

FILE NUMBER  
(2-A-25-UR)

8501 Ballcamp Pike

Revised 1/27/2025

CUT SECTION

Engg. Truss

8/12

8'4" Ceiling to Ridge

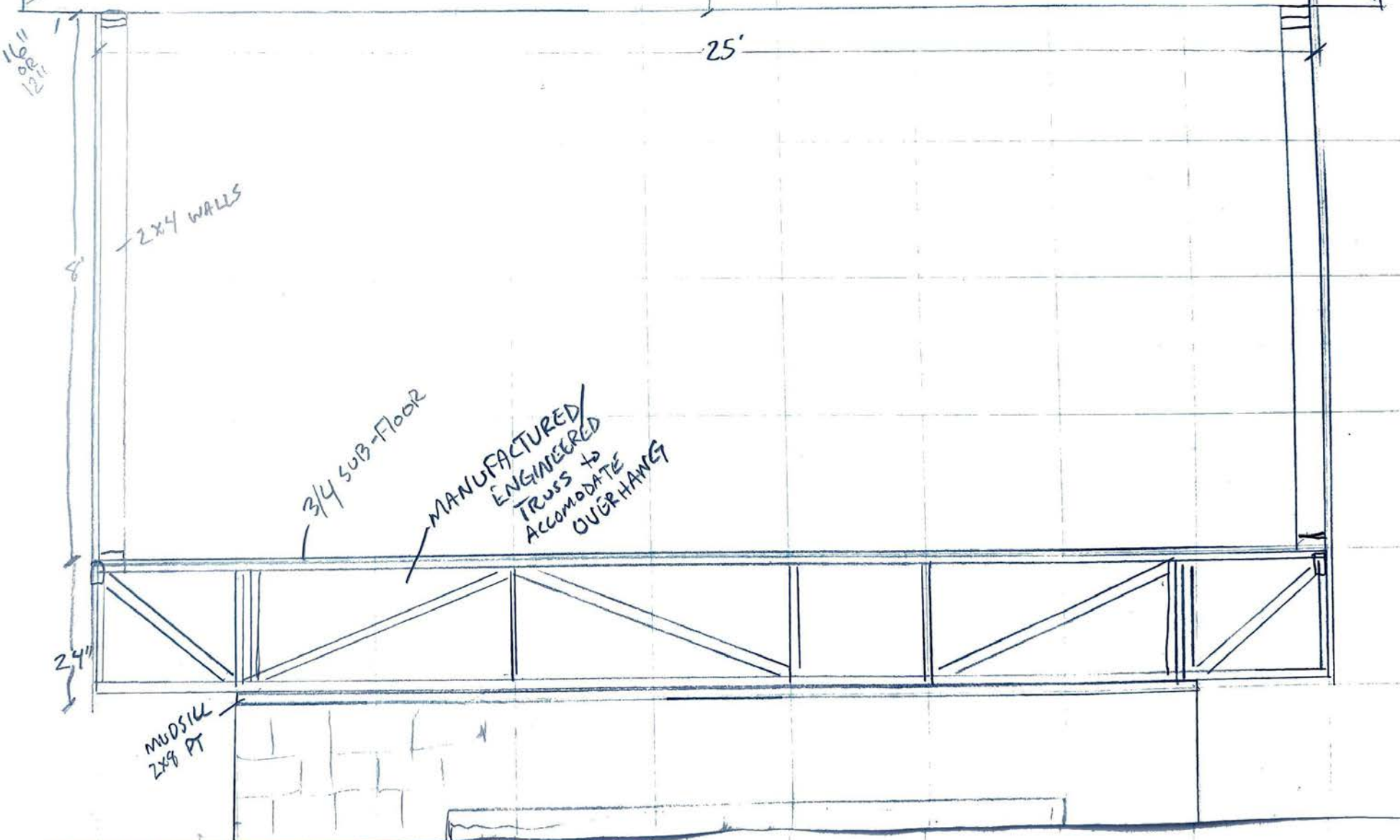
25'

2x4 WALLS

3/4 sub-floor

MANUFACTURED  
ENGINEERED  
TRUSS TO  
ACCOMMODATE  
OVERHANG

MUDSILL  
2x8 PT



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FRONT VIEW

Highest Ridge  
26'4"

8'4"

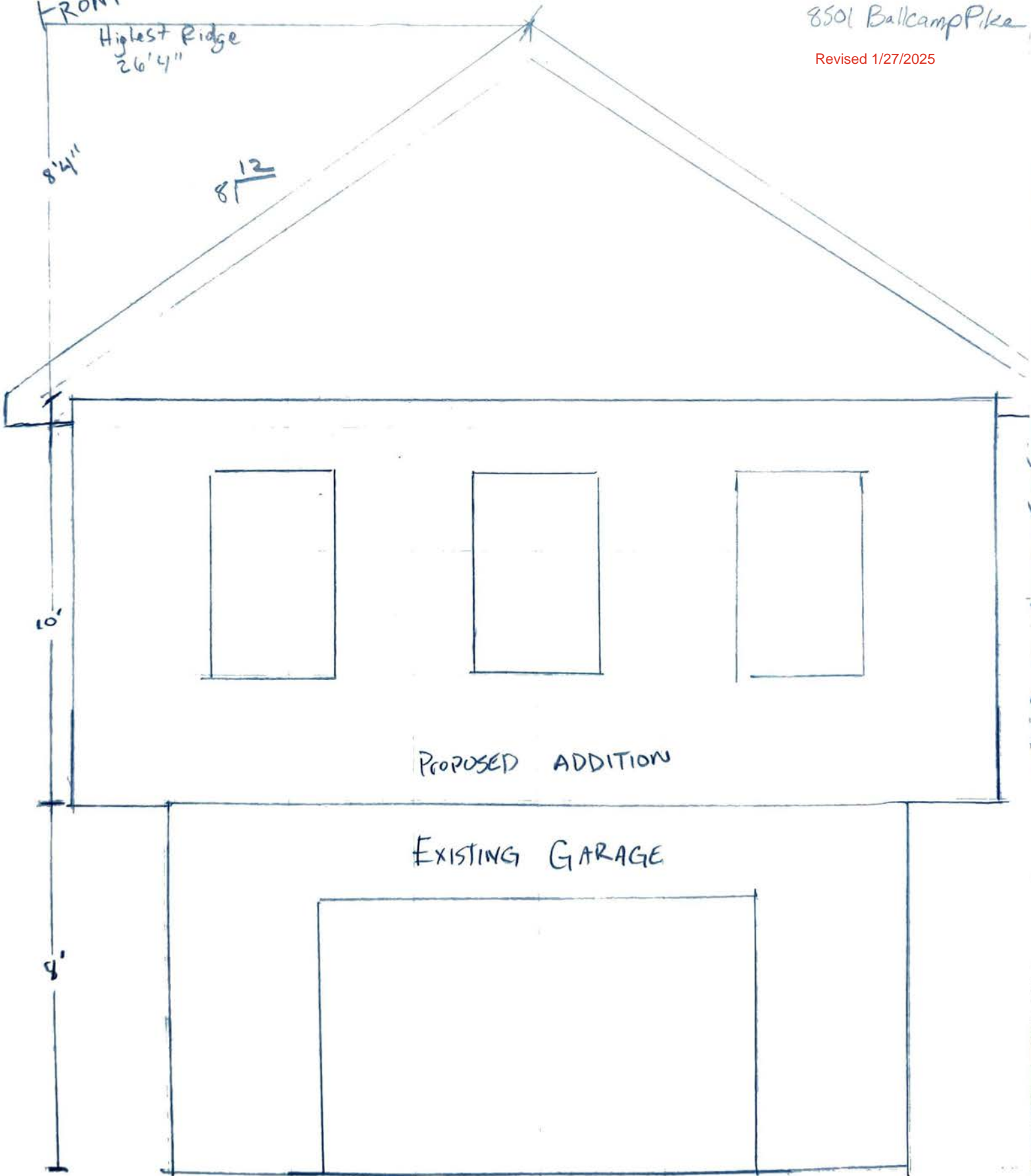
8/12

10'

PROPOSED ADDITION

EXISTING GARAGE

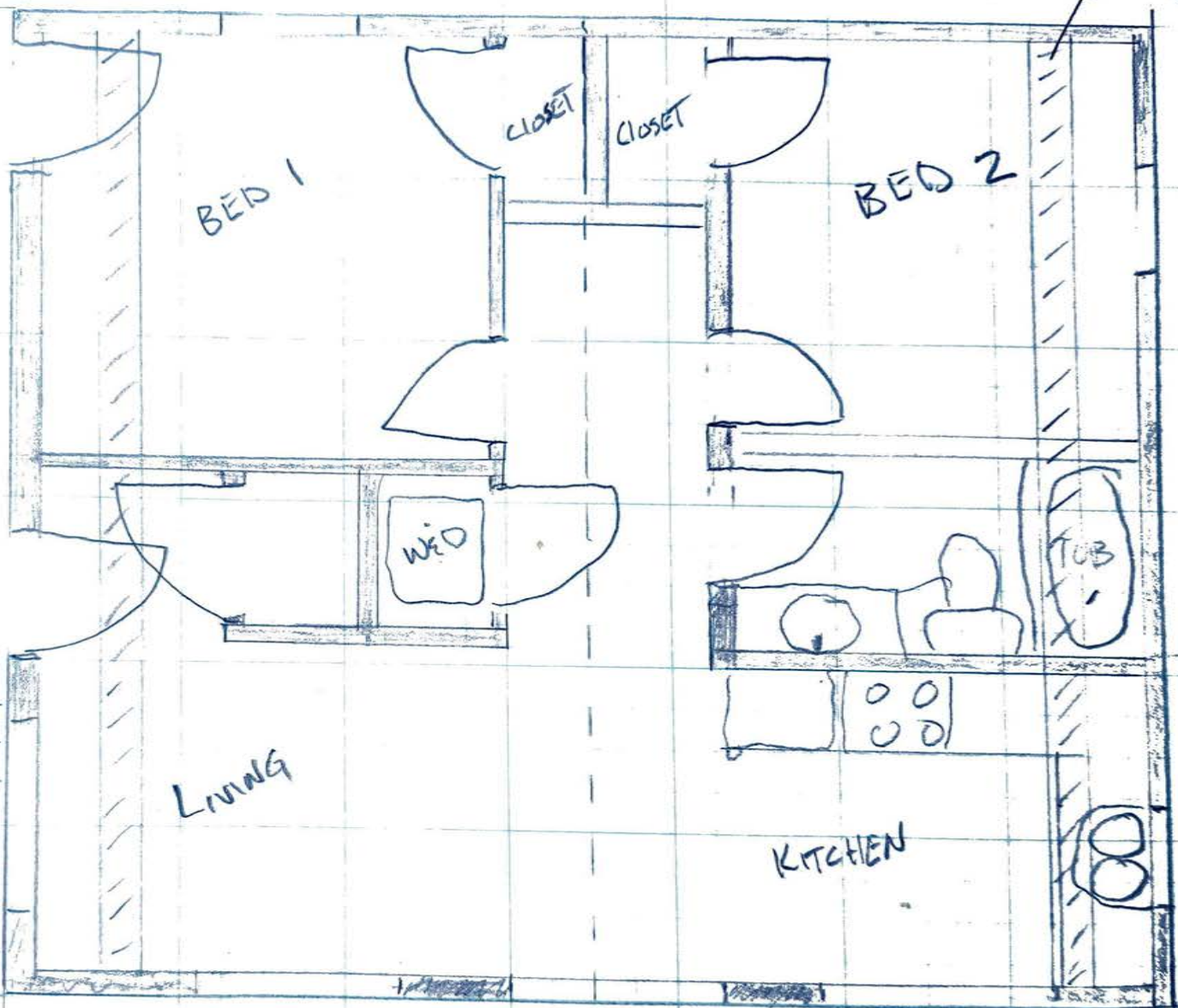
8'



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EXISTING foundation

16' x 8' Deck



+12" OVERHANG

BED 1

BED 2

CLOSET

CLOSET

W.C.

TUB

LIVING

KITCHEN

**NOTES**

1. SURVEYOR'S LIABILITY FOR THE DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY WHOSE SIGNATURE APPEARS UPON THE SURVEY.
2. PARCELS NUMBERS SHOWN AS THUS (00) REFER TO TAX MAP 091, KNOX COUNTY, TENNESSEE.
3. ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
- 3.1. FOR BOUNDARY ASPECTS OF THIS SURVEY, RTK GNSS POSITIONAL DATA WAS OBSERVED ON BETWEEN DECEMBER 12, 2024, UTILIZING TOPCON H400+ VR GNSS RECEIVERS. THE GRID COORDINATES OF THE FIXED STATIONS WERE DERIVED USING A VRS NETWORK OF TDOT CORS STATIONS REFERENCED TO NAD83(2011), GEOID 18.
4. THE PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN AND IS DETERMINED TO BE IN ZONE "X" AS PER FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM PANEL NUMBER 47093C0253G, DATED 08/05/2013.
5. THIS SURVEYOR WAS NOT PROVIDED WITH A TITLE COMMITMENT, THEREFORE THE PROPERTY IS SUBJECT TO THE FINDINGS OF A DETAILED TITLE SEARCH.
6. PRIOR TO ANY CONSTRUCTION, EXCAVATION OR ANY DISTURBANCE OF THE EXISTING GROUND ELEVATION, THE OWNER AND / OR CONTRACTOR SHOULD ASSUME RESPONSIBILITY OF CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATION OF UNDERGROUND GAS LINES, TELEPHONE LINES, ELECTRIC CABLES, WATER LINES, ETC. TO AVOID ANY HAZARD OR CONFLICT. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE (3) NOR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR EXCAVATION TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. DIAL 811 FOR A ONE CALL CENTER.
7. UTILITIES SHOWN WERE TAKEN FROM FIELD LOCATIONS THAT WERE APPARENT AND COPIED FROM APPROPRIATE GOVERNING AGENCIES MAPS AND ARE APPROXIMATE AT BEST. THERE MAY BE UTILITIES, THE EXISTENCE OF WHICH IS UNKNOWN TO THE SURVEYOR.
8. ALL DEED & PLAT REFERENCES ARE MADE TO THE REGISTER'S OFFICE OF KNOX COUNTY, TENNESSEE (R/KC).
  - 8.1. DEED REFERENCES: INSTRUMENT NUMBER 202401080033441
9. SURVEY FIELD DATA COLLECTED ON: DECEMBER 12, 2024.
10. SUBJECT PROPERTY IS CURRENTLY ZONED "RA": LOW DENSITY RESIDENTIAL ZONE. FOR ACCURATE INFORMATION CONCERNING ZONING REQUIREMENTS & RESTRICTIONS CONTACT KNOXVILLE/KNOX COUNTY PLANNING SERVICES: 865-215-2500.

**LEGEND**

MARKED (00)	(00)
MARKED (00)	○ (00)
IRON ROD SET AS PER SURV & MAP	⊙ (S/R IRN)
CONCRETE MARK (00)	⊞ (MON)
ADJACENT PROPERTY LINE	---
PROPERTY LINE	—
FENCE LINE	- - -
OVERHEAD POWER LINE	— + —
UTILITY POLE	⊞
GUY WIRE	←
WATER METER	⊞
WATER VALVE	⊞
CONCRETE	⊞



**SITE DATA**

PROPERTY LOCATED ON KNOX COUNTY TAX MAP 091, PARCEL 11400

CITY: KNOXVILLE  
 COUNTY: KNOX  
 STATE: TENNESSEE  
 DISTRICT: 8TH

SITE ADDRESS: 8501 BALL CAMP PIKE  
 KNOXVILLE, TENNESSEE

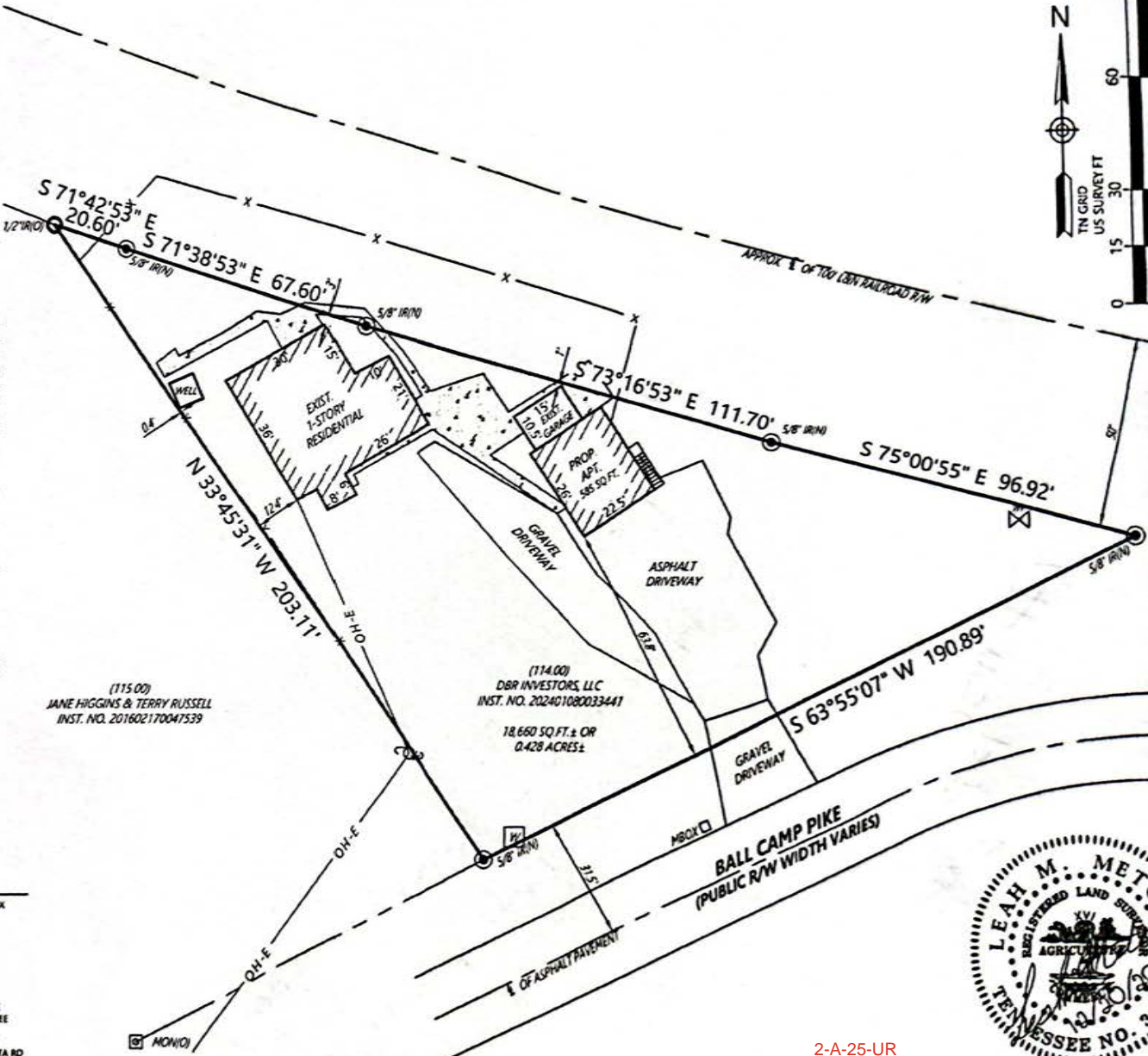
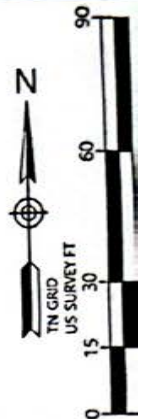
OWNER: DBR INVESTORS, LLC  
 3600 MOUNTAIN VISTA RD  
 KNOXVILLE, TN 37931

(115.00)  
 JANE HIGGINS & TERRY RUSSELL  
 INST. NO. 201602170047539

(114.00)  
 DBR INVESTORS, LLC  
 INST. NO. 202401080033441  
 18,660 SQ. FT. ± OR  
 0.428 ACRES ±



2-A-25-UR  
 12/27/2024



24'

