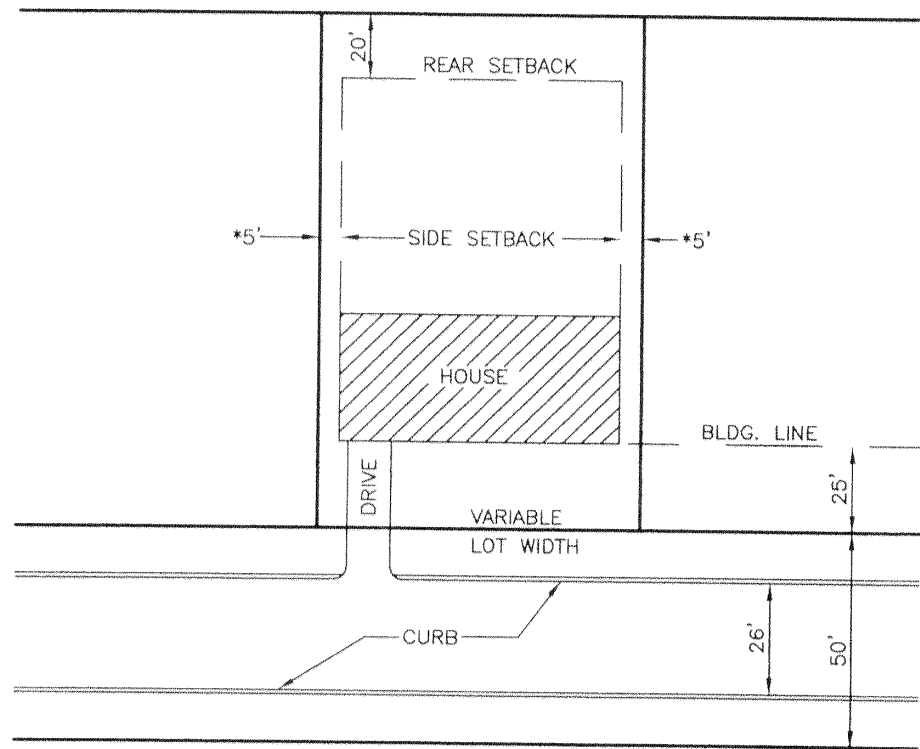
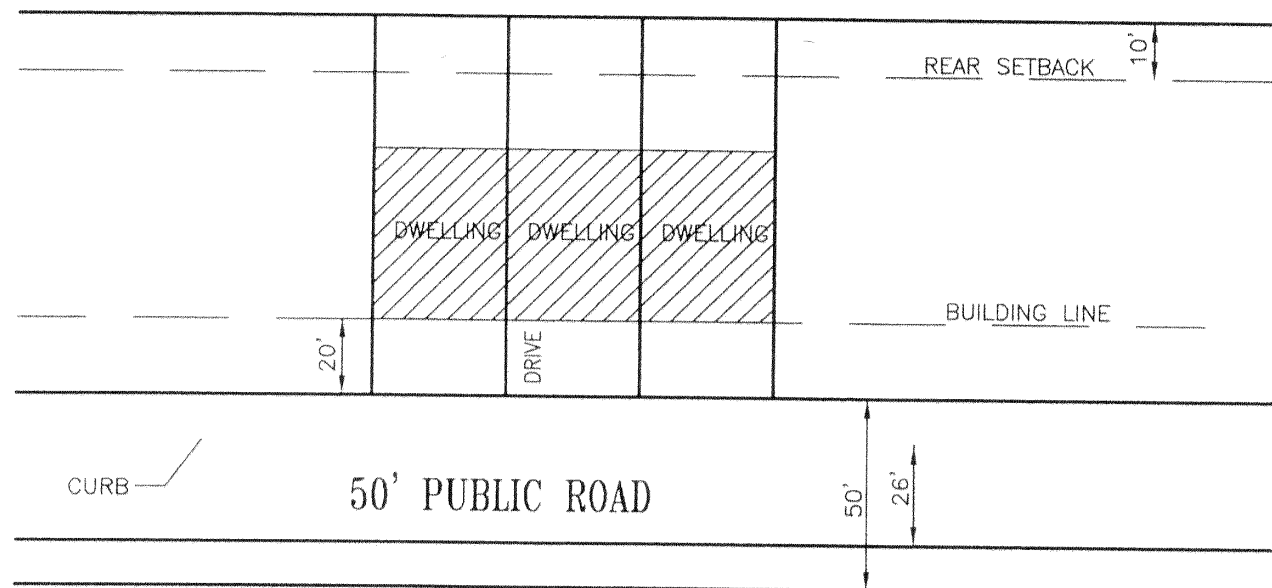


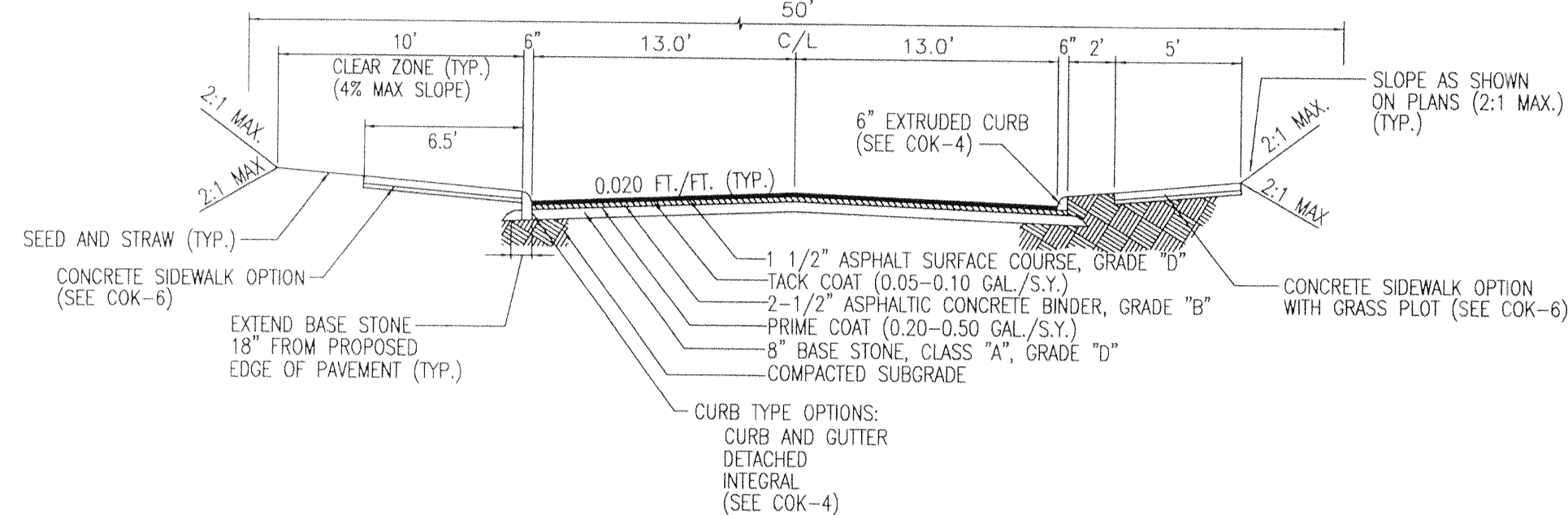


TYPICAL LOT LAYOUT
NTS

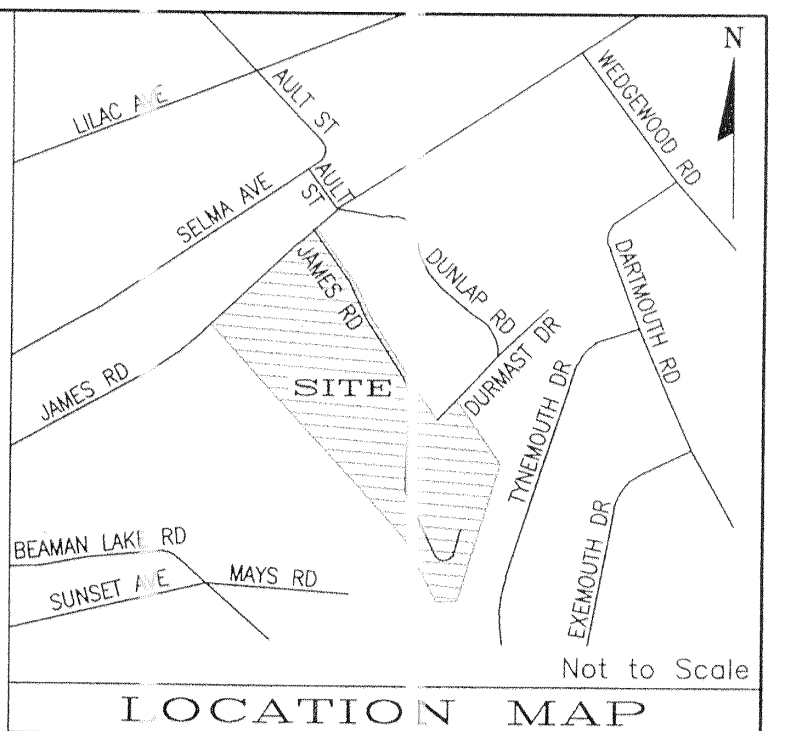
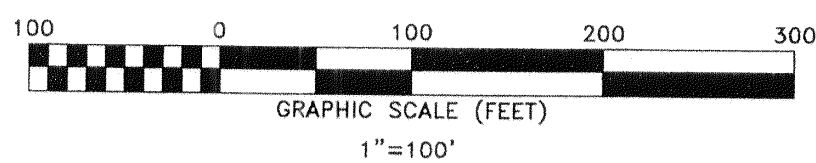


TYPICAL LOT LAYOUT
NTS

NOTE: A 25' PERIPHERAL SETBACK SUPERCEDES ALL OTHER SETBACKS (WHERE APPLICABLE)



TYPICAL ROAD SECTION
THRU 50' ROAD
"PUBLIC ROAD"



- NOTES:
- ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL "LAT."
 - A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE OF ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
 - A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
 - THIS PROJECT CONSISTS OF 15.78 ACRES SUBDIVIDED INTO 55 SINGLE FAMILY DETACHED LOTS AND 3 SINGLE FAMILY ATTACHED LOTS.
 - THIS PROPERTY IS ZONED RP1 @ 1-4 DU/AC (PENDING).
 - CONTOURS PROVIDED BY KNOXVILLE/KNOX COUNTY G.I.S. ROAD PROFILES ARE BASED ON THESE KOIS CONTOURS.
 - UTILITIES:
WATER: KNOXVILLE UTILITIES BOARD
SEWER: KNOXVILLE UTILITIES BOARD
ELECTRIC: KNOXVILLE UTILITIES BOARD
GAS: KNOXVILLE UTILITIES BOARD
TELEPHONE: AT&T SOUTHEAST
 - ALL ROADWAYS WILL BE PUBLIC.
 - VARIANCES APPROVED BY MPC AT THEIR FEBRUARY 11, 2010 MEETING WERE AS FOLLOWS:
a) VERTICAL CURVE LENGTH FROM 440' TO 27' (K VALUE FROM 25' TO 15.6') AT STA. 8+45, ROAD "A".
b) HORIZONTAL CURVE RADIUS FROM 250' TO 30', STA. 0+75, ROAD "A".
c) HORIZONTAL CURVE RADIUS FROM 250' TO 30', STA. 4+00, ROAD "B".
d) INTERSECTION GRADE FROM 1% TO 5%, STA. 0+10 TO STA. 0+90, ROAD "B".
e) ROADWAY GRADE FROM 12% TO 15%, STA. +90 TO STA. 5+00, ROAD "B".
 - COMPACTION TESTING PURSUANT TO THE REQUIREMENTS OF THE CITY OF KNOXVILLE DEPT. OF ENGINEERING WILL BE REQUIRED FOR ALL ROADWAYS AND FILL AREAS.
 - MINIMUM FLOOR ELEVATION FOR UNITS 16, 23, 34 & 57 IS ONE FOOT ABOVE THE BERM OF THE DETENTION BASIN.
 - ROADWAY GRADES AT THE INTERSECTIONS OF ALL ROADS BETWEEN 1% AND 3% HAVE BEEN REVIEWED AND ARE APPROVED BY THE CITY OF KNOXVILLE DEPT. OF ENGINEERING.
 - VEHICULAR ACCESS TO ALL LOTS IS LIMITED TO INTERIOR ROAD SYSTEM ONLY.



CERTIFICATION OF CONCEPT PLAN.
I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE AND KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.
REGISTERED ENGINEER: David B. Harkin
TENNESSEE CERTIFICATE NO.: 101265

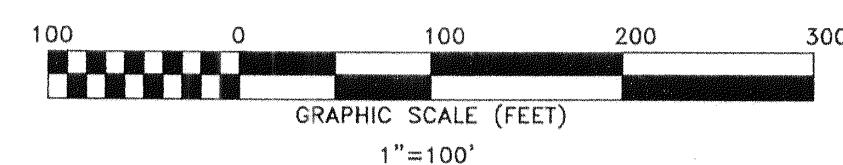
REVISED
1-27-10

OWNER:
KNOXVILLE HABITAT FOR HUMANITY, INC.
1501 WASHINGTON AVE.
KNOXVILLE, TN 37917
PHONE: (865) 523-3539

DEED REFERENCE: NSTR. #200401 50069745
PLAT REFERENCES: NSTR. #200211 60046418
MAP BOOK 62-1, PAGE 74
MAP BOOK 20, PAGE 88

REV.	DATE	REVISION DESCRIPTION
1	1-27-10	MPC COMMENTS
CONCEPT & DEVELOPMENT PLAN FOR HABITAT FOR HUMANITY-SKLINE DRIVE		
CLT MAP 83AF, PARCEL 32 CLT MAP 83AD, PARCEL 9		SCALE: 1"=100' DRAWN BY: TPD DATE: 12/18/09
30th WARD, CITY OF KNOXVILLE CITY BLOCKS 30320, 30340 & 30360 DISTRICT 6, KNOX COUNTY, TN		
CONTOUR INTERVAL= 2' SHEET 1 OF 3 SHEETS		DRAWING NUMBER 24568-C

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com



2-SA-16-C
2-C-16-UR
REVISED
1-27-10

OWNER:
KNOXVILLE HABITAT FOR HUMANITY, INC.
1501 WASHINGTON AVE.
KNOXVILLE, TN 37917
PHONE: (8-5) 523-3539

DEED REFERENCE: INSTR. #200411150069745
PLAT REFERENCES: INSTR. #200211260046418
MAP BOOK 6: -L, PAGE 74
MAP BOOK 20, PAGE 88

			MAY BOOK 27	PAGE 60
1	1-27-10	MPC COMMENTS		
REV.	DATE	REVISION DESCRIPTION		

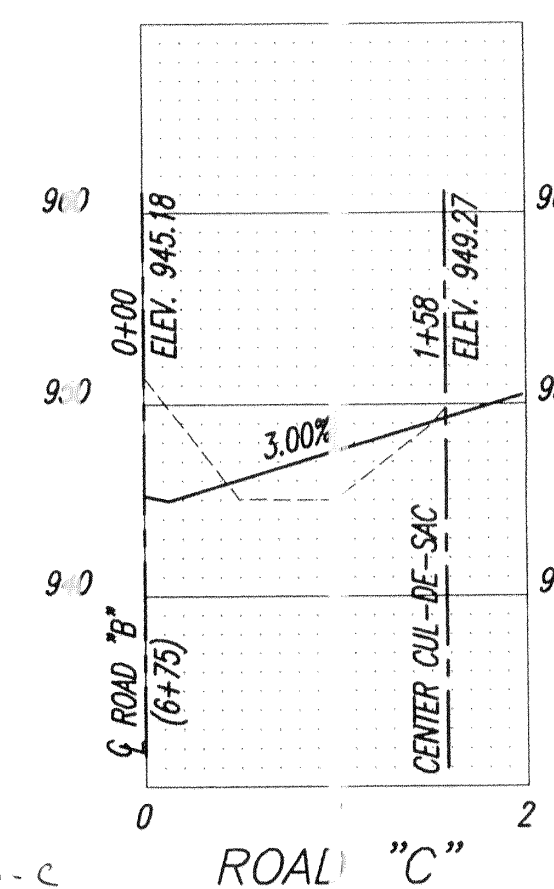
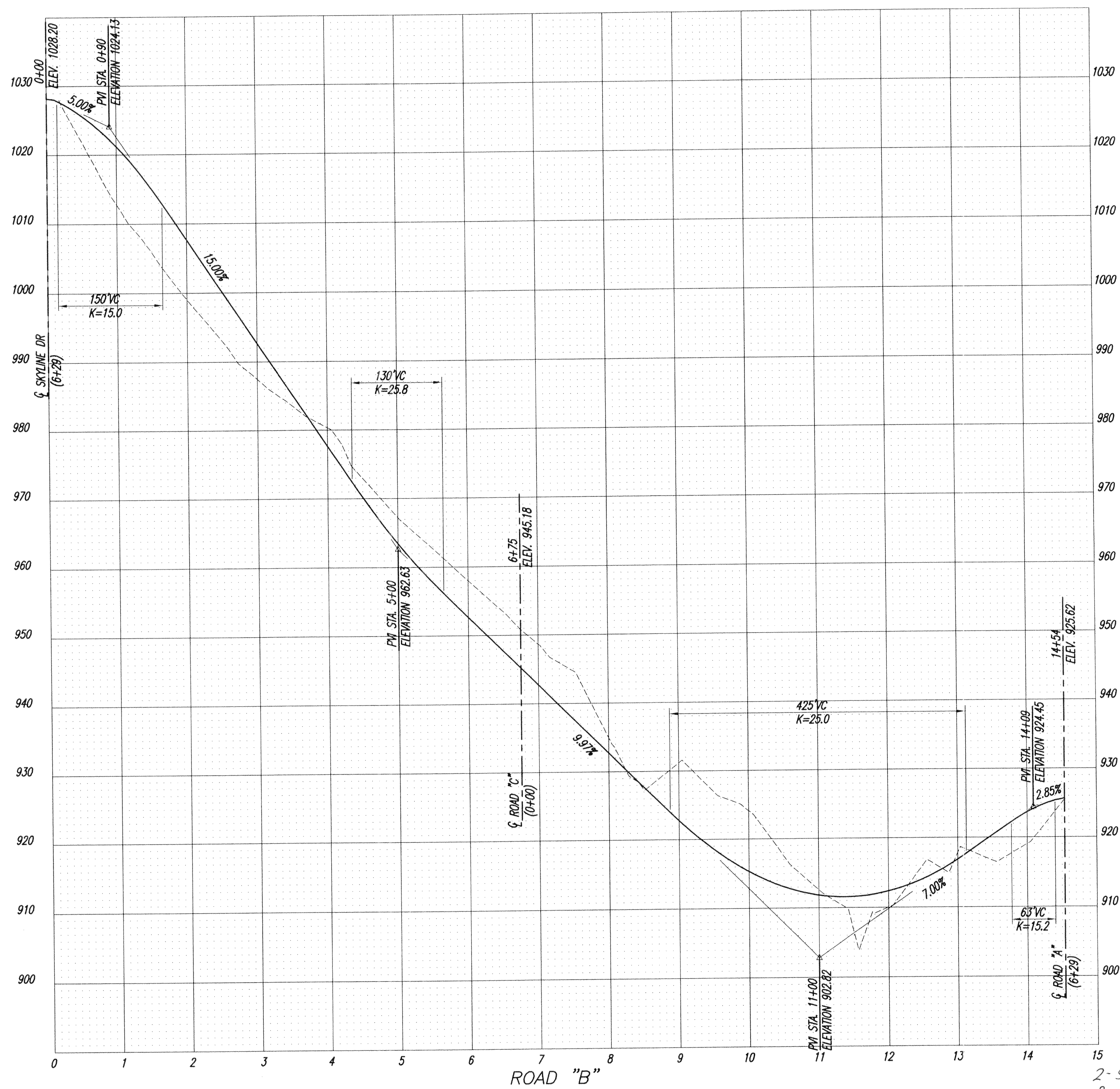
GRADING PLAN FOR HABITAT FOR HUMANITY-SKYLINE DRIVE

CLT MAP 83AF, PARCEL 32	SCALE	DRAWN BY	TPD
CLT MAP 83AD, PARCEL 9	1"=100'	DATE	10/10/00

30th WARD, CITY OF KNOXVILLE
CITY BLOCKS 30320, 30340 & 30360
DISTRICT 6, KNOX COUNTY, TN

CONTOUR INTERVAL=2'	DRAWING NUMBER
SHEET 2 OF 3 SHEETS	24568-C

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE (865) 588-6472
FAX (865) 588-6473
email@bhn-p.com



2-SA-10-C
2-C-10-CL
REVISED
1-27-10

OWNER:
KNOXVILLE HABITAT FOR HUMANITY, INC.
1501 WASHINGTON AVE.
KNOXVILLE, TN 37917
PHONE: (865) 523-3539



24568-RP

SHEET 3 OF 3 SHEET(S)

Q:\24568\24568-C.DWG



BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

DESIGNED

DRAWN

CHECKED

1	1-27-1
NO	DATE

MPC COMMENTS

REVISION

APPR	
------	--

NO.	DATE
-----	------

REVISION

APPR

SCALE
HORIZONTAL: 1" = 100'
VERTICAL: 1" = 10'

DATE
12/18/09

CLT MAP 83AF, PARCEL 32
CLT MAP 83AD, PARCEL 9
30th WARD, CITY OF KNOXVILLE
CITY BLOCKS 30320, 30340 & 30360
DISTRICT 6, KNOX COUNTY, TN

ROAD PROFILE FOR HABITAT FOR HUMANITY-SKYLINE DRIVE