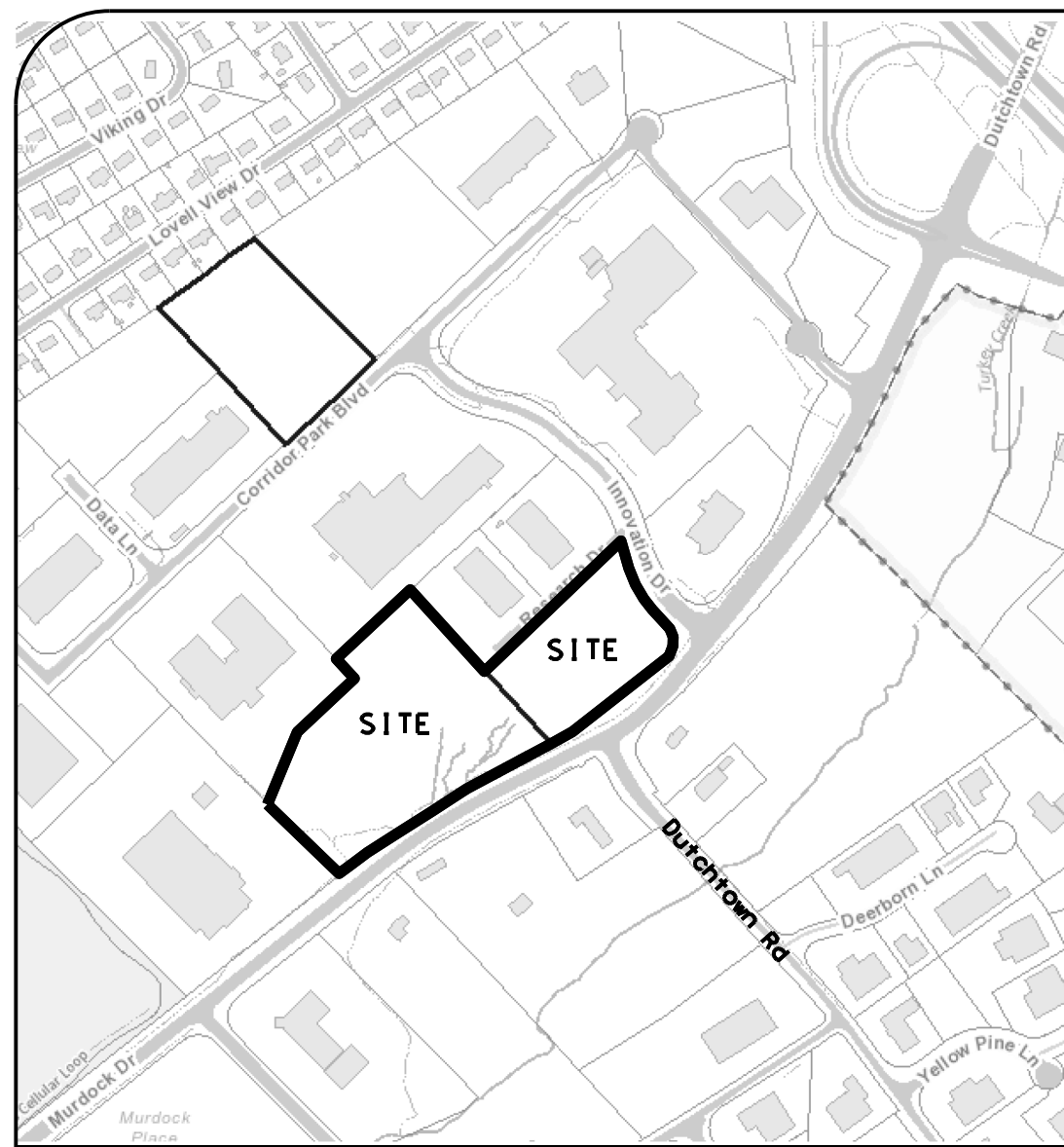


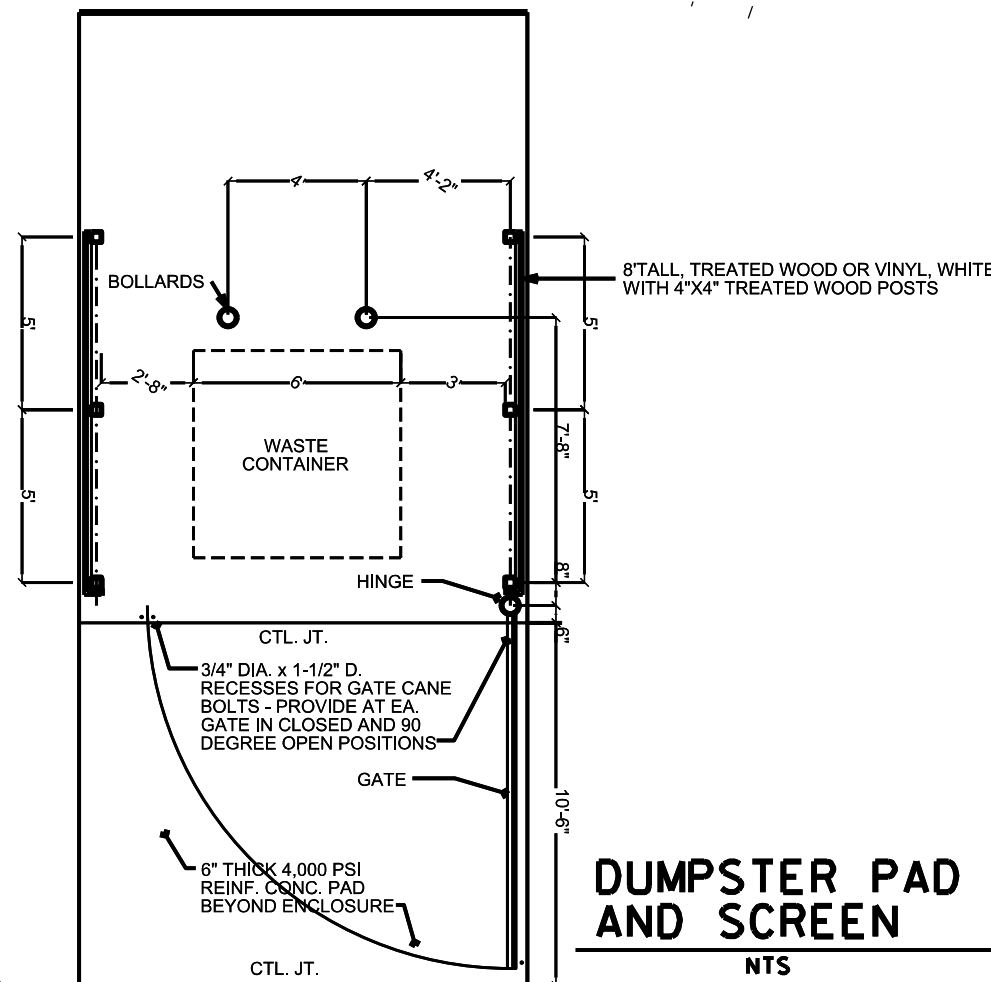


VICINITY MAP

FLAGSHIP KNOXVILLE ASSOCIATES LLC
LOT 17-R1R2 CORRIDOR PARK
RESUB. OF LOTS 17-R1R AND 22R-1R-2
AND PART OF THE JAMES KELLY
AND MILAM TRUST PROPERTY
INST. NO. 201303110059055

FLAGSHIP KNOXVILLE ASSOCIATES LLC
ST. NO. 200110220033229

EF KNOXVILLE LLC
& EDISON FORD, INC.
INST. NO. 200712170047275



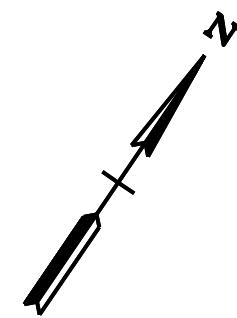
DUMPSTER PAD AND SCREEN

NTS

LEGEND

- EASEMENT
- X- FENCE
- C- CENTERLINE PAVEMENT
- PP UTILITY OR POWER POLE
- SANITARY SEWER MANHOLE
- SA--- SANITARY SEWER
- W--- WATER
- OVERHEAD ELECTRIC
- BOUNDARY LINES
- ZONING LINES
- BUILDING SETBACK
- ▲ SIGN
- PROPOSED FIRE HYDRANT

50 25 0 25 50 100
SCALE: 1" = 50'



COMPUTATIONAL SYSTEMS INCORPORATED
LOT 22R-1R-1
RESUB. OF LOT 22-1R
CORRIDOR PARK
0-106-C

REQUIRED PARKING PER KNOX COUNTY ZONING:

PROFESSIONAL OFFICES -
One (1) space per two hundred fifty (250) square feet of usable or rentable office space.

WHOLESALE ESTABLISHMENTS AND BUSINESS SERVICES -
One (1) for every fifty (50) square feet of customer service area, plus two (2) per three (3) employees based on the design capacity of the largest shift.

PROPOSED PARKING PER BUILDING:

PROFESSIONAL OFFICES -
6000 SF / 250 SF = 24 SPACES

WHOLESALE ESTABLISHMENTS AND BUSINESS SERVICES -
Customer service area - 1000 SF / 50 SF = 20 SPACES
Employees - 97 EMPLOYEES x 2 sp / 3 emp = 65 SPACES
TOTAL PROPOSED PARKING - 109 SPACES PER BUILDING OR
218 SPACES INCLUDING 9 ADA SPACES

PARKING WAIVER REQUEST:

A WAIVER TO THE TTCDA GUIDELINES MAX. PARKING REQUIREMENT OF 183 SPACES HAS BEEN REQUESTED SO THE SITE CAN ADHERE TO KNOX COUNTY ZONING MINIMUM PARKING REQUIREMENTS.

SITE DATA

EXISTING:

ZONING: BP/TO

SETBACKS (per zoning or TTCDA guidelines):
FRONT - 60' W/PARKING IN FRONT YARD (TTCDA)
SIDE - 40' (BP ZONE)
REAR - 30' (BP ZONE)

AREA: 13.626 ACRES

PROPOSED:

62,250 SF WAREHOUSE & 60,000 SF WAREHOUSE
GAC = 2.81/13.626 = 21%
FAR = 2.81/13.626 = 21%

REVISIONS

NO.	DATE	DESCRIPTION
1	12/21/21	PC COMM.

SITE AND UTILITY LAYOUT PLAN

CORRIDOR PARK

10401 DUTCHTOWN ROAD
KNOX COUNTY, TENNESSEE
CLT MAP 118 PARCEL 173.12
611.802.001/2.522.01

NOT FOR CONSTRUCTION



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LAND SURVEYING
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LEXINGTON SIMMONS, LLC

7235 WELLSLEY MANOR WAY
KNOXVILLE, TN 37921
865.510.4102

ORIGINAL ISSUE:

NOV. 10, 2021

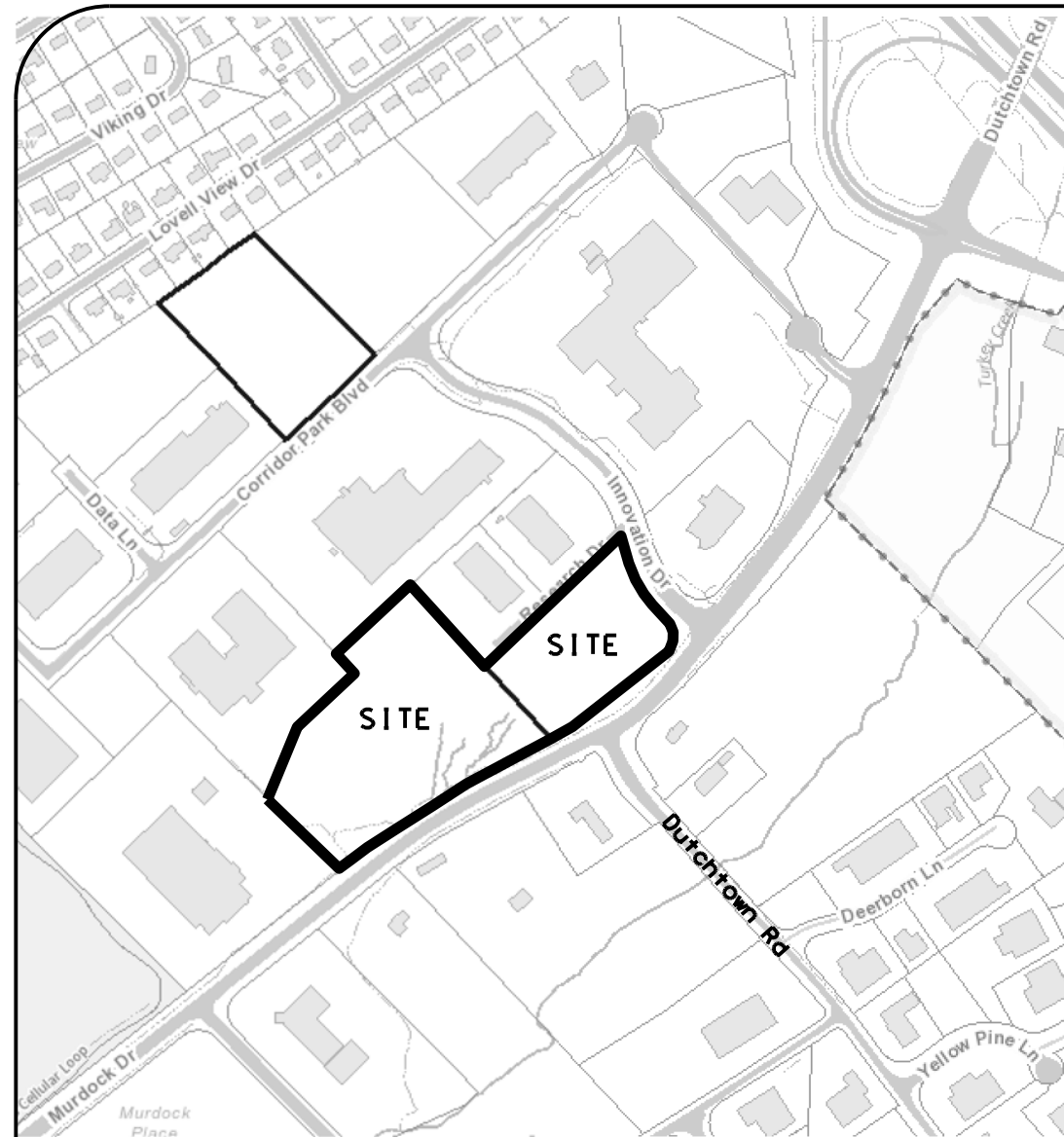
SHEET NO.

C1

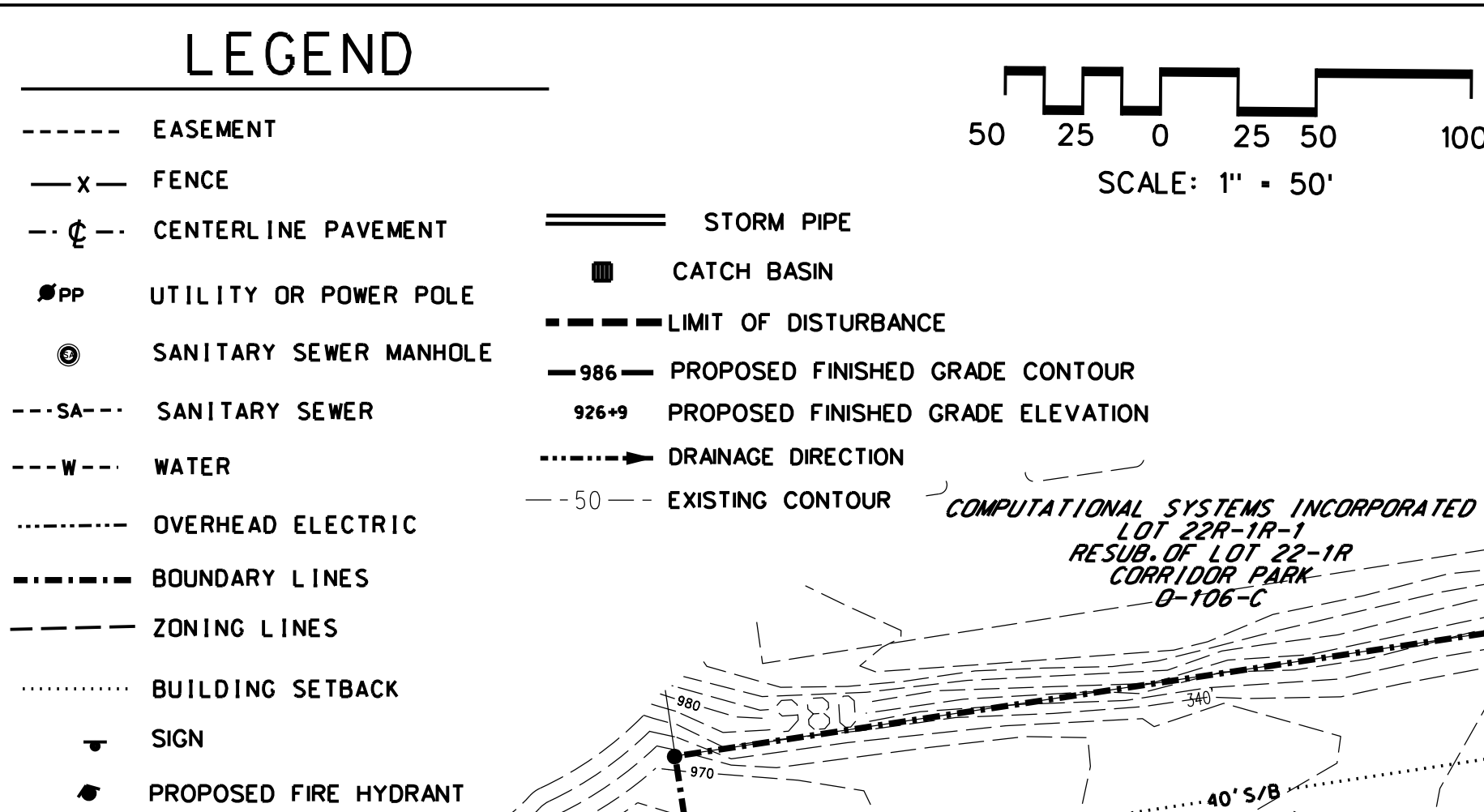
JOB NO. 2093

NOTES:

1. THE PURPOSE OF THIS PLAN IS TO SHOW A PRELIMINARY SITE LAYOUT FOR 2 PROPOSED WAREHOUSE SITES ONLY.
2. BEARINGS SHOWN HEREON ARE BASED ON SURVEY BY OTHERS.
3. THIS PROPERTY IS ZONED BP/TO IN KNOX COUNTY.
4. ALL UTILITIES SHOWN ARE LOCATED BY SURVEY OR UTILITY MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY.
5. DEED REFERENCE: INST. NO. 201811130030132.
6. PARCEL AND TOPOGRAPHIC INFORMATION PER SURVEY BY OTHERS.
7. ALL ROADS TO BE PRIVATE DRIVEWAYS.
8. WATER AND SEWER PROVIDED BY FIRST UTILITY DISTRICT. ELECTRIC SERVICE PROVIDED BY LENOIR CITY UTILITY BOARD. GAS SERVICE PROVIDED BY K.U.B.

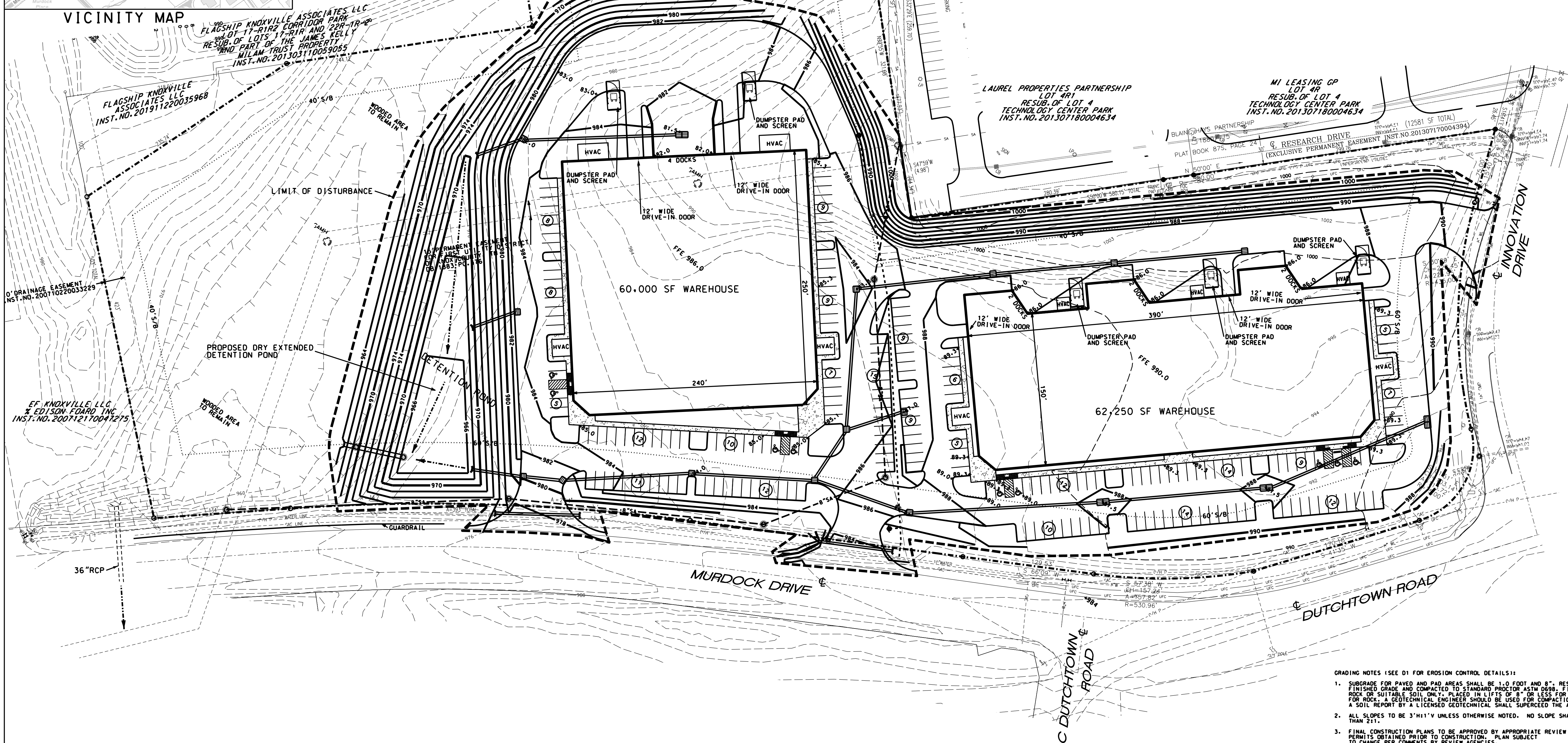


VICINITY MAP



SITE DATA

EXISTING:
ZONING: BP/TO
AREA: 13.626 ACRES +/-
PROPOSED:
62,250 SF WAREHOUSE & 60,000 SF WAREHOUSE
DISTURBED AREA: 10.13 ACRES
IMPERVIOUS AREA: 6.63 ACRES
IAR = 6.63/13.626 = 49%



DRAINAGE NOTES:

FOR ALL BUILDINGS:
TIE ROOF DRAINS TO STORM SEWER
OR EXTEND TO CURB UNLESS OTHERWISE NOTED.
ALL BUILDINGS SHALL HAVE 6" VERTICAL GRADE DROP
TO ADJACENT GRASS AREAS. ALL GRASS AREAS SHALL
SLOPE AWAY FROM THE BUILDING AT 2% SLOPE WHERE
POSSIBLE AND 1% MINIMUM SLOPE.
IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE
POSITIVE DRAINAGE AWAY FROM THE BUILDINGS
THROUGHOUT AND AT THE END OF CONSTRUCTION.

GRADING NOTES (SEE D1 FOR EROSION CONTROL DETAILS):

- SUBGRADE FOR PAVED AND PAD AREAS SHALL BE 1.0 FOOT AND 8", RESPECTIVELY, BELOW FINISHED GRADE AND COMPACTED TO STANDARD PROCTOR ASTM D698. FILL SHALL BE ROCK OR SUITABLE SOIL ONLY, PLACED IN LIFTS OF 8" OR LESS FOR SOIL AND 2' OR LESS FOR ROCK. A GEOTECHNICAL ENGINEER SHOULD BE USED FOR COMPACTION TESTING. A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS.
- ALL SLOPES TO BE 3:1 MINIMUM UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 2:1.
- FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION. PLAN SUBJECT TO CHANGE PER COMMENTS BY REVIEW AGENCIES.
- THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PLAN PRIOR TO DISTURBANCES.
- ALL GRADING AND DRAINAGE ORDINANCES OF KNOX CO. SHALL BE FOLLOWED INCLUDING ALL OSHA REQUIREMENTS.
- NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELETERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED OF ON SITE.
- TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS. STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM OF 6". A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERCEDE THE ABOVE RECOMMENDATIONS. THE SOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNER. EXCESS TOPSOIL, DIRT, DEBRIS, ETC.
- FFE = FINISHED FLOOR ELEVATION
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH A.D.A. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5%. GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%. CROSS SLOPES SHALL BE 1.5%.

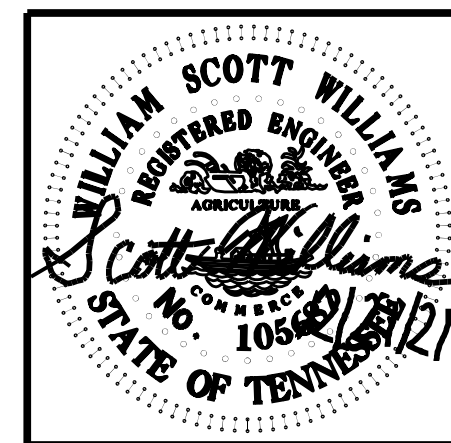
NOT FOR CONSTRUCTION

REVISIONS		
NO.	DATE	DESCRIPTION
1	12/21/21	PC COMM.

PRELIMINARY GRADING AND DRAINAGE PLAN

CORRIDOR PARK

10401 DUTCHTOWN ROAD
KNOX COUNTY, TENNESSEE
CLT MAP 118 PARCEL 173-12
611-822-2001 / 611-822-2100



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CLIENT:

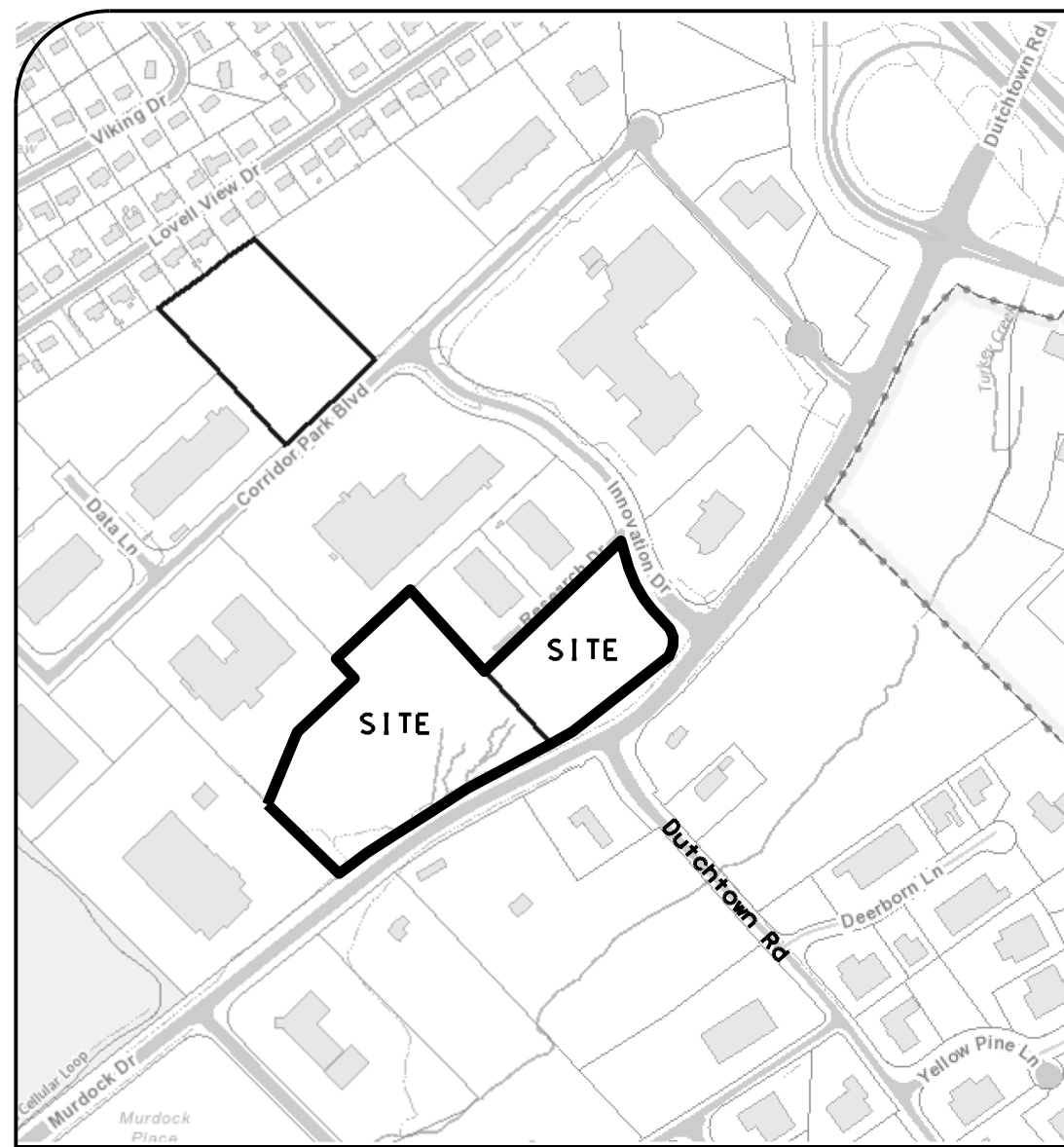
LEXINGTON SIMMONS, LLC

7235 WELLSLEY MANOR WAY
KNOXVILLE, TN 37921
615-510-6102

ORIGINAL ISSUE:
NOV. 10, 2021

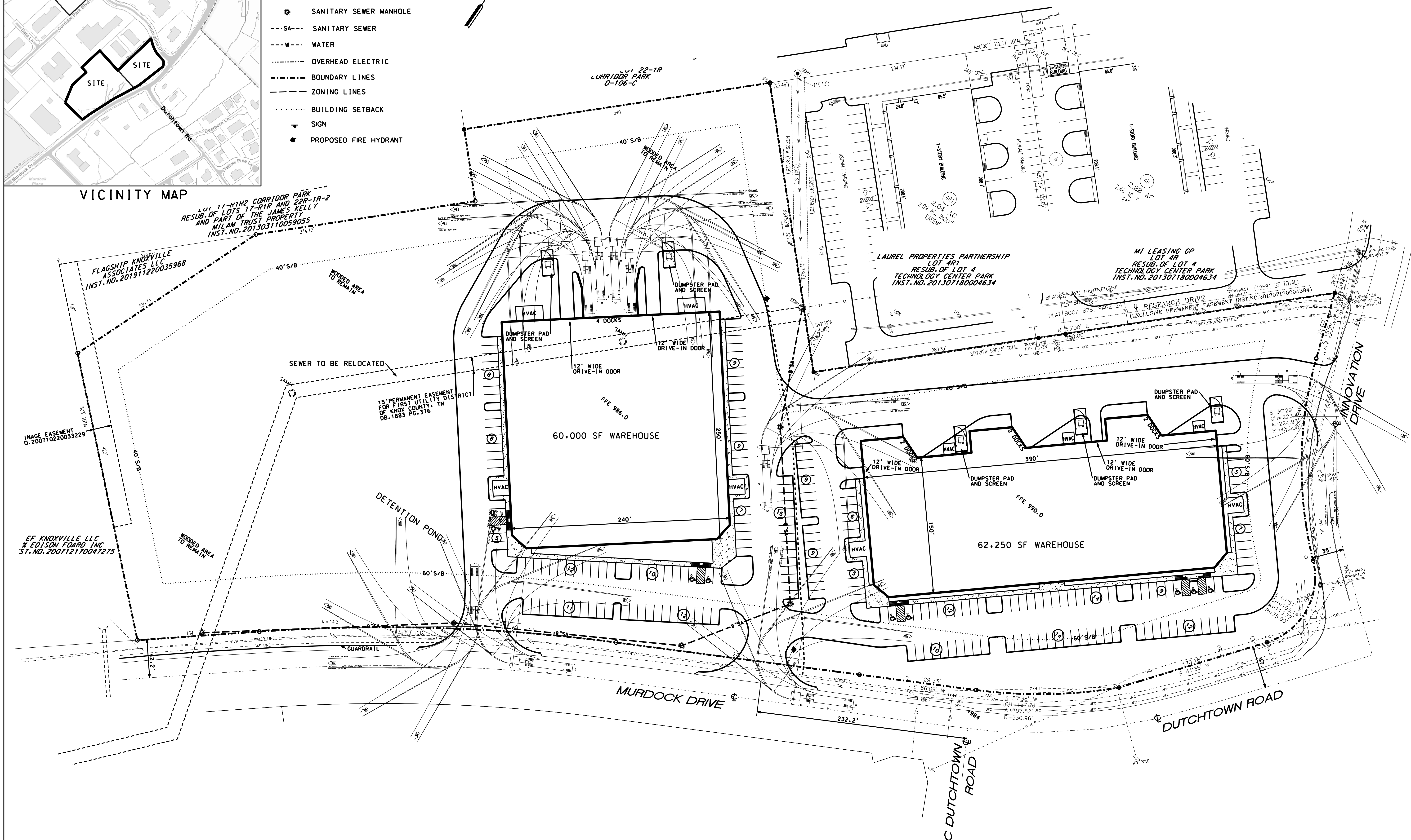
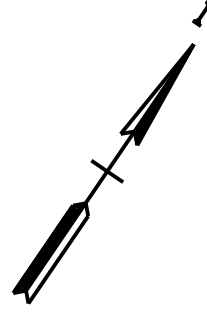
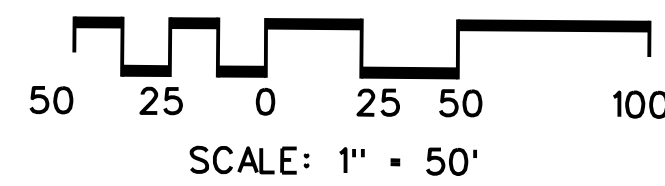
SHEET NO.
C2

JOB NO. 2093



VICINITY MAP

- LEGEND**
- EASEMENT
 - X- FENCE
 - C- CENTERLINE PAVEMENT
 - PP UTILITY OR POWER POLE
 - SANITARY SEWER MANHOLE
 - SA--- SANITARY SEWER
 - W--- WATER
 - OVERHEAD ELECTRIC
 - Z--- BOUNDARY LINES
 - Z--- ZONING LINES
 - BUILDING SETBACK
 - ▲ SIGN
 - PROPOSED FIRE HYDRANT



- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO SHOW TRAFFIC CIRCULATION ONLY. NOT A CONSTRUCTION DOCUMENT.
 2. 52' TRAILER TEMPLATE SHOWN WITH 45' MIN. RADIUS TURNS.

NOT FOR CONSTRUCTION

REVISIONS		
NO.	DATE	DESCRIPTION
1	12/21/21	PC COMM.

TRAFFIC CIRCULATION
PLAN

CORRIDOR PARK

10401 DUTCOTOWN ROAD
KNOX COUNTY, TENNESSEE
CLT MAP 118 PARCEL 173.12
611.522.001/2.522.001



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ORIGINAL ISSUE:

NOV. 10, 2021

SHEET NO.

C1a

JOB NO. 2093



**GEORGE
ARMOUR
EWART
ARCHITECT**

404 Bearden Park Circle
Knoxville, TN 37919
865.602.7771
Fax 865.602.7742
www.georgeewart.com

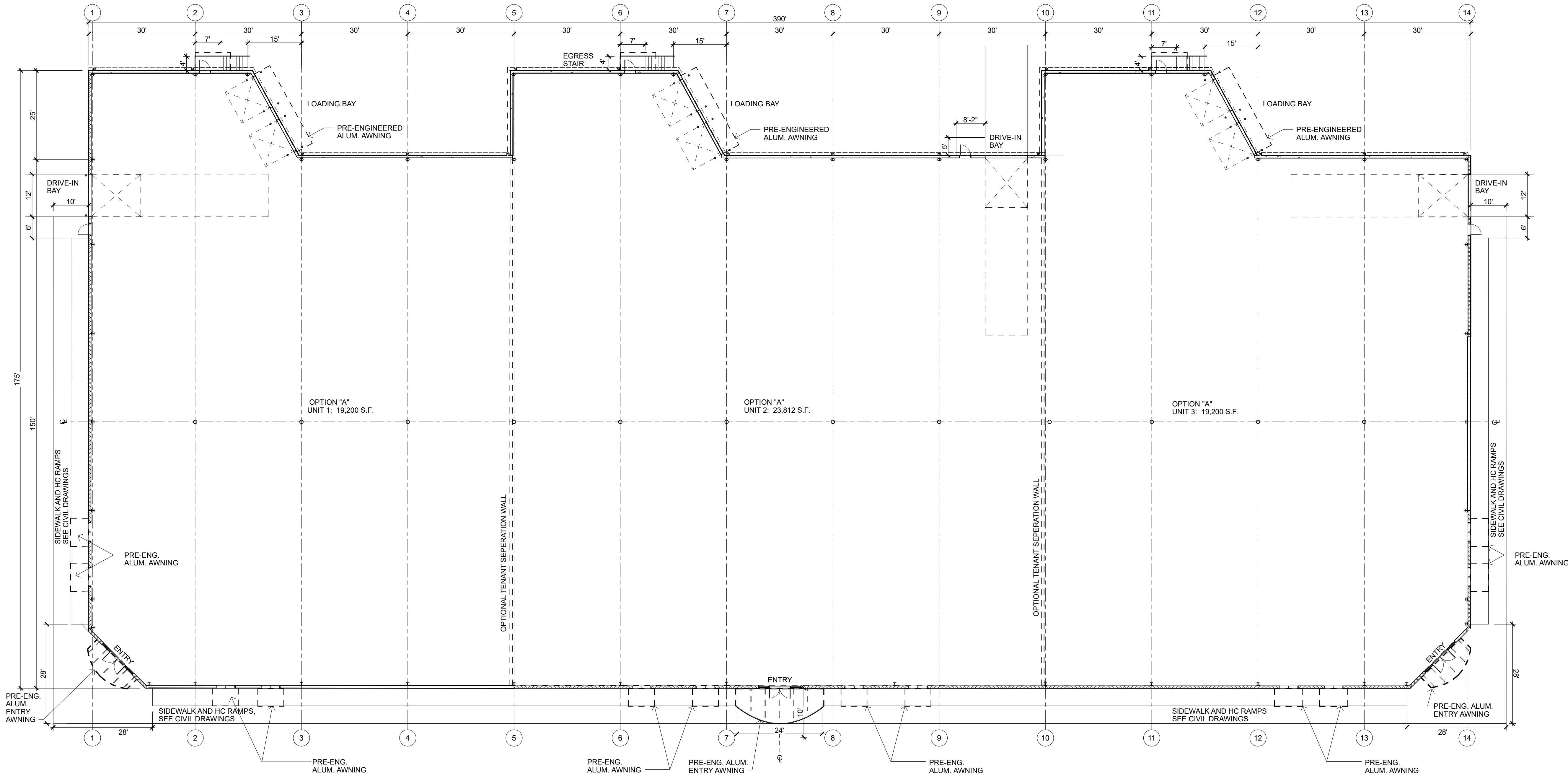
WAREHOUSE BUILDINGS
60,000 SF AND 62,250 S.F.
MURDOCK DRIVE
KNOX COUNTY, TN 37932
1-B-22-TOB / 2-G-22-UR



FLOOR PLAN

DATE: 21 DEC. 2021
PROJECT NO.: 21194
PROJECT MGR.: AGR
REVISION: 1 21 DEC 2021

A1.1

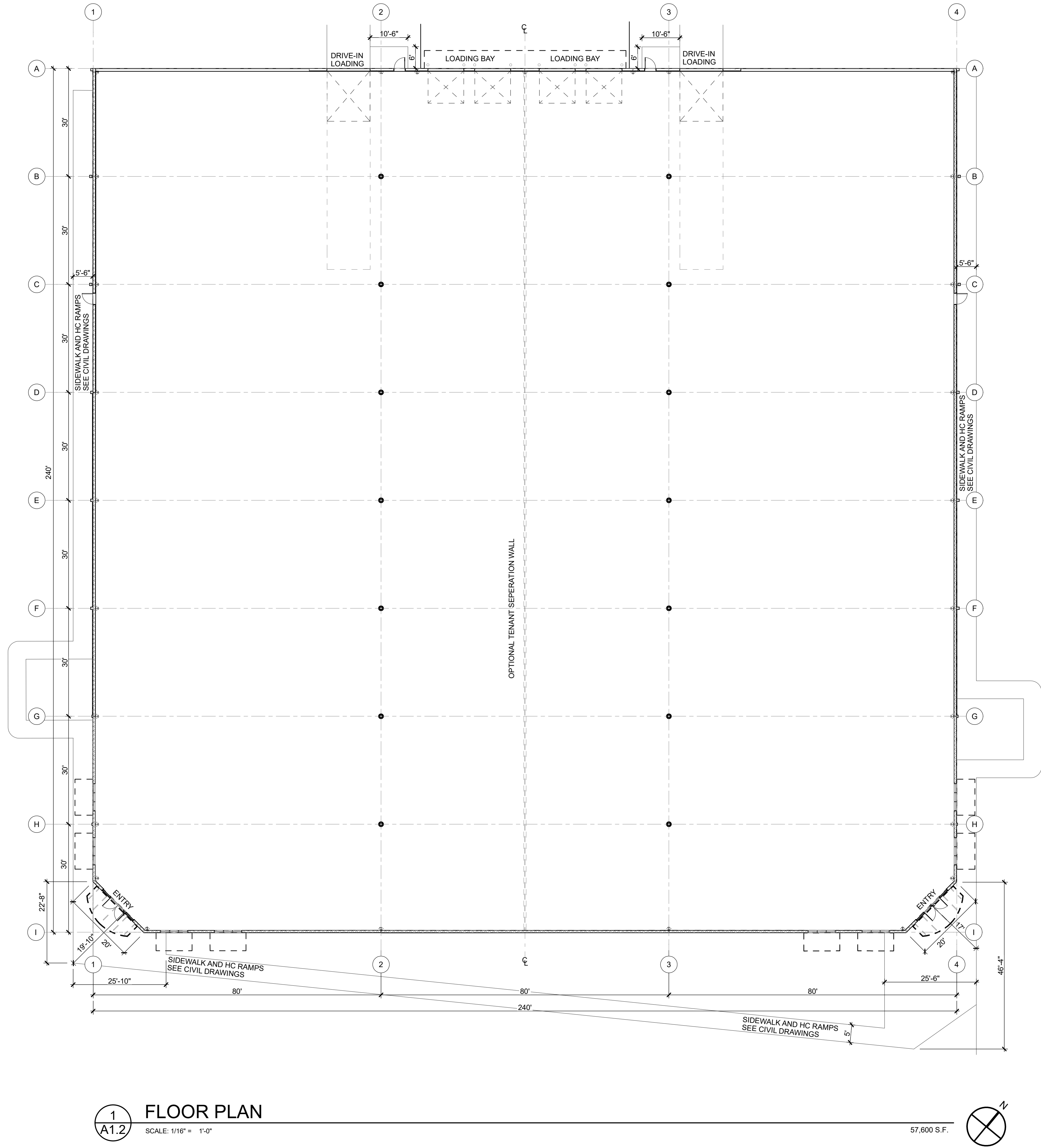


1
A1.1

FLOOR PLAN - 62,250 SF WAREHOUSE

SCALE: 1/16" = 1'-0"

62,212 S.F.



1 FLOOR PLAN
A1.2

SCALE: 1/16" = 1'-0"

57,600 S.F.

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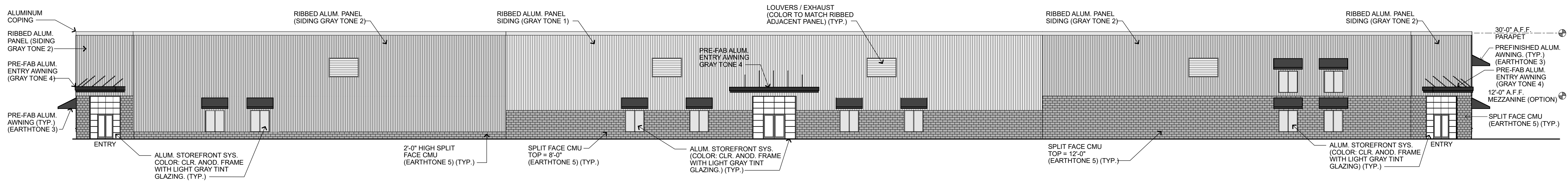
WAREHOUSE BUILDINGS
60,000 SF AND 62,250 S.F.
MURDOCK DRIVE
KNOX COUNTY, TN 37932
1-B-22-TOB / 2-G-22-UR



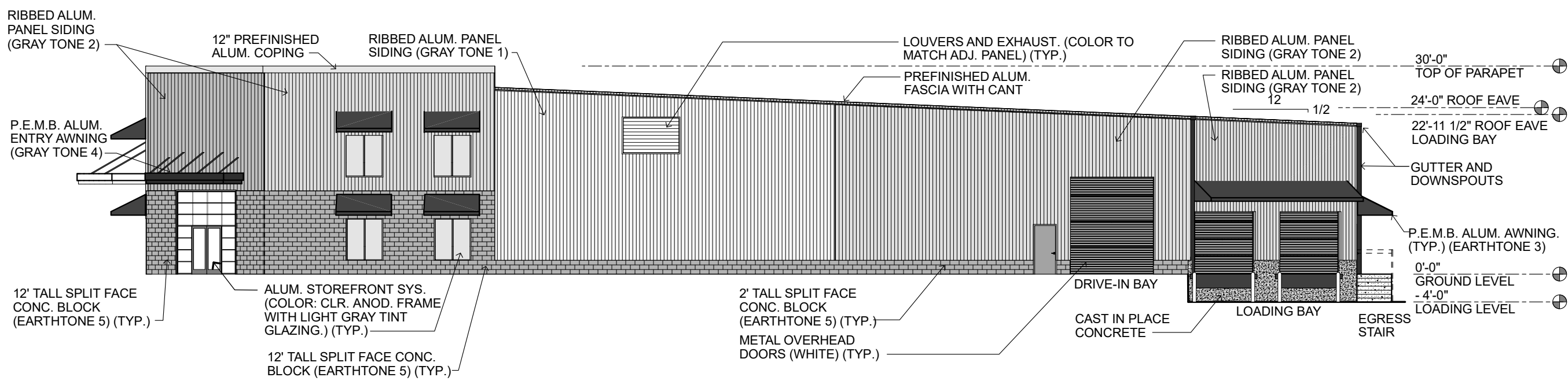
FLOOR PLAN

DATE: 21 DEC 2021
PROJECT NO.: 21194
PROJECT MGR.: AGR
REVISION: 1 21 DEC 2021

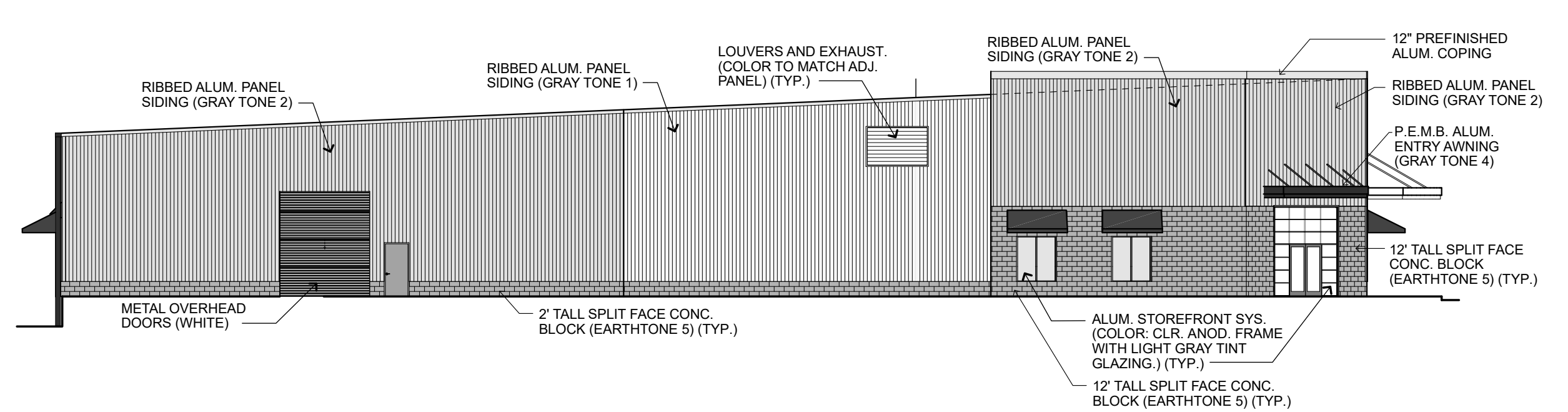
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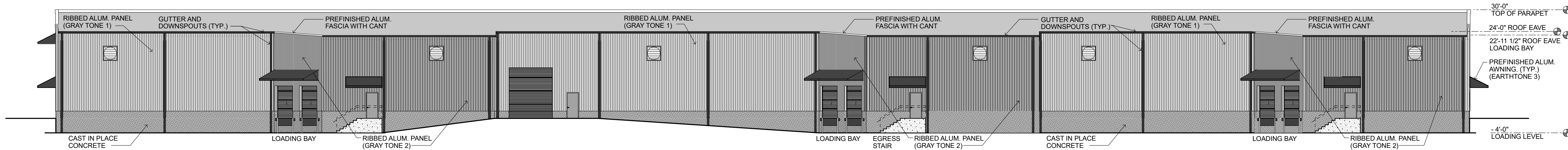
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A4.1 62,250 WAREHOUSE - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2
A4.1 62,250 WAREHOUSE - EAST ELEVATION
SCALE: 1/16" = 1'-0"



3
A4.1 62,250 WAREHOUSE - WEST ELEVATION
SCALE: 1/16" = 1'-0"



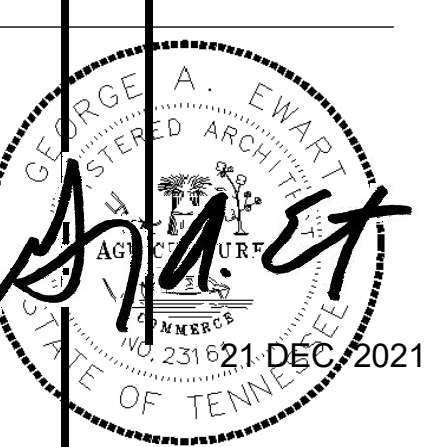
4
A4.1 62,250 WAREHOUSE - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



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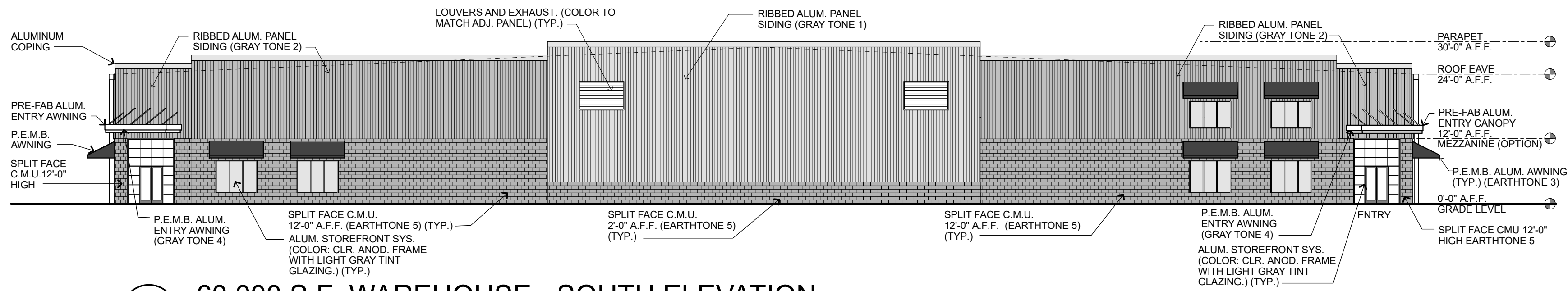
WAREHOUSE BUILDINGS
60,000 SF AND 62,250 S.F.
MURDOCK DRIVE
KNOX COUNTY, TN 37932
1-B-22-TOB / 2-G-22-UR



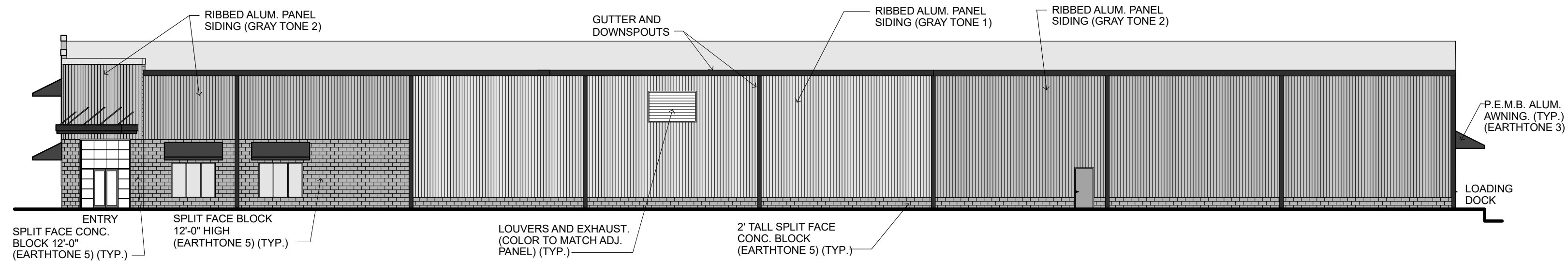
EXTERIOR ELEVATIONS

DATE: 21 DEC. 2021
PROJECT NO.: 21194
PROJECT MGR.: AGR
REVISION: 1 21 DEC 2021

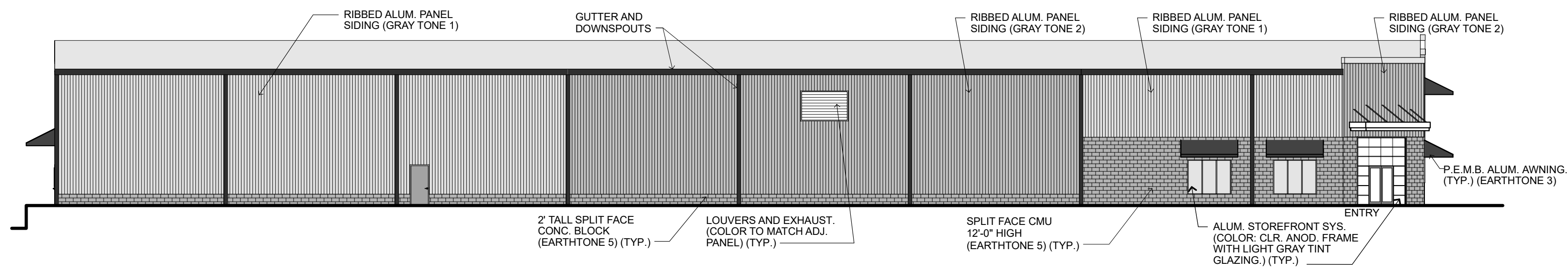
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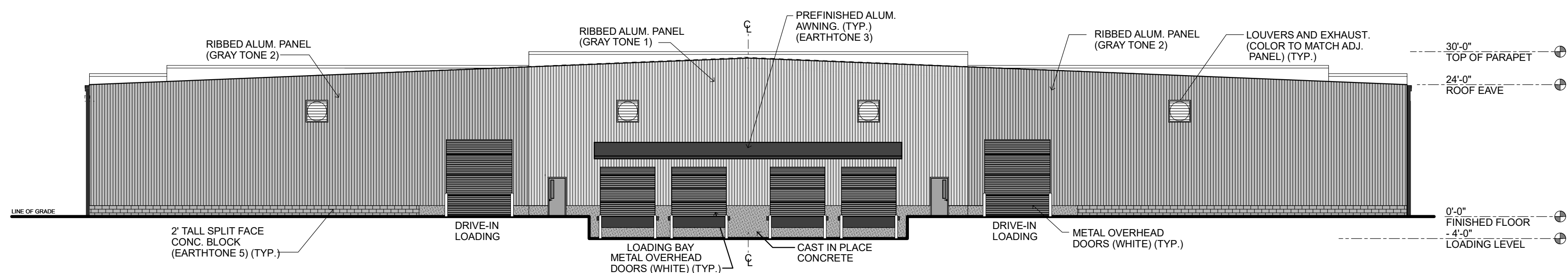
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A4.2 60,000 S.F. WAREHOUSE - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2
A4.2 60,000 S.F. WAREHOUSE - EAST ELEVATION
SCALE: 1/16" = 1'-0"



3
A4.2 60,000 S.F. WAREHOUSE - WEST ELEVATION
SCALE: 1/16" = 1'-0"



4
A4.2 60,000 S.F. WAREHOUSE - NORTH ELEVATION
SCALE: 1/16" = 1'-0"



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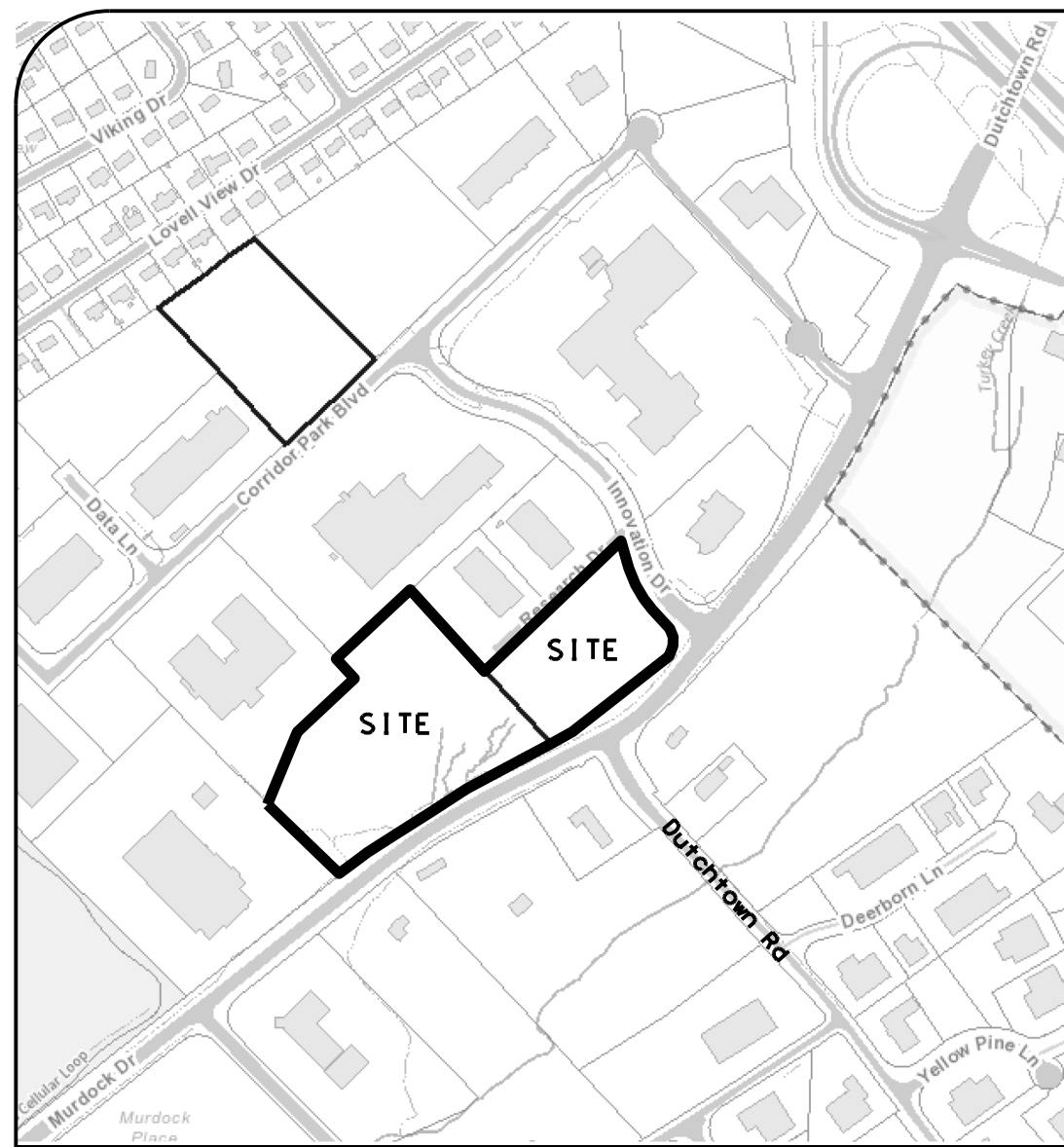
WAREHOUSE BUILDINGS
60,000 SF AND 62,250 S.F.
MURDOCK DRIVE
KNOX COUNTY, TN 37932
1-B-22-TOB / 2-G-22-UR



EXTERIOR ELEVATIONS

DATE: 21 DEC 2021
PROJECT NO.: 21194
PROJECT MGR.: AGR
REVISION: 1 21 DEC 2021

A4.2



VICINITY MAP

FLAGSHIP KNOXVILLE ASSOCIATES, LLC
FLAGSHIP KNOXVILLE ASSOCIATES, LLC
RESUB. OF LOT 17-R1R2 CORRIDOR PARK
RESUB. OF LOT 17-R1R AND 22R-1R-2
RESUB. OF LOT 17-R1R AND 22R-1R-2
RESUB. OF LOT 17-R1R AND 22R-1R-2
INST. NO. 201303110059055

FLAGSHIP KNOXVILLE ASSOCIATES, LLC
ASSOCIATES, LLC
INST. NO. 201911220035968

EF KNOXVILLE, LLC
EDISON EDWARDS, INC.
INST. NO. 200712170047275

O'DRAINAGE EASEMENT
INST. NO. 200710220033229

15' PERMANENT EASEMENT
FOR FIRST UTILITY DISTRICT
OF KNOX COUNTY, TN
DE 1883 PG. 376

PROPOSED DRY EXTENDED
DETENTION POND

WOODED AREA
TO REMAIN

WOODED AREA
TO REMAIN

WOODED AREA
TO REMAIN

WOODED AREA
TO REMAIN

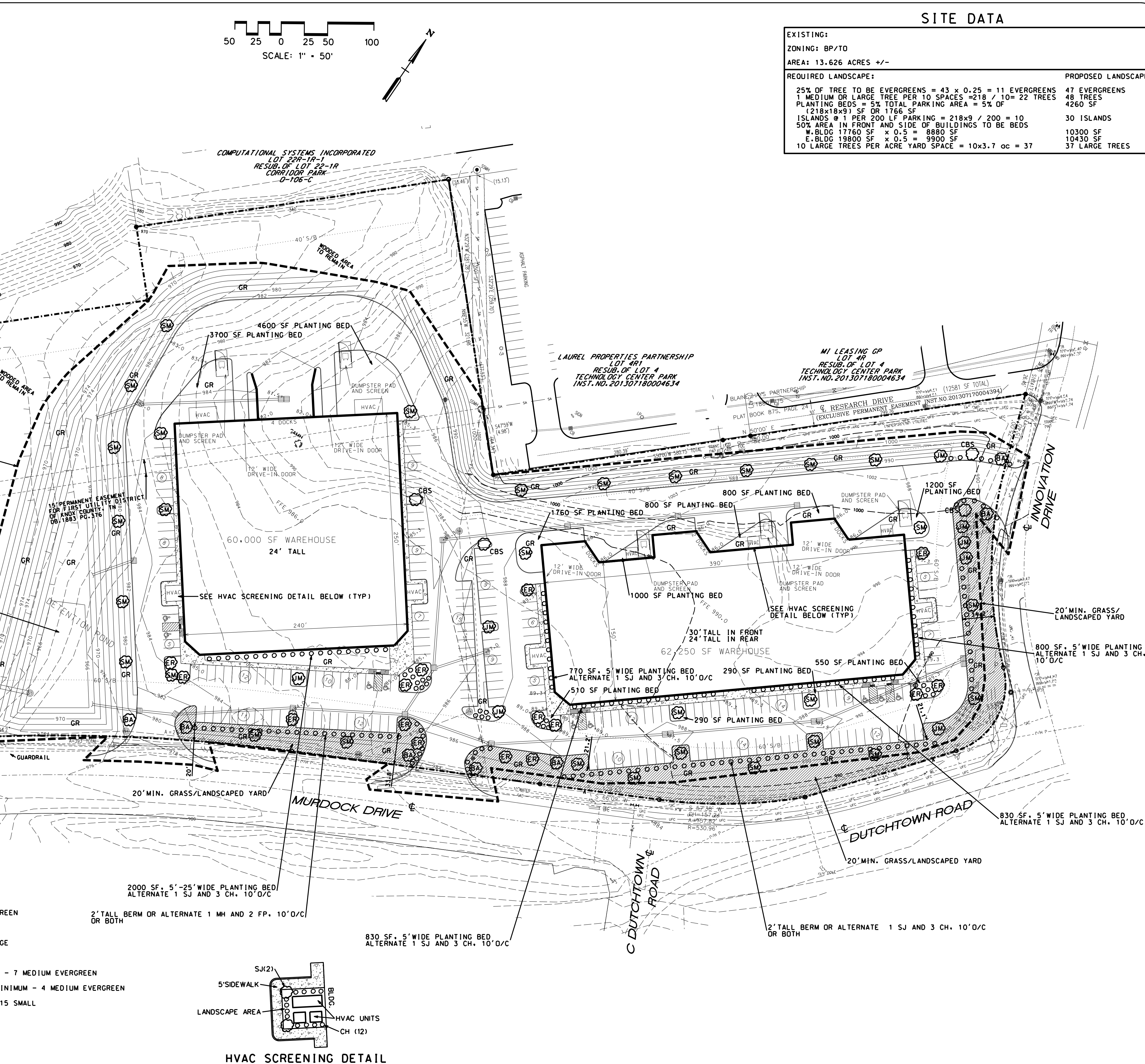
WOODED AREA
TO REMAIN

WOODED AREA
TO REMAIN

WOODED AREA
TO REMAIN

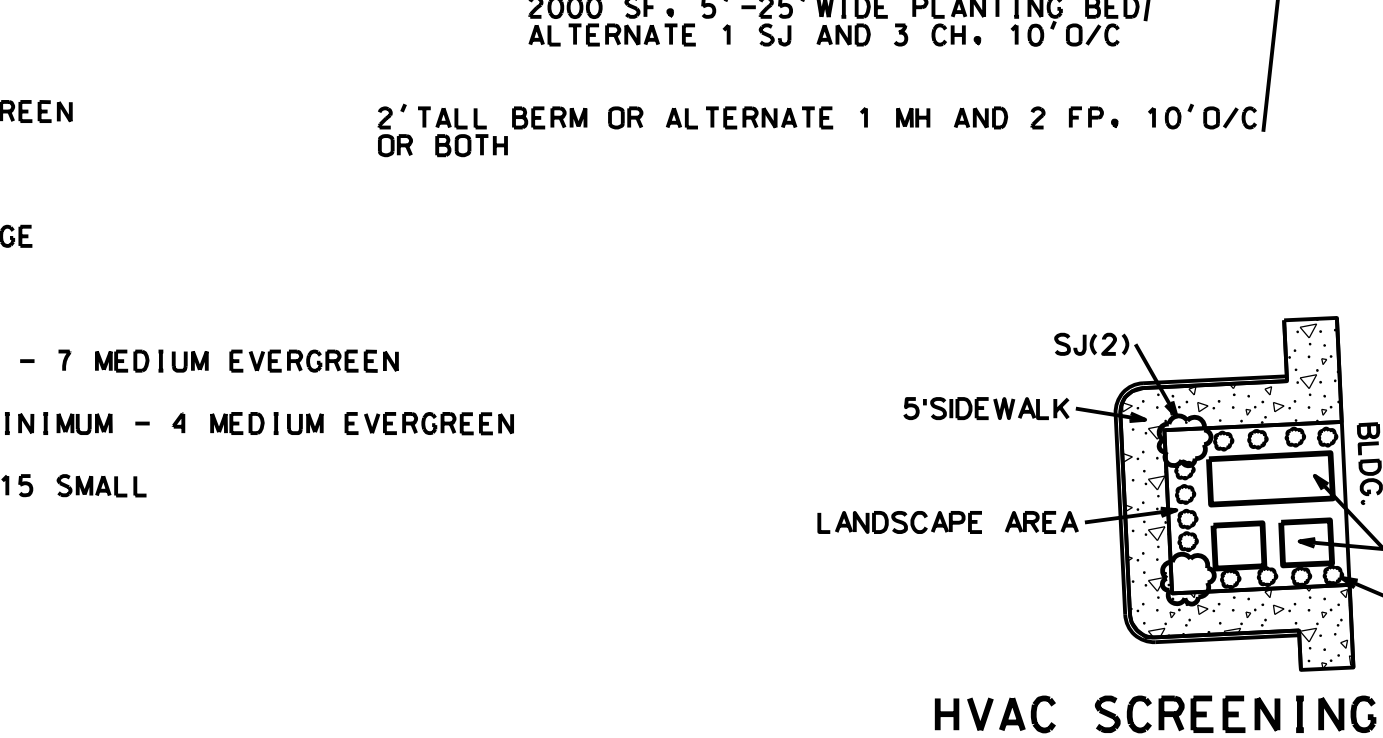
WOODED AREA
TO REMAIN

WOODED AREA
TO REMAIN



LANDSCAPING NOTES:
CONTRACTOR TO PROVIDE PLANT LIST TO OWNER FOR APPROVAL
PRIOR TO PURCHASE AND INSTALLATION.
ALL LANDSCAPING TO COMPLY WITH TTCA AND KNOX COUNTY
LANDSCAPE REQUIREMENTS.
A FINAL PLAN SHALL BE APPROVED BY PLANNING STAFF.

LANDSCAPE LEGEND
SJ SPARTAN JUNIPER (Juniperus chinensis) 5 GAL - 36 SMALL EVERGREEN
CH CARRISA HOLLY (Ilex cornuta 'Carrisa') 5 GAL - 164 BUSHES
SM SUGAR MAPLE (ACER SACCHARUM) 2 INCH CALIPER MINIMUM - 30 LARGE
BA BALD CYPRESS (taxodium distichum) - 7 LARGE
JM JAPANESE CEDAR (Cryptomeria japonica) 2 INCH CALIPER MINIMUM - 7 MEDIUM EVERGREEN
CBS COLORADO BLUE SPRUCE (Picea pungens glauca) 2 INCH CALIPER MINIMUM - 4 MEDIUM EVERGREEN
ER EASTERN REDBUD (Cercis canadensis) 2 INCH CALIPER MINIMUM - 15 SMALL
PROPOSED TREE
GR PROPOSED GRASS / LANDSCAPE AREA
PROPOSED BUSH
REQ'D YARD PERVIOUS AREA / OPEN SPACE



HVAC SCREENING DETAIL

SITE DATA

EXISTING:	
ZONING: BP/TO	
AREA: 13.626 ACRES +/-	
REQUIRED LANDSCAPE:	PROPOSED LANDSCAPE:
25% OF TREE TO BE EVERGREENS = 43 x 0.25 = 11 EVERGREENS	47 EVERGREENS
1 MEDIUM OR LARGE TREE PER 10 SPACES = 218 / 10 = 22 TREES	48 TREES
PLANTING BEDS = 5% TOTAL PARKING AREA = 5% OF	4260 SF
(218x18x9) SF OR 1766 SF	
ISLANDS @ 1 PER 200 LF PARKING = 218x9 / 200 = 10	30 ISLANDS
50% AREA IN FRONT AND SIDE OF BUILDINGS TO BE BEDS	
W.BLDG 17760 SF x 0.5 = 8880 SF	10300 SF
E.BLDG 19800 SF x 0.5 = 9900 SF	10430 SF
10 LARGE TREES PER ACRE YARD SPACE = 10x3.7 ac = 37	37 LARGE TREES

NOT FOR CONSTRUCTION

REVISIONS	NO.	DATE	DESCRIPTION
	1	12/21/21	PC COMM.

PRELIMINARY
LANDSCAPE PLAN
CORRIDOR PARK
10401 DUTCOTOWN ROAD
KNOX COUNTY, TENNESSEE
CLT MAP 118 PARCEL 173.12
611822.001/2.522418



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KNOXVILLE, TN 37919
865.530.4102
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SHEET NO.
L1
JOB NO. 2093



Introduction
The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment. The D-Series distills the benefits of the latest in LED technology into a high performance, high efficiency, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. It is ideal for replacing up to 750W metal halide in pedestrian and area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

EXAMPLE: DSX1 LED P7 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXC

[illegible]

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Specifications

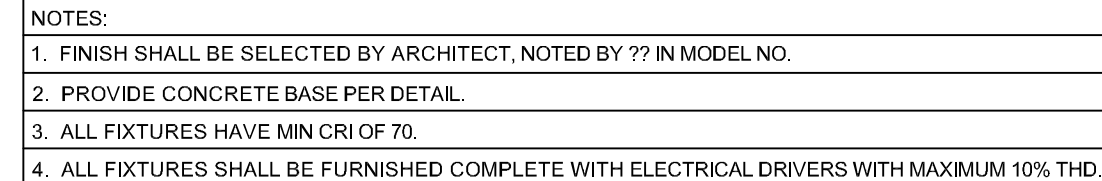
Length:	14" (354mm)
Width:	12" (304mm)
Height:	5" (127mm)
Weight (max):	19.7 lbs (8.9kg)



EXAMPLE: KAXW LED P3 40K R3 MVOLT DDBXD

NOTES	Accessories								
1. MOCUT does operate on any line voltage from 120-277VAC/50/60 Hz.	Defined and optional separately.								
2. Not available in the PF performance package.									
3. Not available with MOCAM, See PERS or PERS7 options.									
4. Product ordered and shipped separately from base from Axuly Strength Controls, See Accessories Information.									
5. Requires a connector supplied by Axuly Strength Controls.									
6. Requires installation by a specialist with PERS, PERS7 or PERS7E.									
7. Not available with PERS or PERS7 options.									
8. Must specify 120, 277, or 480V options.									
9. Also available in a separate accessory set Accessories Information.									
10. Requires a connector supplied by Axuly Strength Controls.									
11. Requires installation by a specialist with PERS, PERS7 or PERS7E.									
12. Ordered and shipped as a separate unit from Axuly Strength Controls.									
13. Specify the Super Single MOCUT-DOOP control see Outdoor Control Control for details. Clearing other standards. Not available with PERS or PERS7 120V or 277V. Accessories PERS or separate unit.									
	<table border="1"> <tr> <td>OPTION 1</td> <td>Swing up</td> </tr> <tr> <td>MOCUTS</td> <td>Not shown</td> </tr> <tr> <td>MOCUTS</td> <td>Not shown</td> </tr> <tr> <td>MOCUTS</td> <td>Not shown</td> </tr> </table>	OPTION 1	Swing up	MOCUTS	Not shown	MOCUTS	Not shown	MOCUTS	Not shown
OPTION 1	Swing up								
MOCUTS	Not shown								
MOCUTS	Not shown								
MOCUTS	Not shown								

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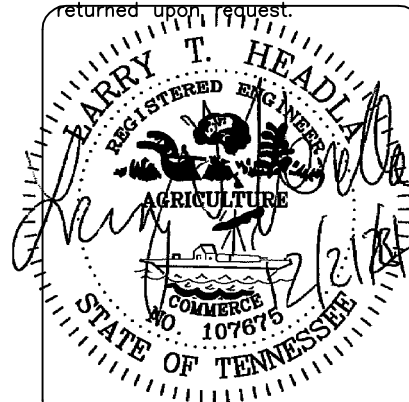


SYSTEMS

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Revisions:

REV 1: 12/21/21
TTCDA No. 1-B-22-TOB
Use on Review No.
2-G-22-UR

CORRIDOR PARK
MURDOCK DRIVE
KNOX COUNTY, TN.

Job No: AHE103
Date: 12/21/2021
Designed by: LTH
Drawn by: CLC

Sheet Title:
ELECTRICAL SITE
PHOTOMETRICS

Scale:

SHEET

E100