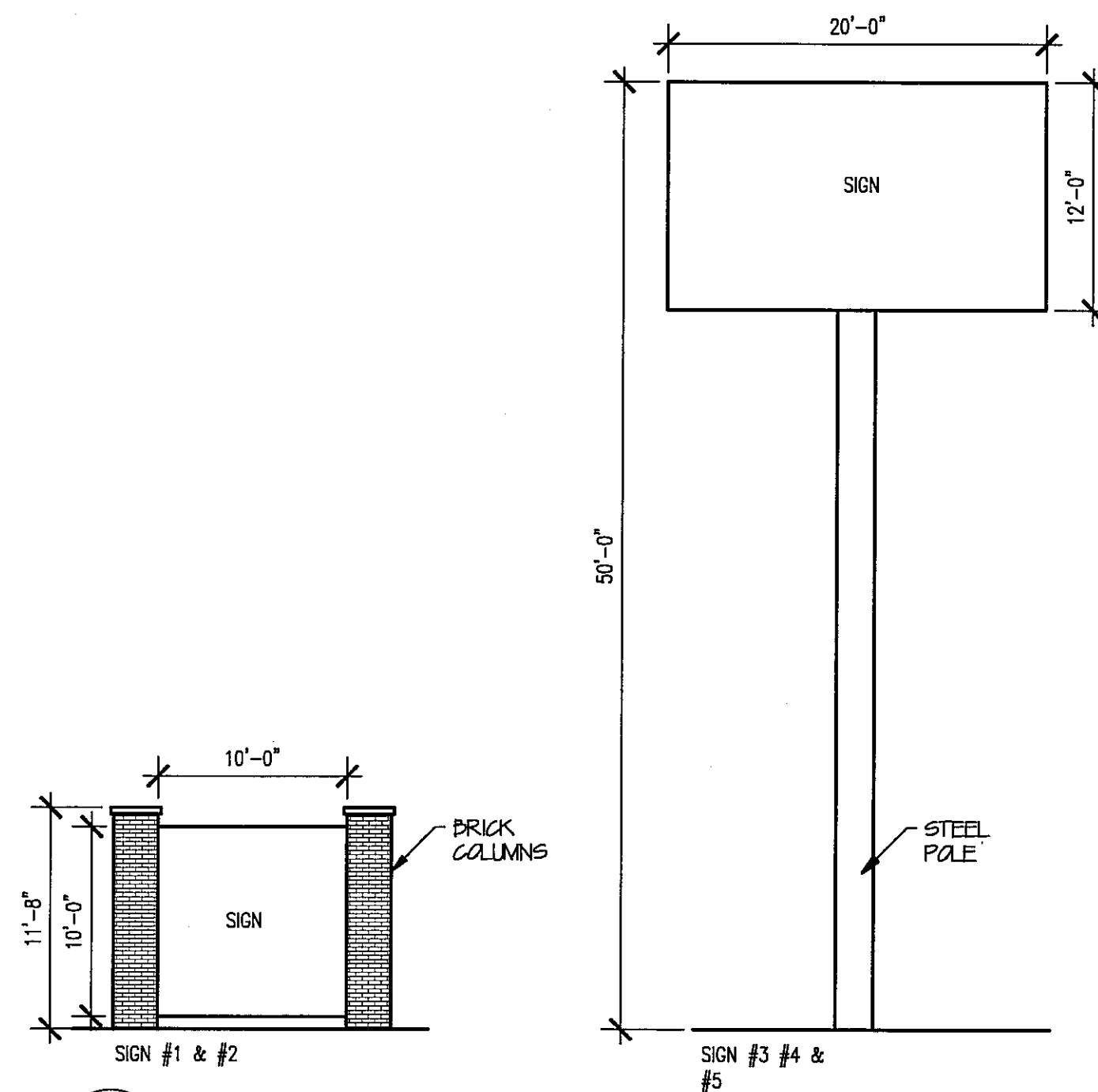


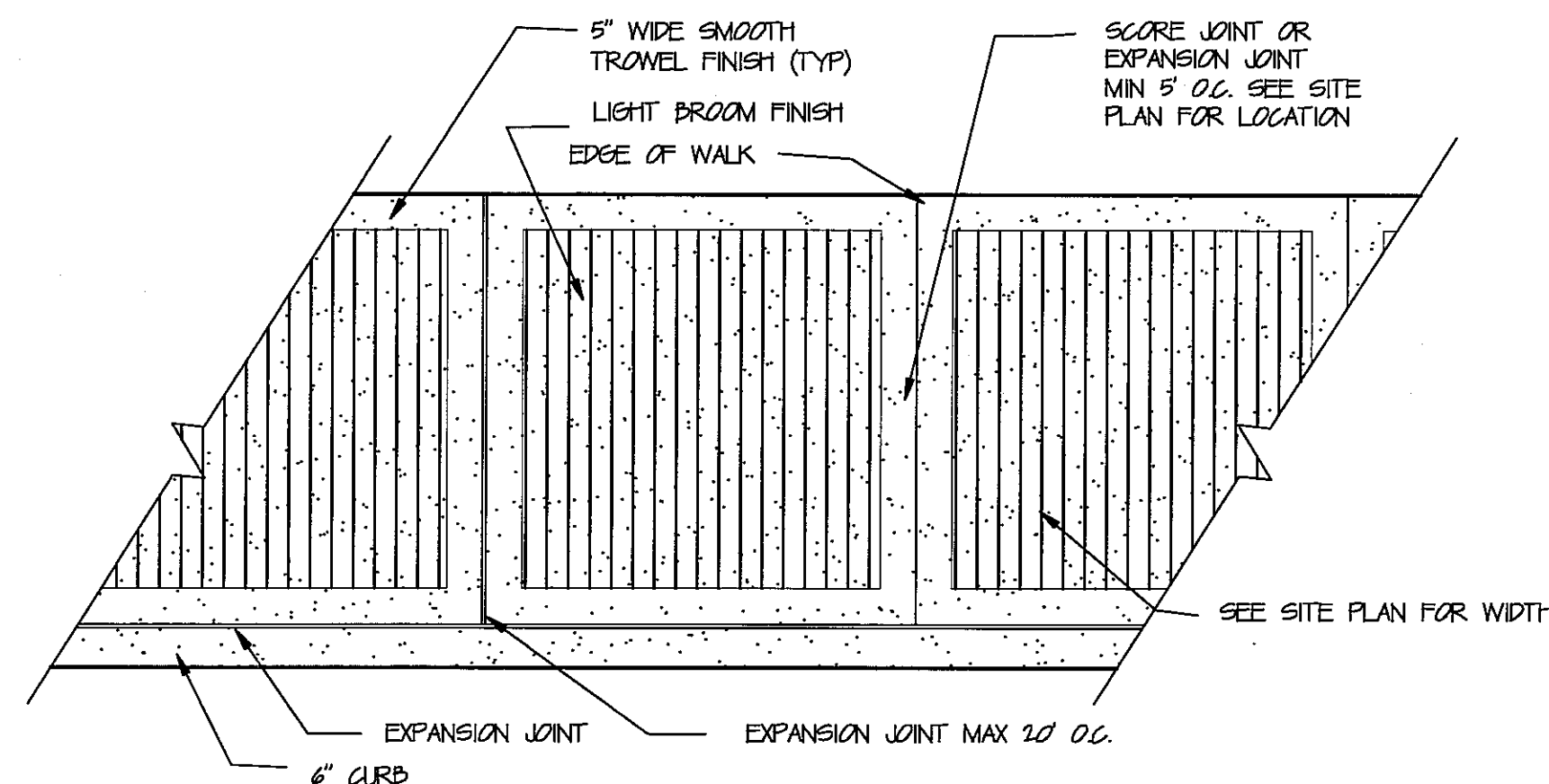
GENERAL PROJECT NOTES

1. THE CONTRACTOR IS REQUIRED TO PLACE A TENNESSEE-ONE-CALL PRIOR TO BEGINNING CONSTRUCTION. TN-1-CALL TICKET NUMBER MUST BE KEPT/KNOWN BY ALL EXCAVATION OPERATORS.
2. CITY/COUNTY DETENTION CERTIFICATION REQUIRED BEFORE FINAL CERTIFICATE OF OCCUPANCY APPROVAL.
3. THE CONTRACTOR SHALL FOLLOW THE CITY/COUNTY STREET & DRAINAGE - CONSTRUCTION SPECIFICATIONS, LATEST EDITION IF THE WORK IS WITHIN THE CITY RIGHT OF WAY OR TO BE INCORPORATED INTO THE PUBLIC SYSTEM.
4. STAKE OUT ROAD, BUILDING, AND PARKING AREAS PRIOR TO GRADING.
5. CONTRACTOR TO REVIEW SITE AND BECOME FAMILIAR WITH DETAILS PRIOR TO CONSTRUCTION.
6. DIMENSIONS SHOWN ARE TO FACES OF CURBS, FACES OF BUILDINGS, FACES OF WALLS, AND BACK OF SIDEWALKS TYPICAL UNLESS OTHERWISE NOTED.
7. ALL CURB RADI 5.0' UNLESS OTHERWISE NOTED.
8. ALL CURB IRONS MUST READ "DUMP NO WASTE, DRAINS TO STREAM"
9. ALL NON PAVED AREAS WILL BE EITHER GRASSED, MULCHED OR OTHERWISE STABILIZED TO PREVENT EROSION.
10. THE SITE CONTAINS 4 BUILDINGS 2-5 STORY NEW HOTELS AND 2-1 STORY RESTAURANTS
11. PARKING SPACES ARE 69 SPACES PLUS 4 HANDICAPPED CALCULATED AS FOLLOWS:

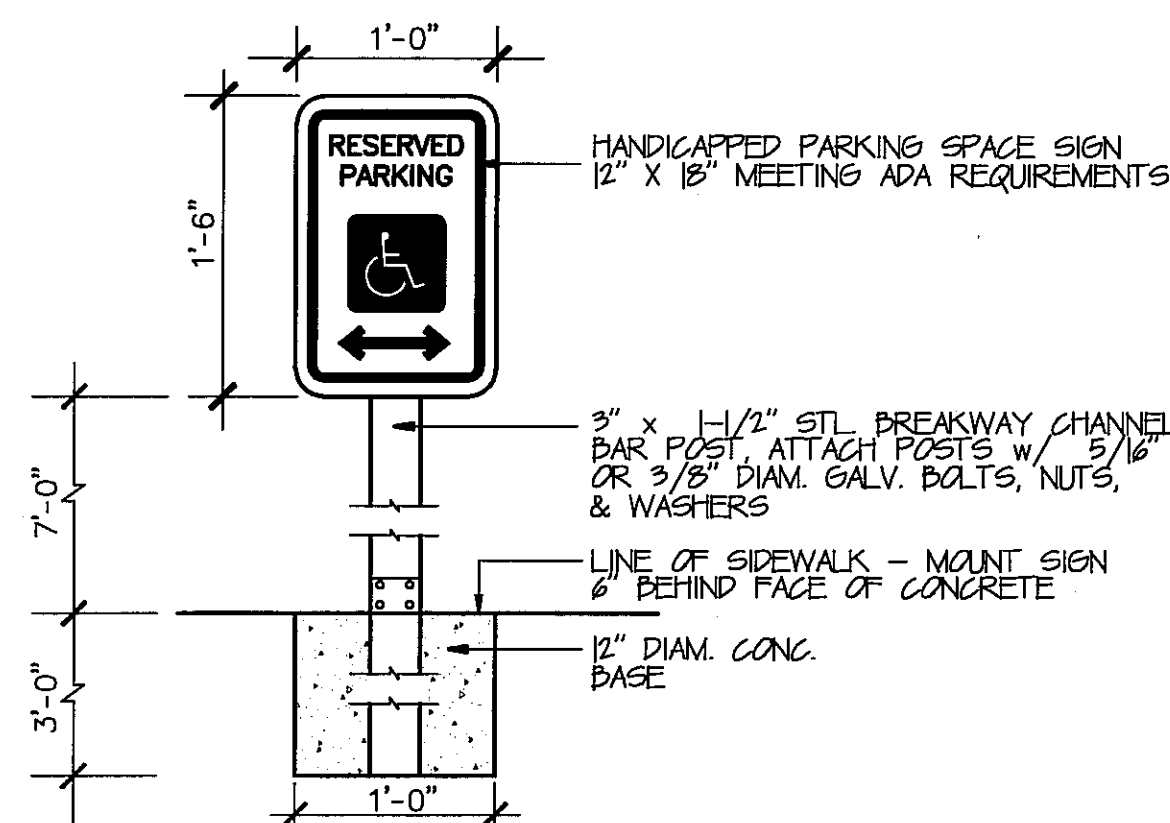
1 PER SUITE (105) HOME 2	= 105
1 PER 3 EMPLOYEES (6)	= 2
1 PER SUITE (107) 4 POINTS	= 107
1 PER 3 EMPLOYEES (6)	= 2
1 PER 100 SF RESTAURANT (7,000)	= 170
TOTAL REQUIRED	= 384
TOTAL PROVIDED	= 451
PARKING SPACES ARE 5'X18'	= 162 SF
HANDICAPPED SPACE 14'X18'	= 252 SF
VAN ACCESSIBLE SPACE 16'X18'	= 288 SF
12. 2 OF THE BUILDINGS ARE RESIDENTIAL OCCUPANCY
13. THE PROPERTY IS CURRENTLY ZONED "PC-1"
14. THE BUILDING SET BACKS ARE: FRONT-25', REAR-0', SIDE-0',
15. GARBAGE WILL BE HANDLED WITH DUMPSTER UNIT
16. LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE REQUIREMENTS.



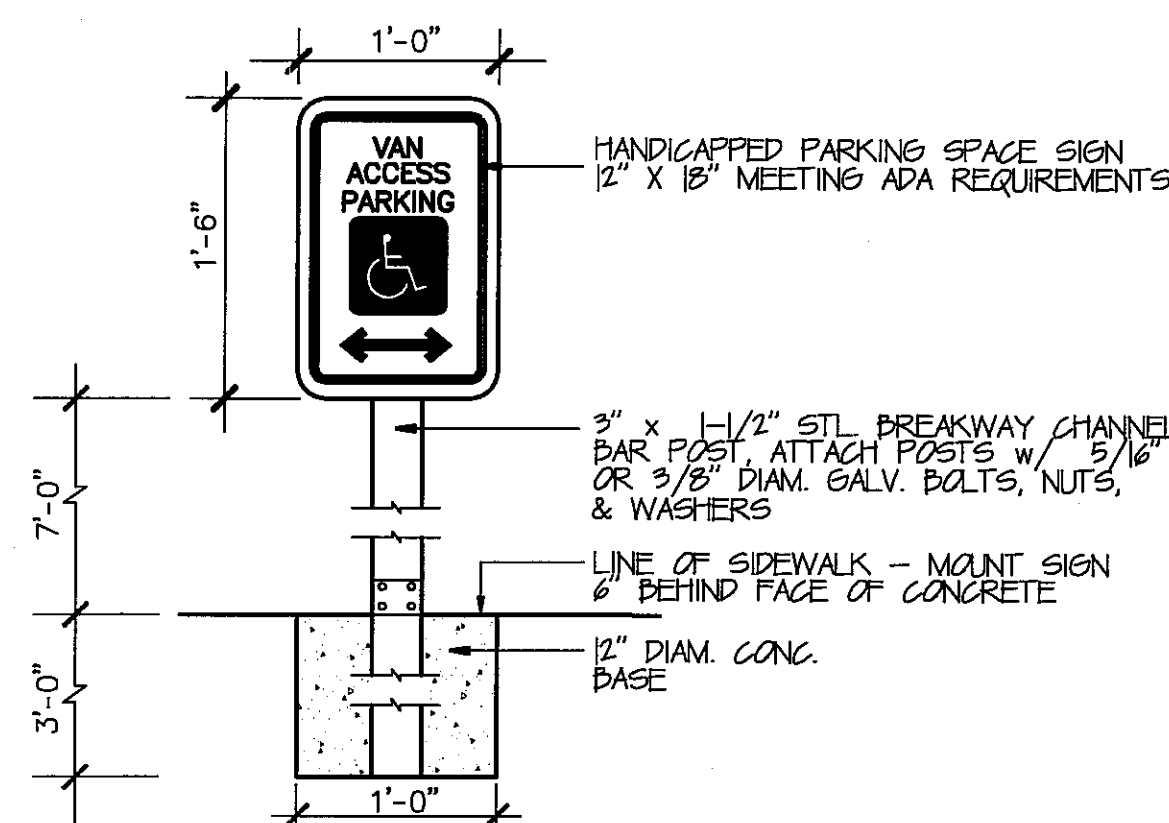
5 SIGN DETAIL
C1.2 SCALE: 1/4" = 1'-0"



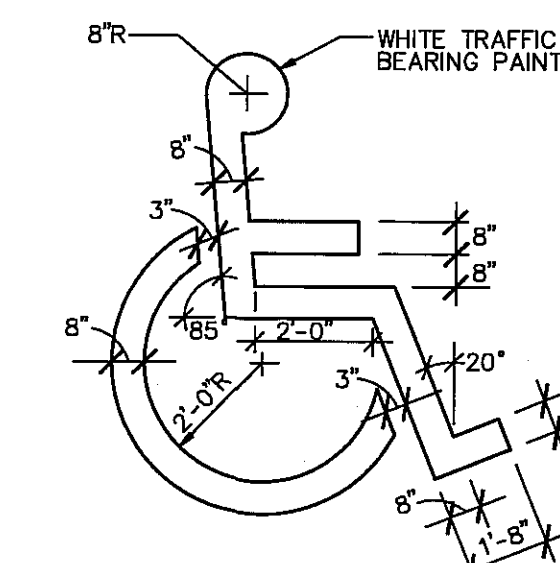
4 SIDEWALK DETAIL
C1.2 SCALE 1/2"=1'-0"



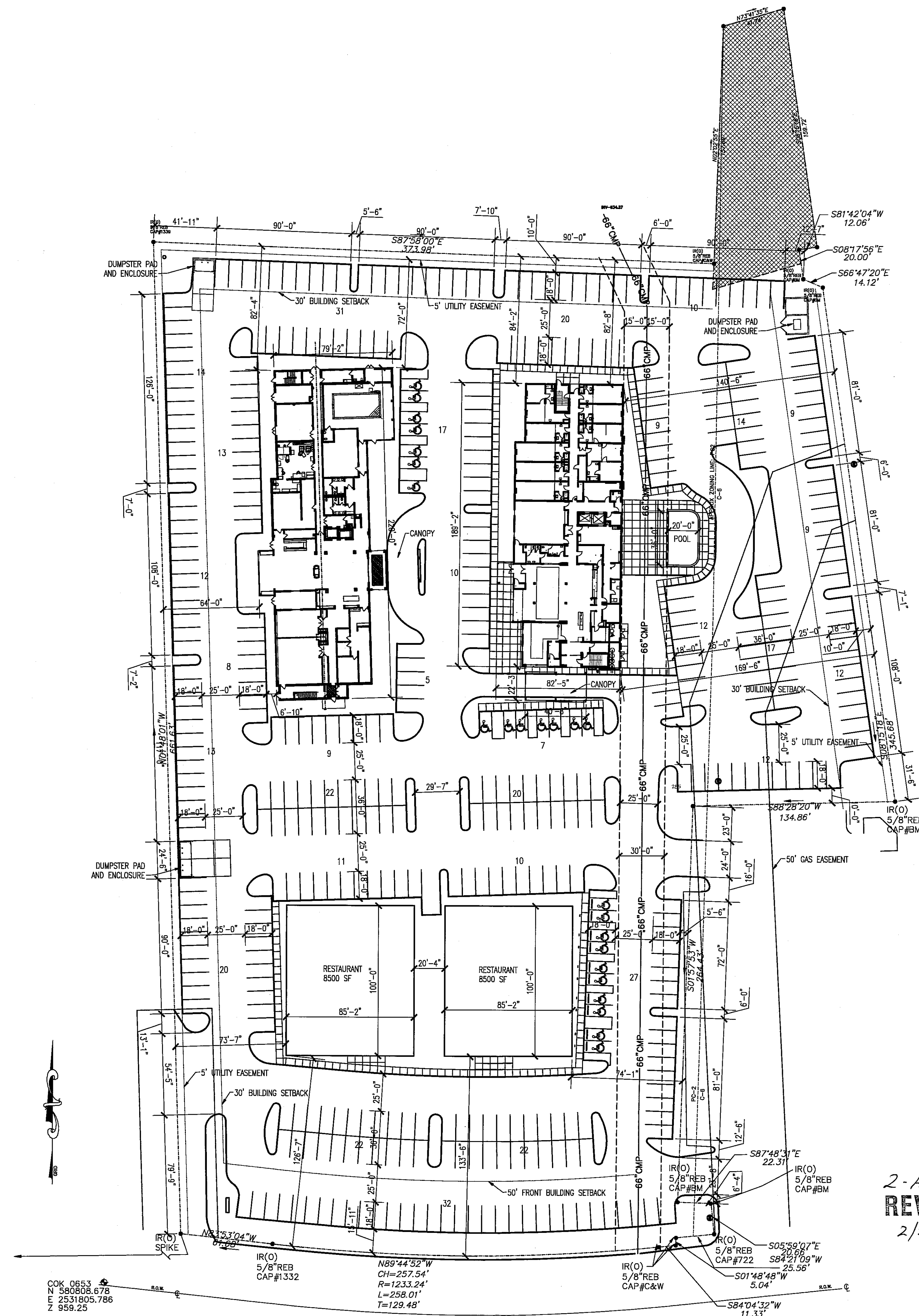
2 H. C. SIGN DETAILS
C1.2 SCALE 1"=1'-0"



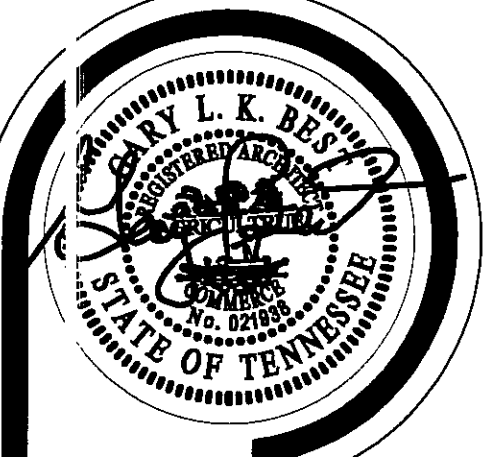
VAN ACCESSIBLE SIGN



3 H.C. SYMBOL DETAIL
C1.2 SCALE: 1/4" = 1'-0"



1 SITE LAYOUT PLAN
C1.2 SCALE: 1" = 40'-0"



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NORTH PETERS RD.
MASTER PLAN
KNOXVILLE, TN

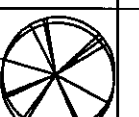
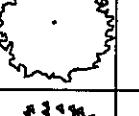
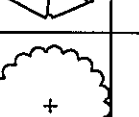
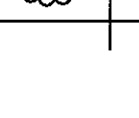
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1 - 1/10/09
2 - 2/10/09

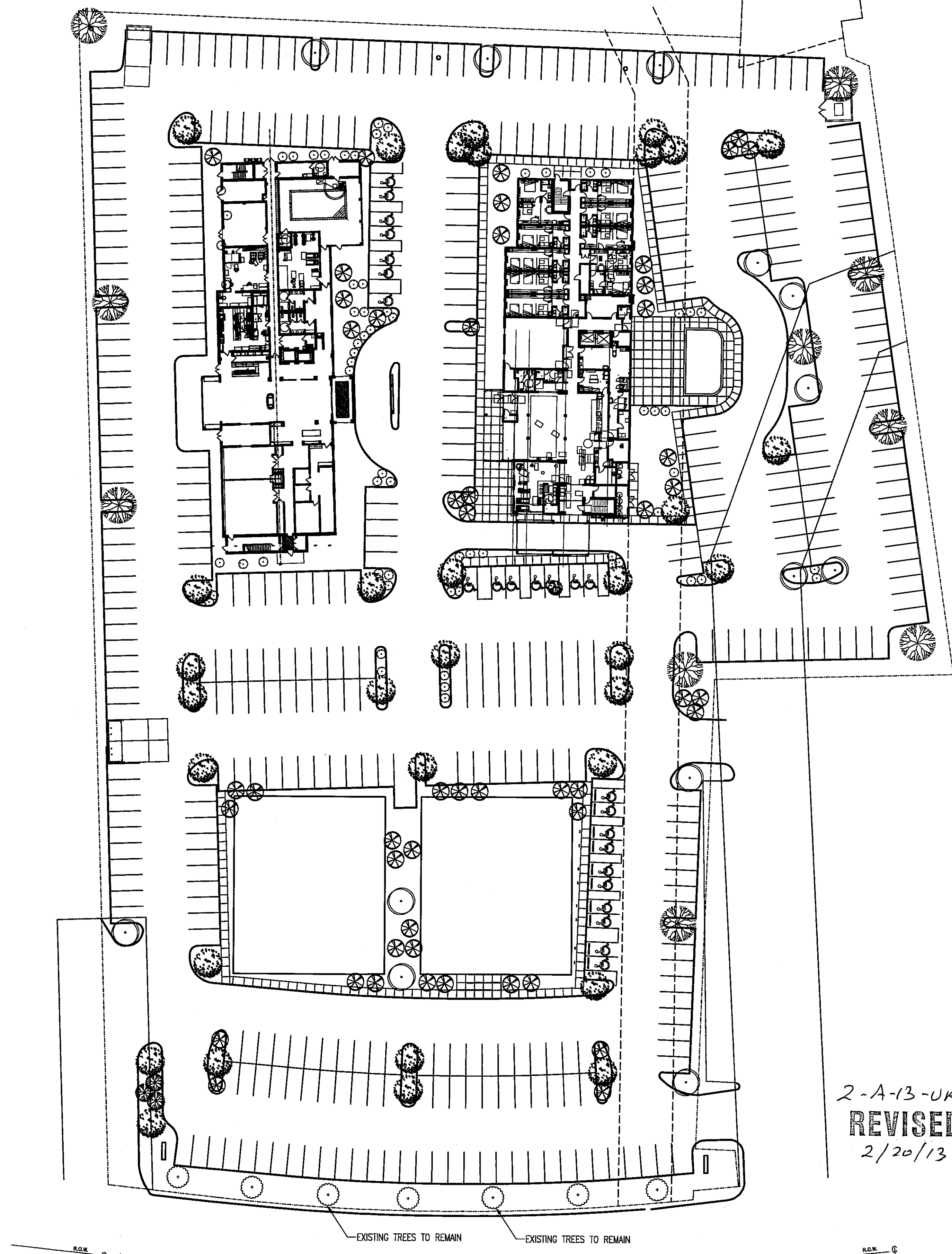
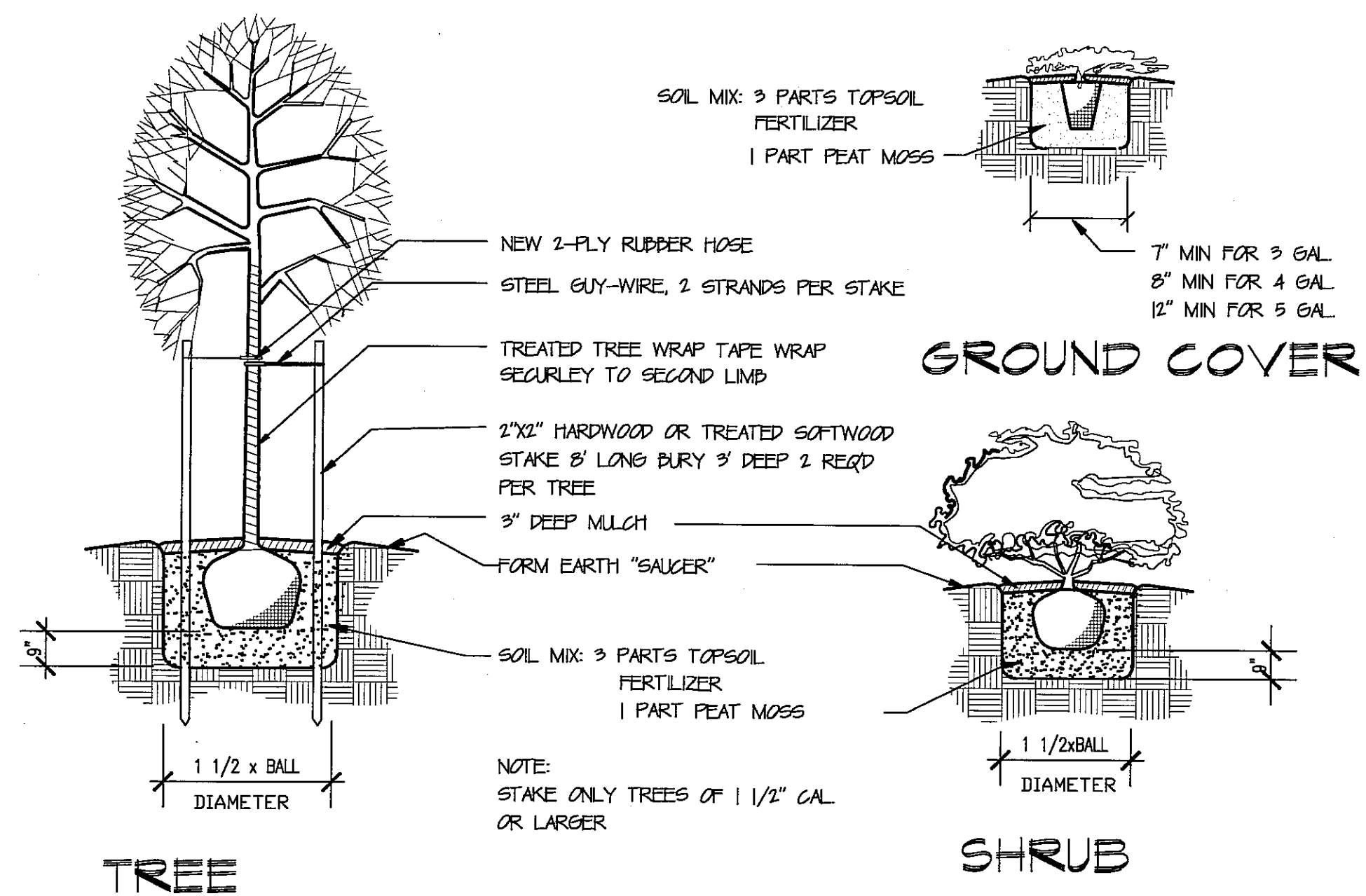
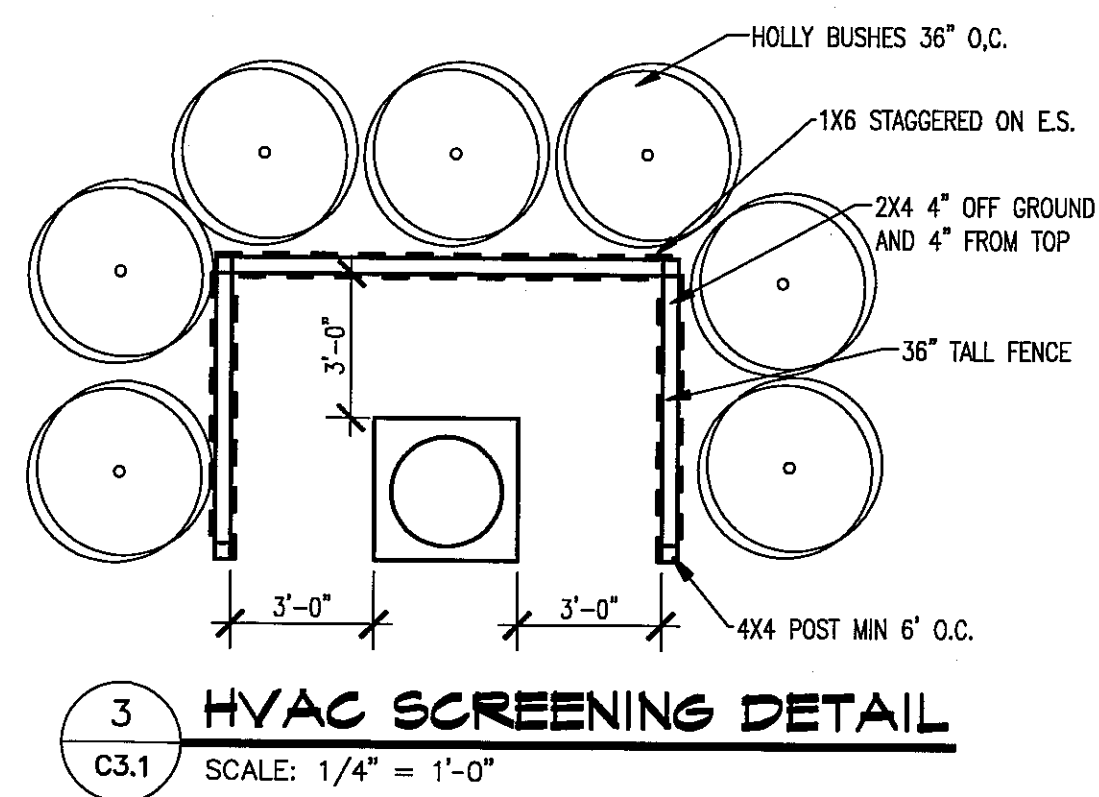
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DATE 12/1/12
SCALE 1"=40'-0"
DESCRIPTION

SITE LAYOUT PLAN

SHEET
C1.2
OF

2-A-13-UR
REVISED
2/20/13

LANDSCAPE SCHEDULE				
SYMBOL	TREE	PLANTING SIZE	SIZE AT MATURITY	# REQUIRED
	RIVER BIRCH (BETULA NIGRA)	8' X 2" CAL.	50'-60'	15
	AMERICAN SYCAMORE (PLATANUS OCCIDENTALIS)	8' X 2" CAL.	50'-60'	11
	PIN OAK (QUERCUS PALUSTRIS)	8' X 2" CAL.	50'-60'	0
	FLOWERING DOGWOOD (CORNUS FLORIDA)	8' X 2" CAL.	15'-20'	12
	EASTERN REDBUD (CERCIS CANADENSIS)	8' X 2" CAL.	15'-25'	15
	LEATHERLEAF VIBURNUM (VIBURNUM RHYTIDOPHYLLUM)	3 GALLON	8' TALL 5' CANOPY	35
	ENGLISH LAUREL (PRUNUS LAUROCEARUS)	3 GALLON	8' TALL 5' CANOPY	0
	THURLOW WEEPING WILLOW (SALIX ELEGANTISSIMA)	8' X 2" CAL.	15'-25'	0
	EXISTING TREES			7



2-A-13-UR
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NORTH PETERS RD
MASTER PLAN
KNOXVILLE, TN

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1 - 1/21/2013
2 - 2/20/2013

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DATE

12/21/12

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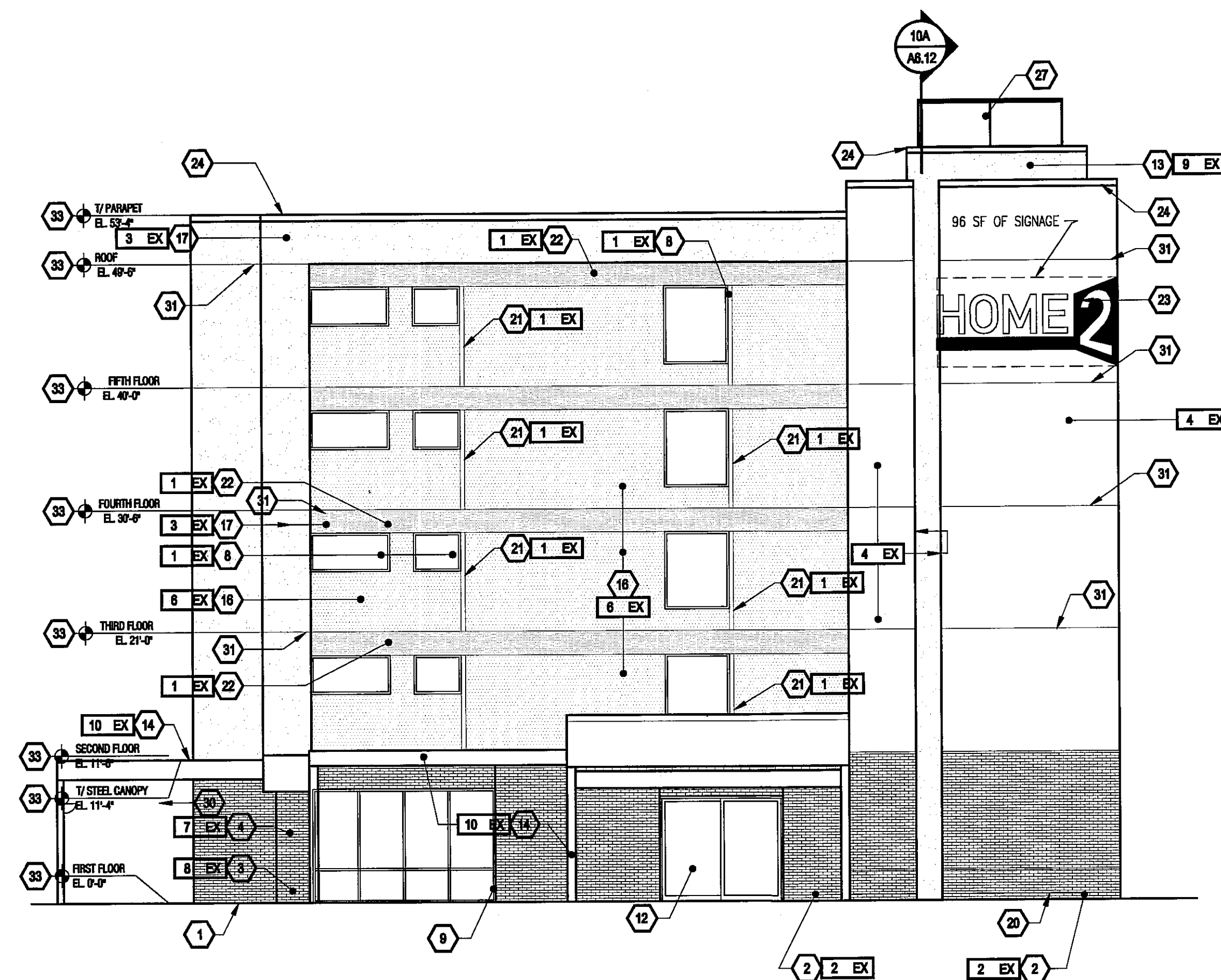
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LANDSCAPING

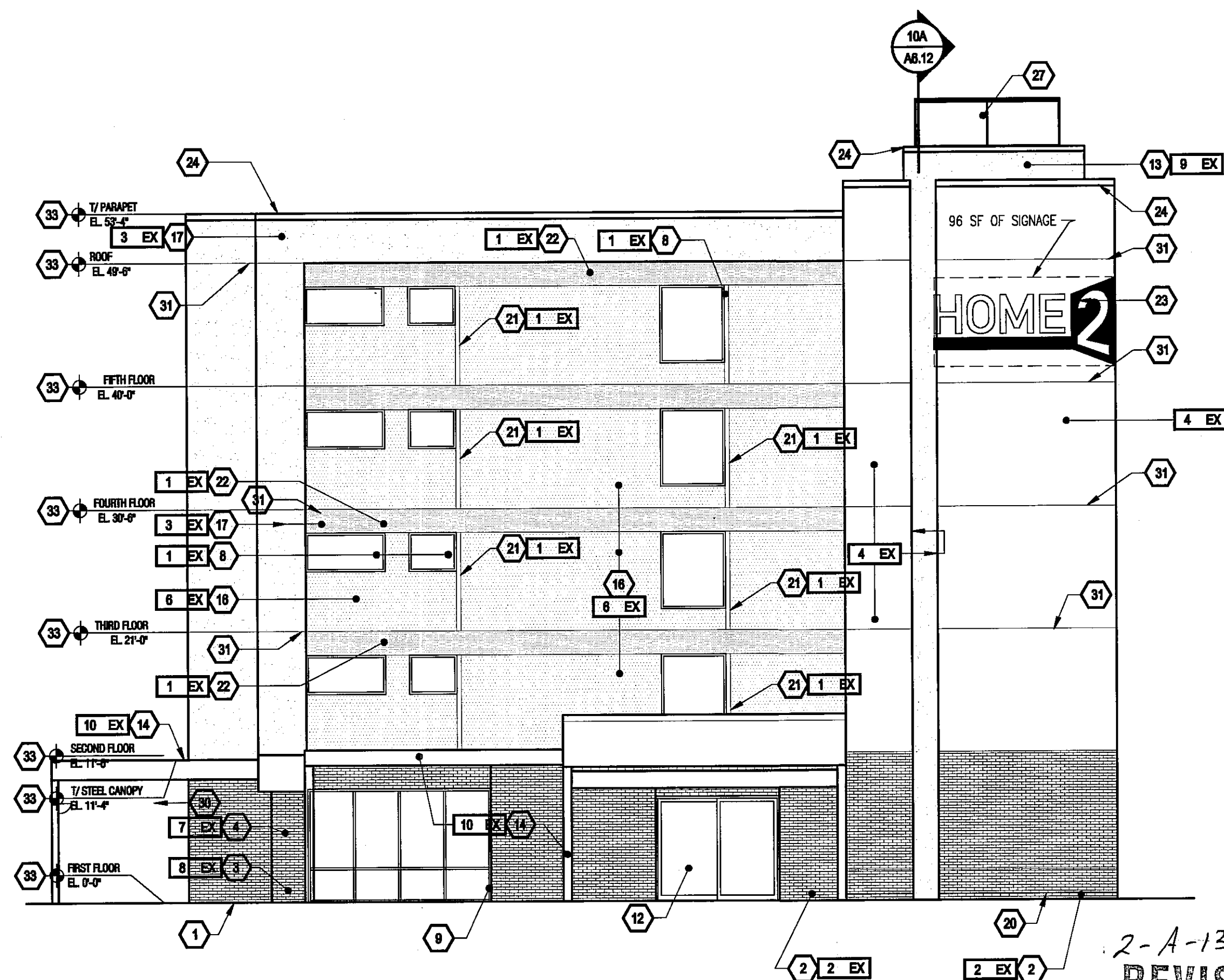
SHEET

C3.1

OF



2 REAR ELEVATION
A2.00 SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION
A2.00 SCALE: 1/8" = 1'-0"

BUILDING SIGNAGE:

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY.
LOCATION SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL
PROJECT BASIS.

MINIMUM 3/4" PLYWOOD BACKSUPPORT REQUIRED AT SIGN
LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF
FACIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR.
ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN
COMPANY. TYPICAL 120V REQUIREMENT

RACEWAYS/ WIREWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS
WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR.
CONTRACTOR TO FURNISH AND INSTALL CONCRETE PRIMARY
SERVICE INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR
WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED
PORT TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE
OBTAINED FROM SIGN COMPANY.

FINISH KEY:

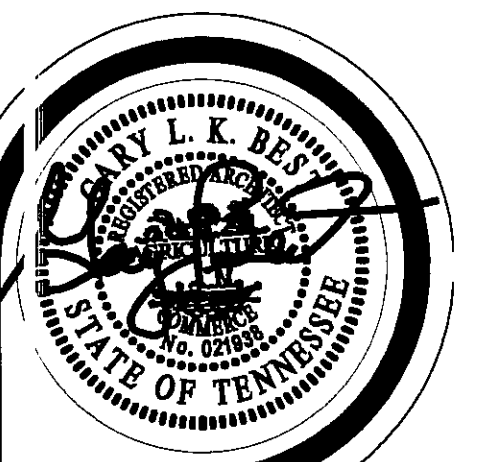
EX 1	ENVELOPE - ACCIDENT METAL -REFER TO STYLE GUIDE
EX 2	ENVELOPE - CORE DIRECT FINISH -REFER TO STYLE GUIDE
EX 3	ENVELOPE - WRAP -REFER TO STYLE GUIDE
EX 4	ENVELOPE - LINK & KEEP -REFER TO STYLE GUIDE
EX 5	ENVELOPE - ACCENT OPTION -REFER TO STYLE GUIDE
EX 6	ENVELOPE - CORE -REFER TO STYLE GUIDE
EX 7	ENVELOPE - SUPPORT -REFER TO STYLE GUIDE
EX 8	ENVELOPE - SUPPORT -REFER TO STYLE GUIDE
EX 9	BEACON - BEAM -REFER TO STYLE GUIDE
EX 10	ENVELOPE - CANOPY -REFER TO STYLE GUIDE

GENERAL NOTES THIS SHEET:

1. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND STYLE GUIDE FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND SIGNAGE REQUIREMENTS.
2. GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.

KEY NOTES:

- 1 APPROXIMATE LINE OF GRADE
 - 2 ABOVE GRADE EXPOSED FOUNDATION WALL.
 - 3 MASONRY OR TILE - BASE
 - 4 MASONRY OR TILE - FIELD - ASHLAR PATTERN.
 - 5 CONCRETE FOOTING AND FOUNDATION WALL AS REQUIRED PER LOCAL FROST DEPTHS
 - 6 OCULUS
 - 7 NOT USED
 - 8 ALUMINUM FIXED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING AND INTEGRAL ALUMINUM LOUVER
 - 9 ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
 - 10 NOT USED
 - 11 EXHAUST, REFER TO MECHANICAL DRAWINGS
 - 12 ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
 - 13 BEACON - BEAM - REFER TO STYLE GUIDE
 - 14 PAINTED TUBE STEEL CANOPY W/ STAINED WOOD TRELLIS
 - 15 TONGUE N GROOVE WOOD PLANK CEILING, STAINED
 - 16 ENVELOPE - CORE FINISH - REFER TO STYLE GUIDE
 - 17 ENVELOPE - WRAP FINISH - REFER TO STYLE GUIDE
 - 18 FINISH CONTROL JOINT
 - 19 OVERFLOW SCUPPER BY NESCO MFG INC. - MODEL # SOTYHR - REFER ALSO TO DETAIL GUM12
 - 20 HOSE BIB
 - 21 ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
 - 22 ENVELOPE - ACCENT FINISH - REFER TO STYLE GUIDE
 - 23 SIGNAGE - REFER TO EXTERIOR SIGNAGE SPECIFICATIONS
 - 24 KYNAR FINISH ALUMINUM COPING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL
 - 25 KYNAR FINISH ALUMINUM GRAVEL STOP - COLOR TO MATCH ADJACENT MATERIAL
 - 26 REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS. INTERIOR ALL EQUIPMENT IS ADEQUATELY SCREENED.
 - 27 BEACON - REFER TO SECTIONS FOR MORE INFORMATION
 - 28 PAINTED ALUMINUM OUTSIDE CORNER BY FRYS REGLET, COLOR TO MATCH ADJACENT ENVELOPE - CORE FINISH
 - 29 EXHAUST VENT - COLOR TO MATCH ADJACENT MATERIAL.
 - 30 LIGHT FIXTURE - REFER TO CEILING PLAN
 - 31 EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
 - 32 ALUMINUM LOUVER - COLOR TO MATCH ADJACENT MATERIAL. MATCHING ADJACENT WALL
 - 33 BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION. THESE DIMENSIONS WILL VARY BASED ON FINAL BRICK CONSTRUCTION. INTERIOR CEILING HEIGHT DIMENSIONS ARE CRITICAL TO MAINTAIN AS MINIMUM.
 - 34 CONCRETE PAD - REFER TO AREA DEVELOPMENT PLAN
 - 35 ACCESS OPENING INTO BEACON
 - 36 ALUMINUM GUTTER AND DS. COLOR TO MATCH ADJ. MATERIAL.
 - 37 ACCESSIBLE KEY CARD READER WIRED TO ELECTRIC STRIKE IN DOOR - TOP OF READER AT 4' MAX. HEIGHT
 - 38 POOL PERIMETER FENCE AS REQUIRED BY CODE W/ 3'-6" GATE
 - 39 PRECAST COPING



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HOME & SUITES
NORTH PETERS RD
KNOXVILLE, TN

REVISIONS

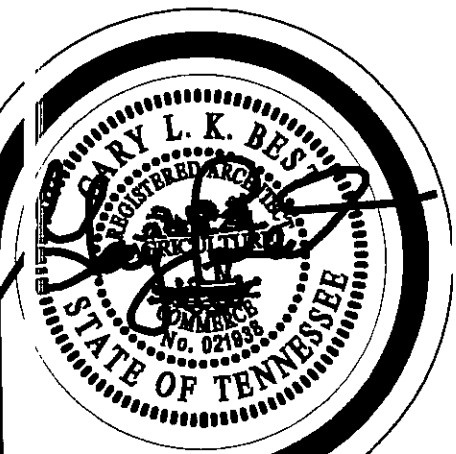
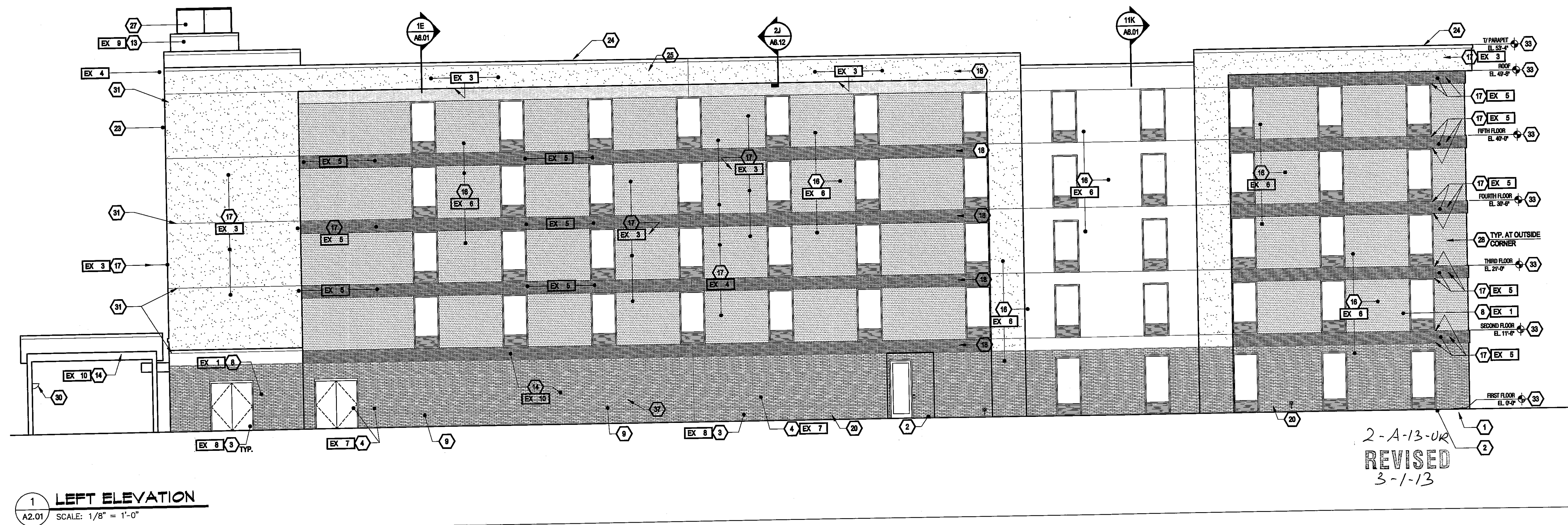
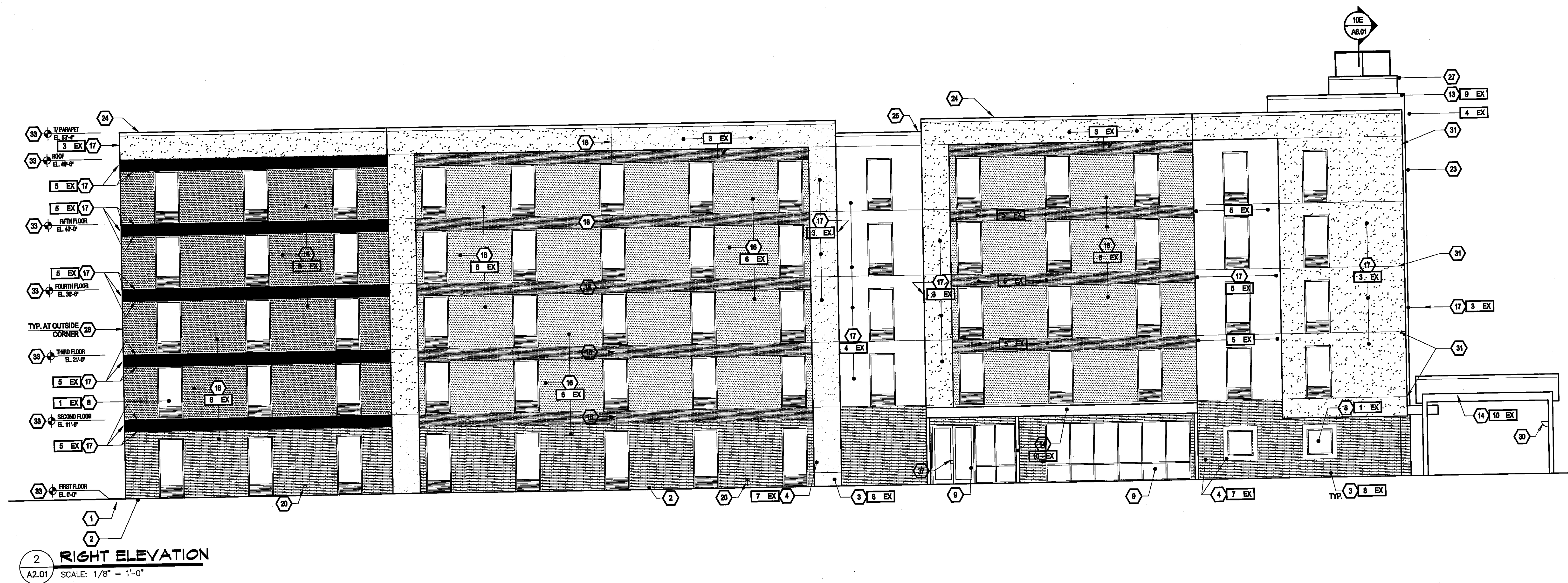
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DESCRIPTION	

ELEVATIONS

SHEET

A2.00

OF



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HOME 2 SUITES
NORTH PETERS RD
KNOXVILLE, TN

REVISIONS

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DATE

SCALE

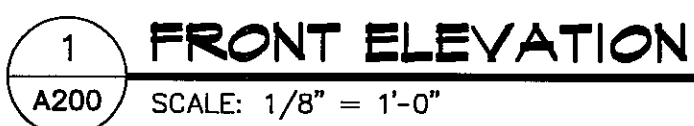
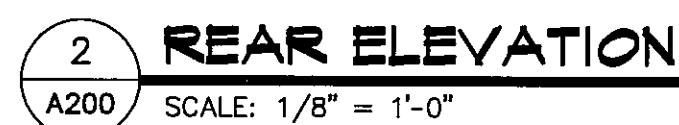
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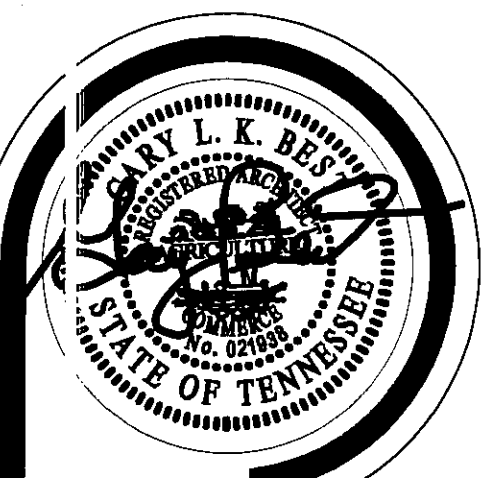
SHEET

A2.01

OF



2-A-13-UR
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3-1-13



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Sheraton Four Points
NORHT PETERS RD
KNOXVILLE, TN

REVISIONS

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DATE 2/28/93

SHEET 1/8" = 1'-0"

DESCRIPTION _____

ELEVATIONS

SHEET
A200
OF



1120 W LAUREN ALEX INN, MANVILLE, IN 37601
PHONE 865-977-1610 FAX 865-981-1678

Sheraton Four Points
Merchant Road
KNOXVILLE, TN

REVISIONS

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DATE _____

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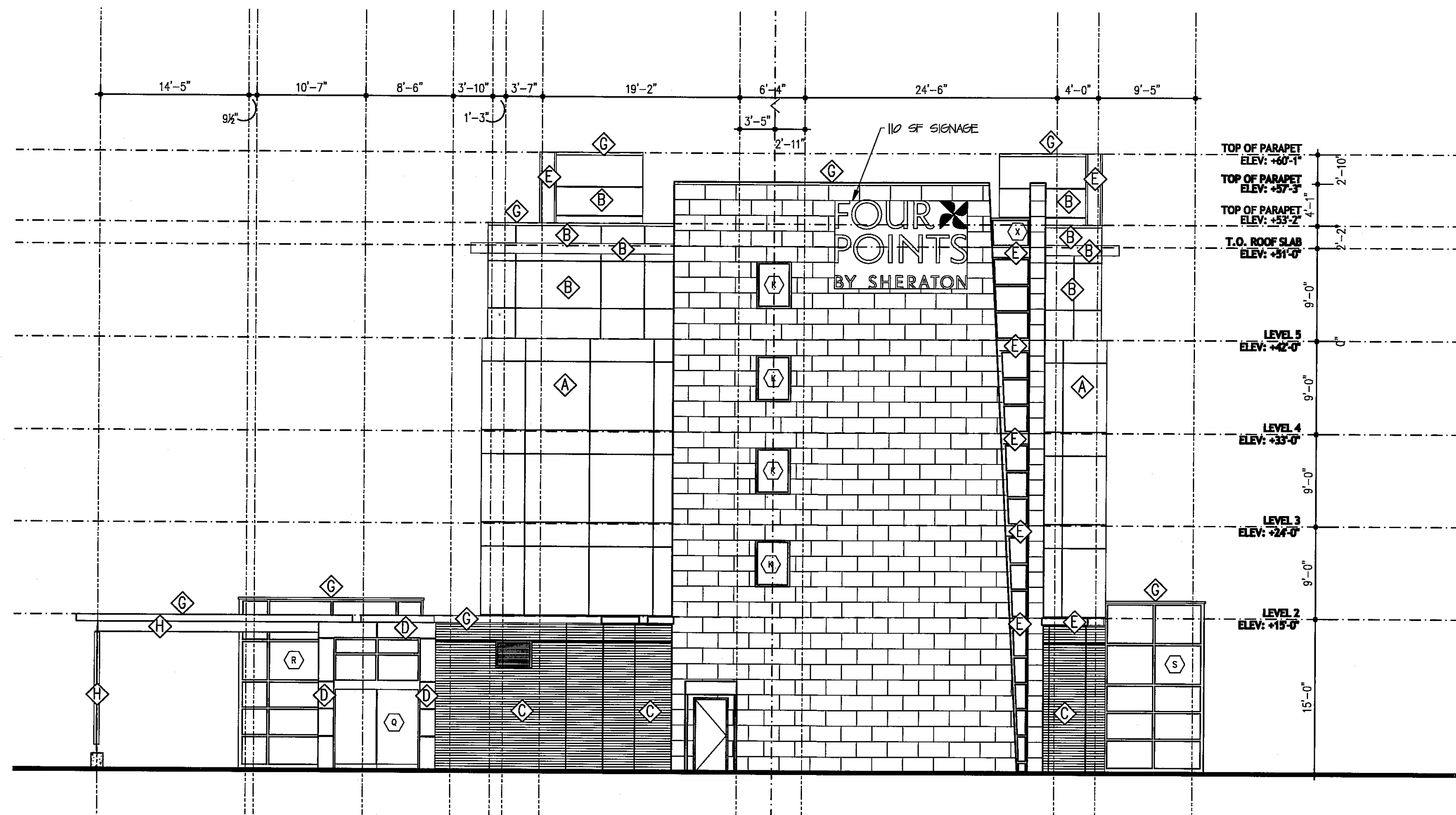
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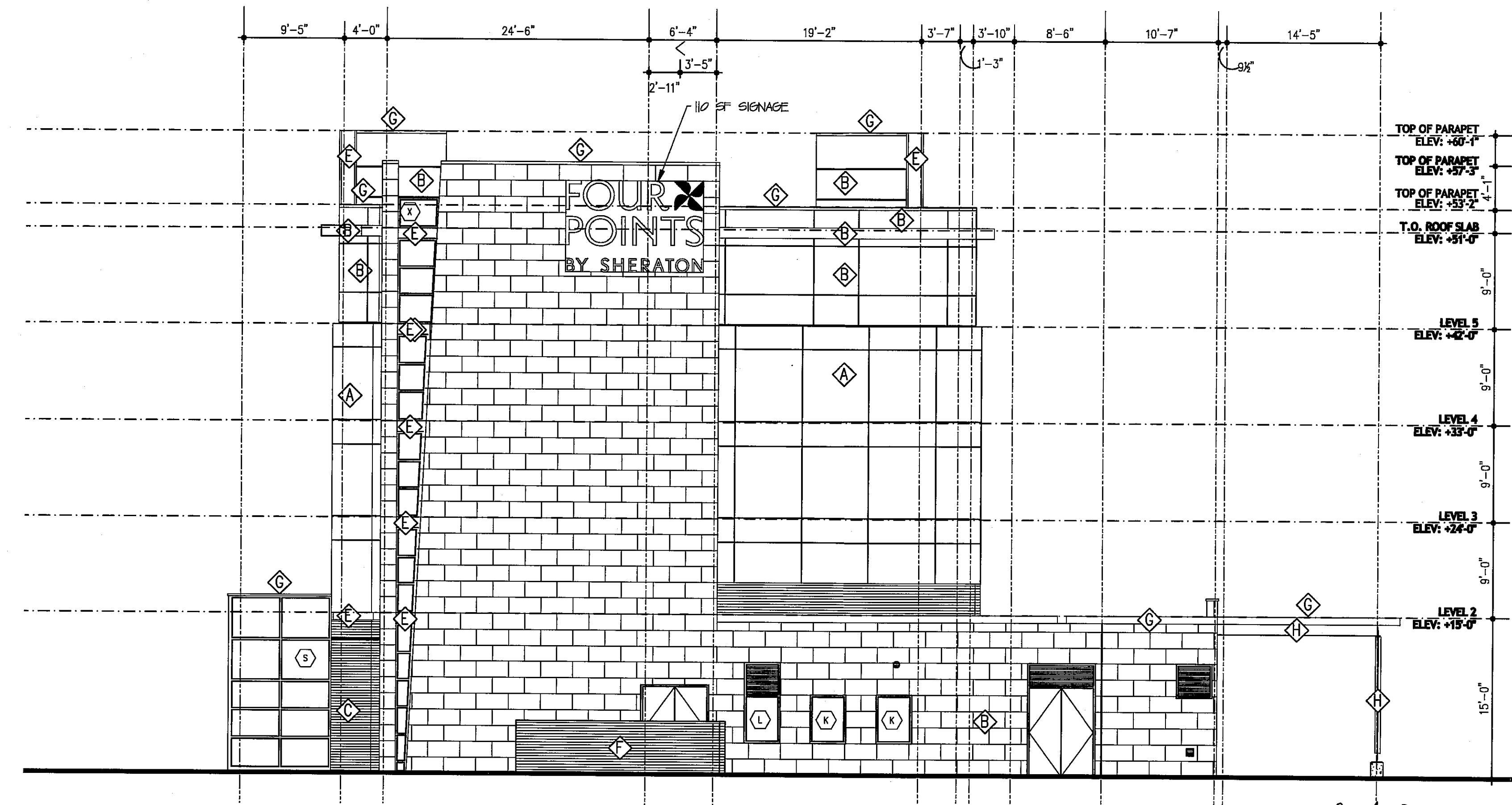
SHEET

A201

—



2 RIGHT ELEVATION
A201 SCALE: 1/8" = 1'-0"



1 LEFT ELEVATION
A201 SCALE: 1/8" = 1'-0"

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3-1-13