

THIS IS NOT A BOUNDARY SURVEY.
BOUNDARY INFORMATION PROVIDED BY
OTHERS. ELEVATIONS TAKEN FROM KGIS.

ELEVATIONS:
BASEMENT: N/A
FIN FLOOR: 1180.0'
GARAGE:

rev 1.20.2025

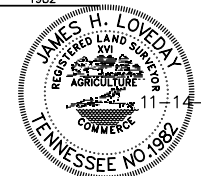
PLANNING FILE #2-A-25-SU

"SITE PLAN"

Certification of Category and Accuracy of Survey
I hereby certify that this is a category 1 survey and the ratio
of precision of the unadjusted survey is
1:10,000 as shown hereon.

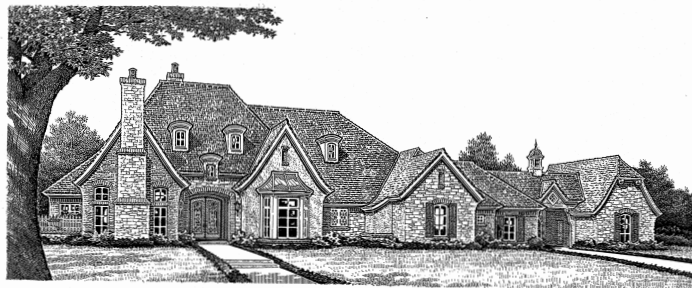
Surveyor _____
Tennessee Reg. No. 1982

SURVEY FOR YURO BORDEI
ADDRESS 4918 KINGMAN DR
SUBDIVISION
CLT 080-1 PARCEL "B" Q05
DIST. 5 WARD 41
CITY OF KNOXVILLE
COUNTY KNOX
DEED REF
LOT BLOCK UNIT
SCALE 1"=100' DATE 11-14-2024

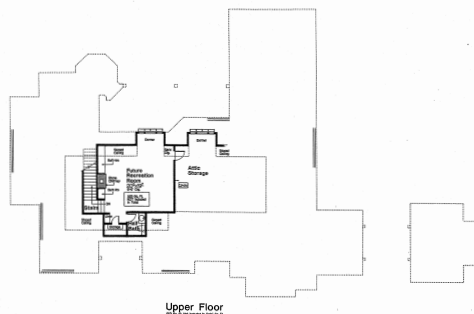
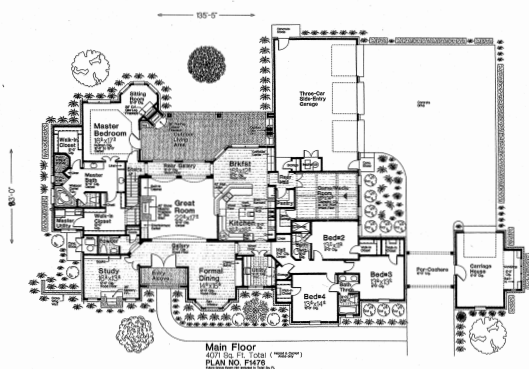


Century Surveying
P.O. Box 520
Lenoir City, Tennessee 37771
(865) 986-1982
jlloveday@gmail.com JOB # 24171

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PERMISSION OF CENTURY SURVEYING



Fl476



DESIGN LOADS:
 Floor: 40 p.s.f. live load
 Roof: 30 p.s.f. live load
 10 p.s.f. dead load
 Soil Pressure 2000 p.s.f.
 Note: Check with local building officials for design load and site preparation. Check with local building departments for wind, seismic, snow or other loading conditions.
 Drainage: 1" Let shall be provided with adequate drainage and shall be graded so as to drain all surface away from foundation walls.

CONCRETE:
 All concrete slabs on grade shall be of compressive strength at 28 days of not less than 3000 pounds per square inch. Slab shall be on 4" sand or gravel fill with 6x6-10/10W. Thicken slab beams shall be below all loads bearing walls with 5/8" steel rebar. Provide a 1/2" expansion joint at all exterior walls.

FOUNDATIONS:
 All exterior walls, bearing walls, columns and piers shall be supported on continuous solid masonry or concrete footings. They shall be of sufficient design to support safely the loads imposed as determined from the character of the soil and shall always extend below the frost line. Minimum sizes shall be as per the local code. Foundation walls shall be constructed of poured concrete or grade 7" type I, hollow load bearing concrete masonry units. Horizontal reinforcing shall be our 0 wall continuous every other block course. Vertical reinforcing shall be with #7 vertical rebar at 4' oc and at each corner and both sides of opening.

Drains shall be provided around foundations located below grade. The top of open joints of drain tiles shall be provided by stripes of building paper and the tiles shall be placed on 2" of washed gravel.

Provide termite protection as required by HUD minimum property standards.

FRAMING:
 All framing lumber shall be Douglas fir construction grade. Beams, headers, and floor joists shall have a bending stress of 1200 p.s.i.
 Load bearing dimension lumber for studs, plates, and headers shall conform to applicable standards or grading rules. All studs shall be stud grade or better. Double joists under all parallel partitions. Double 2x12 headers with 1/2" plywood between at all door and window openings.
 1 x 3 cross bridging at all floor joists.
 Floor construction: 1/2" plywood with exterior glue under 5/8" plywood underlayment with building paper between.

FRAMING DETAILS:
 Rafter shall be nailed to ceiling joists to form a continuous tie between exterior walls where joints are parallel to the rafters. Where not parallel, rafters shall be tied with a rafter tie, located as near the plate as practical. Rafter ties shall be spaced not more than 4 feet on center. Rafters shall be framed to ridge board or to each other with gusset plate as a tie. Ridge board shall be at least 1-inch nominal thickness and not less in depth than the cut of the rafter. At all valleys and hips there shall be a valley or hip rafter not less than 2-inch thickness and not less in depth than the cut end of the rafter. Hip valley rafters shall be supported at the ridge by a brace to a bearing partition. Rafters and ceiling joists shall be provided with lateral support at points of bearing to prevent rotation.

All interior walls and ceilings to be covered with gypsum wallboard in accordance with manufacturers recommendations.

"Micro Lam" beams as shown are by Truss Joist Corp.

MASONRY FIREPLACES:
 Fireplaces to be lined with firebrick, a metal damper control are to be installed. A minimum of 12" x 16" clay flue tile to be used in the chimney.

MISCELLANEOUS
 R-13 minimum batt insulation stapled to all exterior walls of house only.
 R-38 minimum batt insulation in all floors or ceilings exposed to the outside.
 Rigid insulation at all masonry foundation walls.
 Use insulating double-glazing at all exterior glass areas.

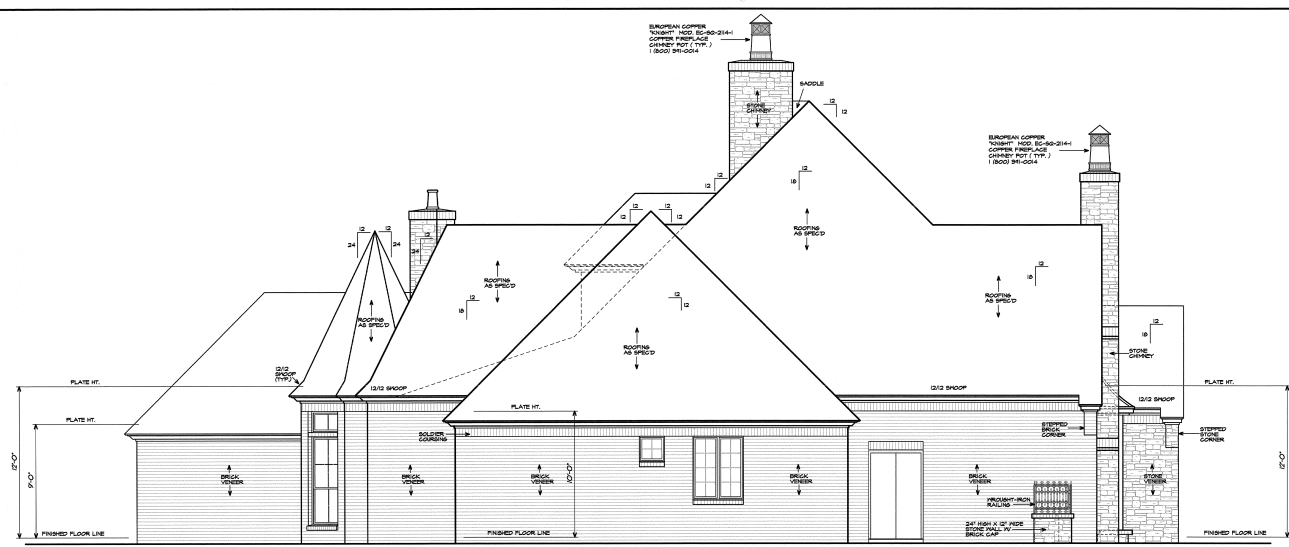
Cover Sheet

PLAN NUMBER

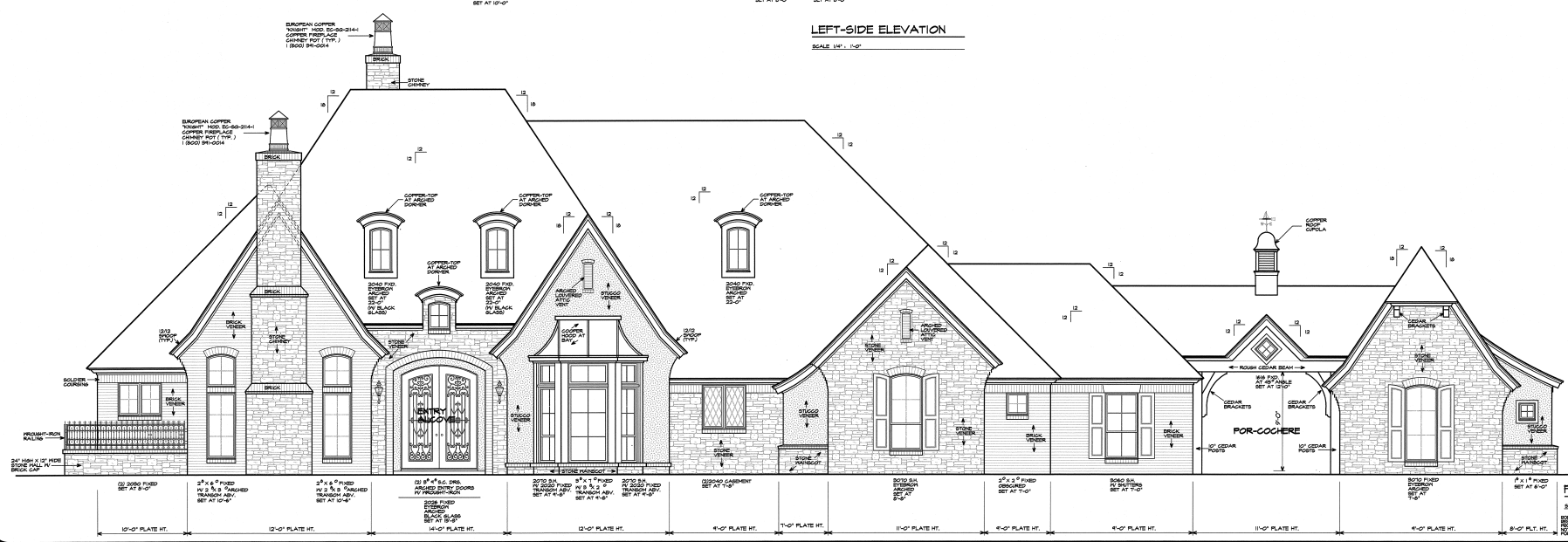
F1476

PLANNING & CHAMBERS DESIGN GROUP, 11000 E. UNIVERSITY AVENUE, SUITE 100, DENVER, CO 80231
 DESIGNER: J. L. CHAMBERS, ARCHITECT, 11000 E. UNIVERSITY AVENUE, SUITE 100, DENVER, CO 80231
 DATE: 10/10/00, 10/10/00, 10/10/00, 10/10/00, 10/10/00, 10/10/00, 10/10/00, 10/10/00, 10/10/00, 10/10/00
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 DENVER, CO 80231
 PHONE: 303.755.1456
 FAX: 303.755.1454
 WWW: PLANNING-CHAMBERS.COM



LEFT-SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

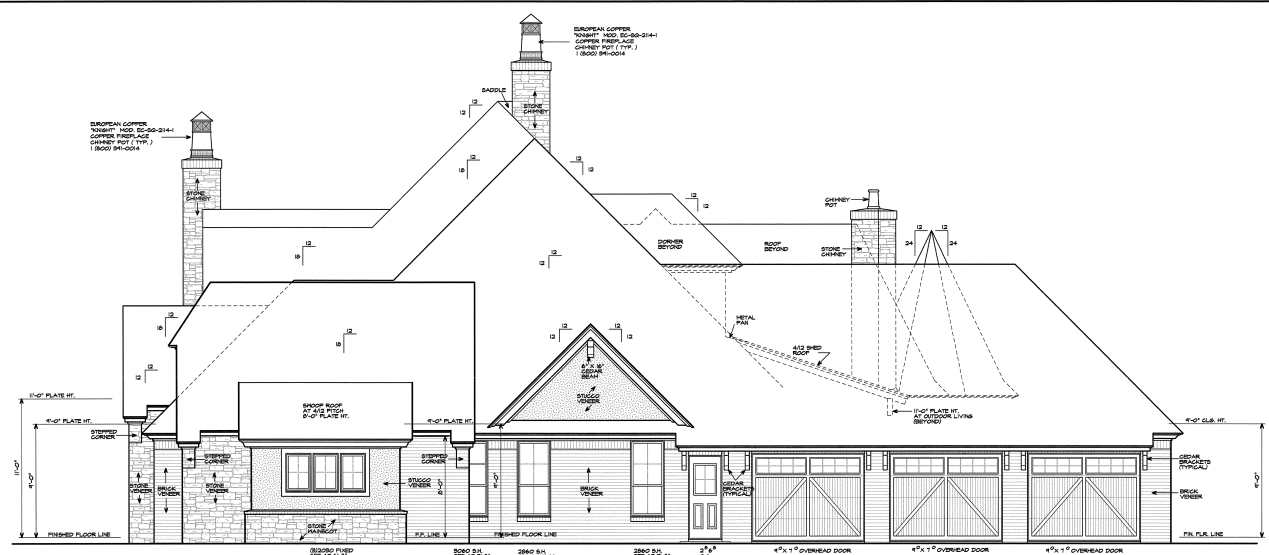
SEE ELEVATION AND ASSOCIATED NOTES FOR
 MATERIALS, FINISHES, AND CONSTRUCTION
 DETAILS. ALL DIMENSIONS ARE TO FACE UNLESS
 OTHERWISE NOTED.

Sq. Ft.	Pl.
UPPER FRAME	
LOWER FRAME	
TOTAL FRAME	
TOTAL VENEER	
SHEET	
FIVE	
PLAN	
F1476	

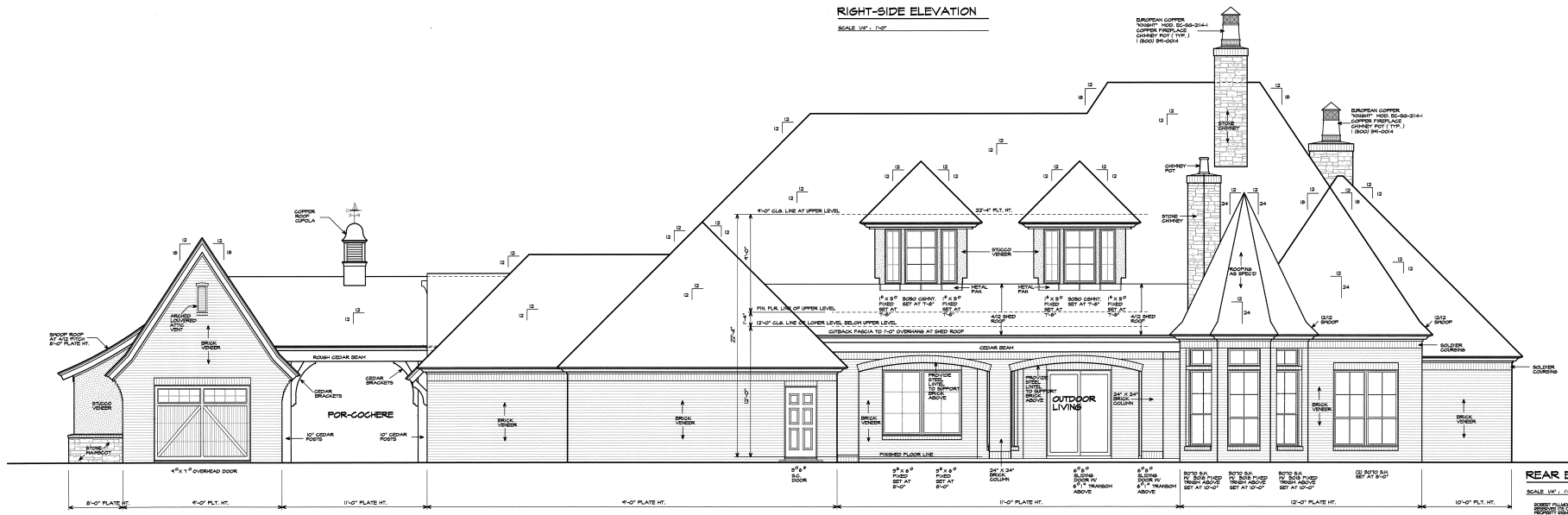
8501 N. Robison, Ste. 116
 Fillmore, CO 80423
 Phone (435) 840-5400
 Fax (435) 840-9994

FILLMORE DESIGN GROUP

Sq. Ft.	
UPPER FRAME	
LOWER FRAME	
TOTAL FRAME	
TOTAL VENEER	
SHEET	SIX
PLAN	F1476



RIGHT-SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"

SHEET PLUMB AND ASSOCIATED WORKS CORP.
 1000 E. 10TH AVE. SUITE 100, DENVER, CO 80202
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