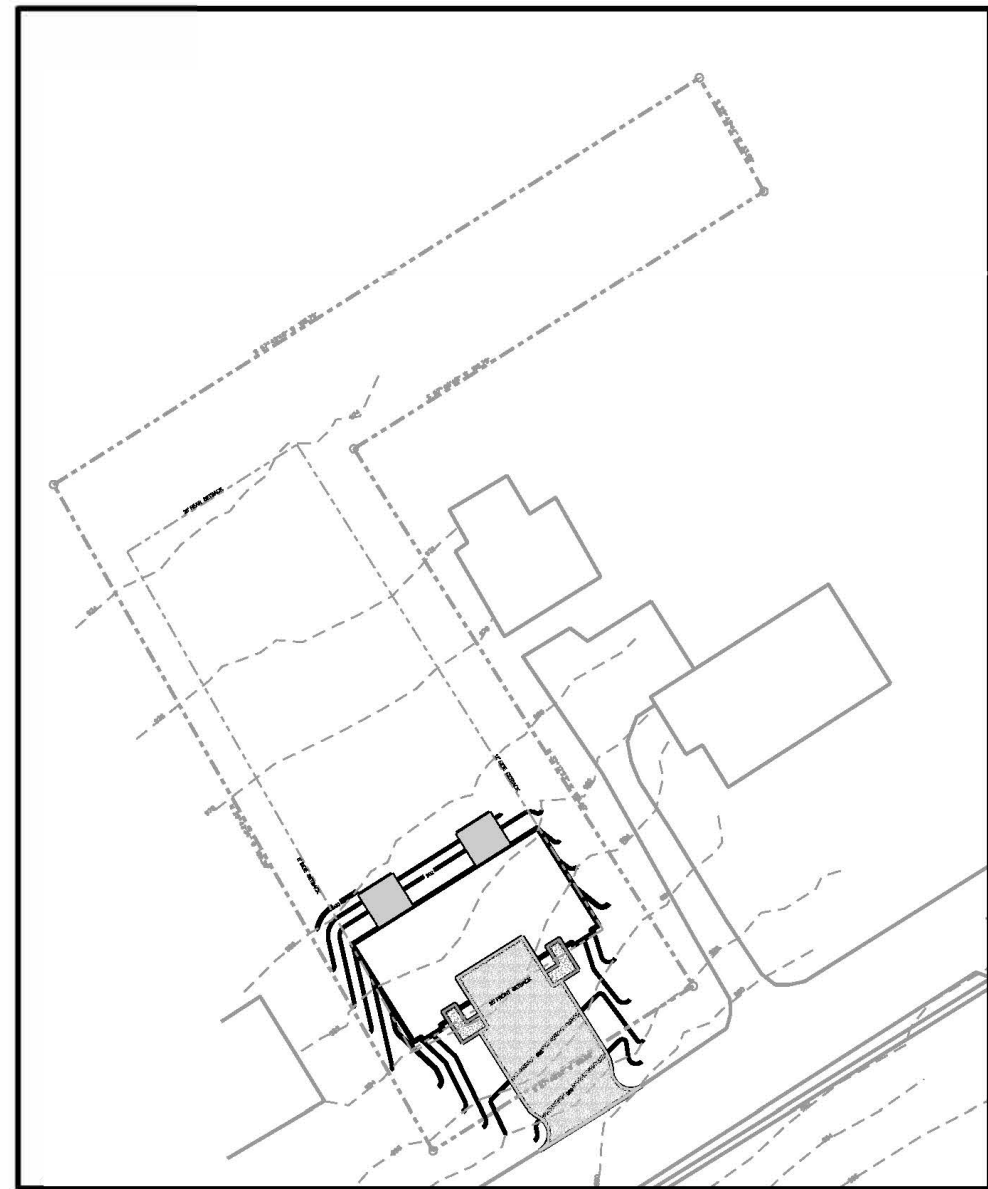
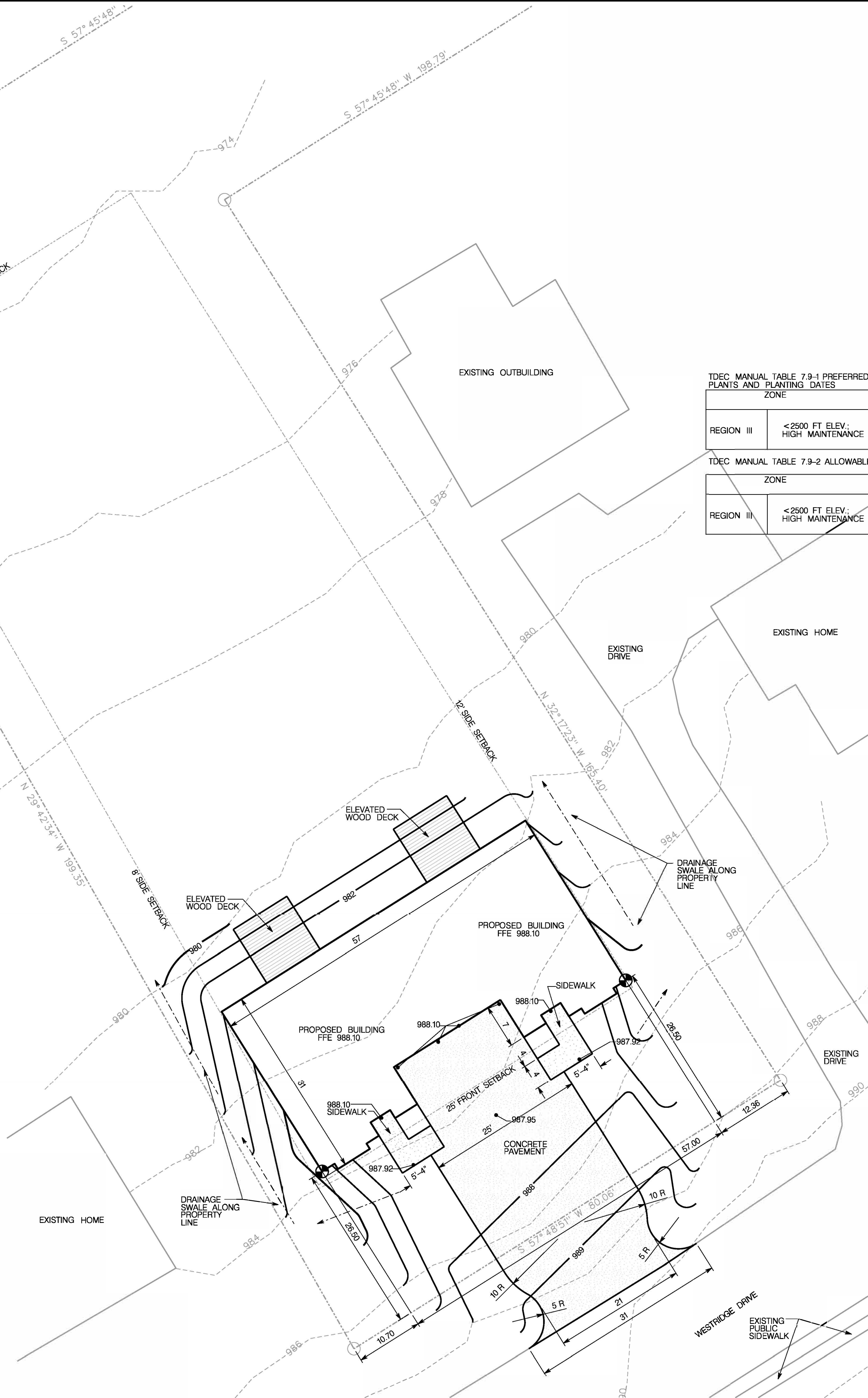


2-G-24-SU  
01/18/2024



OVERALL PROPERTY MAP - SCALE: 1" = 50'



TDEC MANUAL TABLE 7.9-1 PREFERRED SEED MIXTURES USING NATIVES OR NATURALIZED PLANTS AND PLANTING DATES				
ZONE		BEST	MARGINAL	RATE MIX (LB/ACRE)
REGION III	<2500 FT ELEV.; HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	SEPT 1 - SEPT 15 APR 1 - JUNE 10	15 BROWNTOP MILLET (NURSE CROP) 45 RED FESCUE 45 HARD FESCUE 25 CHEWING FESCUE

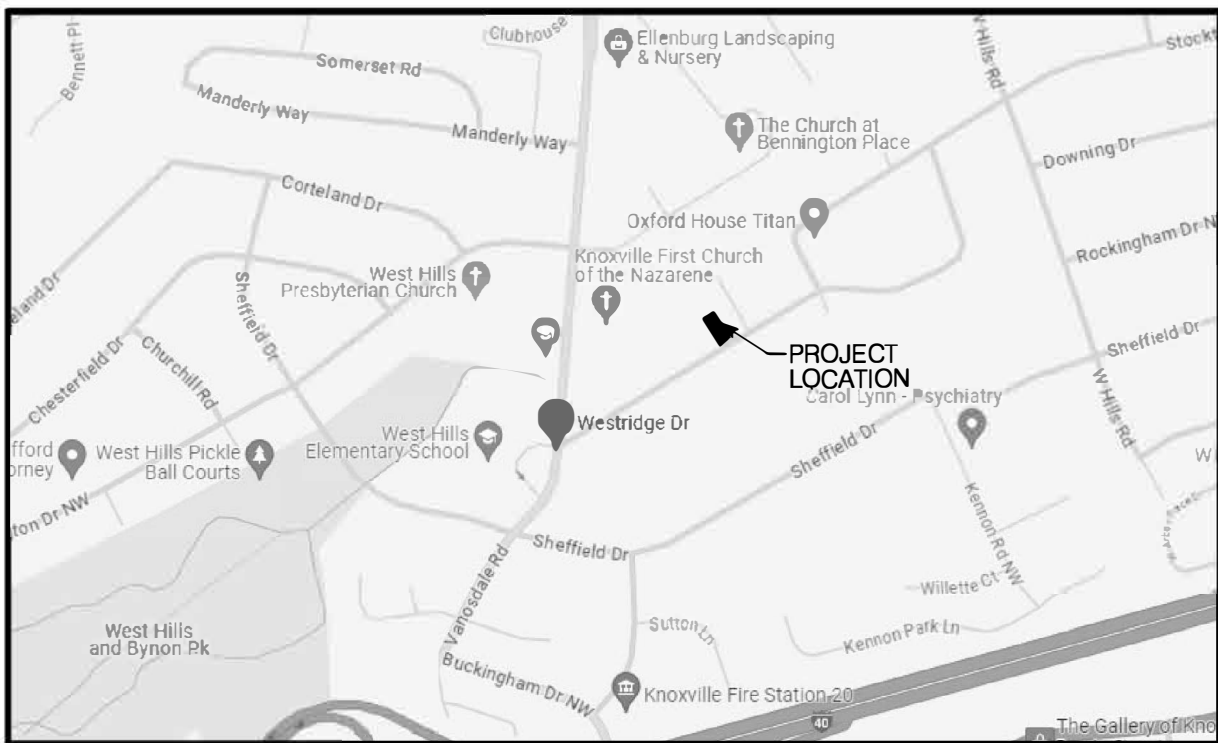
TDEC MANUAL TABLE 7.9-2 ALLOWABLE SEED MIXES AND PLANTING DATES				
ZONE		BEST	MARGINAL	RATE MIX (LB/ACRE)
REGION III	<2500 FT ELEV.; HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	JULY 25 - AUG 15 SEPT 1 - SEPT 15 APR 1 - MAY 10	200 KY 31 FESCUE

SITE LAYOUT NOTES

- USE: RESIDENTIAL, ZONING: RN-1, PARCEL 106NK01701
- TOTAL BUILDING AREA:
- TOTAL SITE: 0.44 AC, TOTAL DIST AREA: 0.12 AC, TOTAL NEW IMPERV: .07 AC
- DEED REFERENCE: 20230727-0004669 WARD: 47 BLOCK: 47130
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK DATUM NAVD 88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- SETBACKS:  
FRONT: 25'  
SIDE: 8' (NOT LESS THAN 20' COMBINED)  
REAR: 25'
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE 'MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION' ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED.

SITE GRADING NOTES

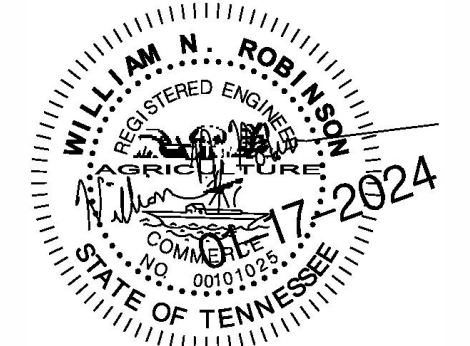
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP, AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
- THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN  $\pm 3\%$  OF OPTIMUM.
- THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
- ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
- NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE SITE INSPECTOR.



PROJECT LOCATION MAP - NOT TO SCALE

LEGEND:		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RIP RAP

**WILL ROBINSON**  
**& ASSOCIATES**  
1248 N. Shorewood Ln  
Caryville, TN 37714  
(865) 386-4200  
will@wracivil.com



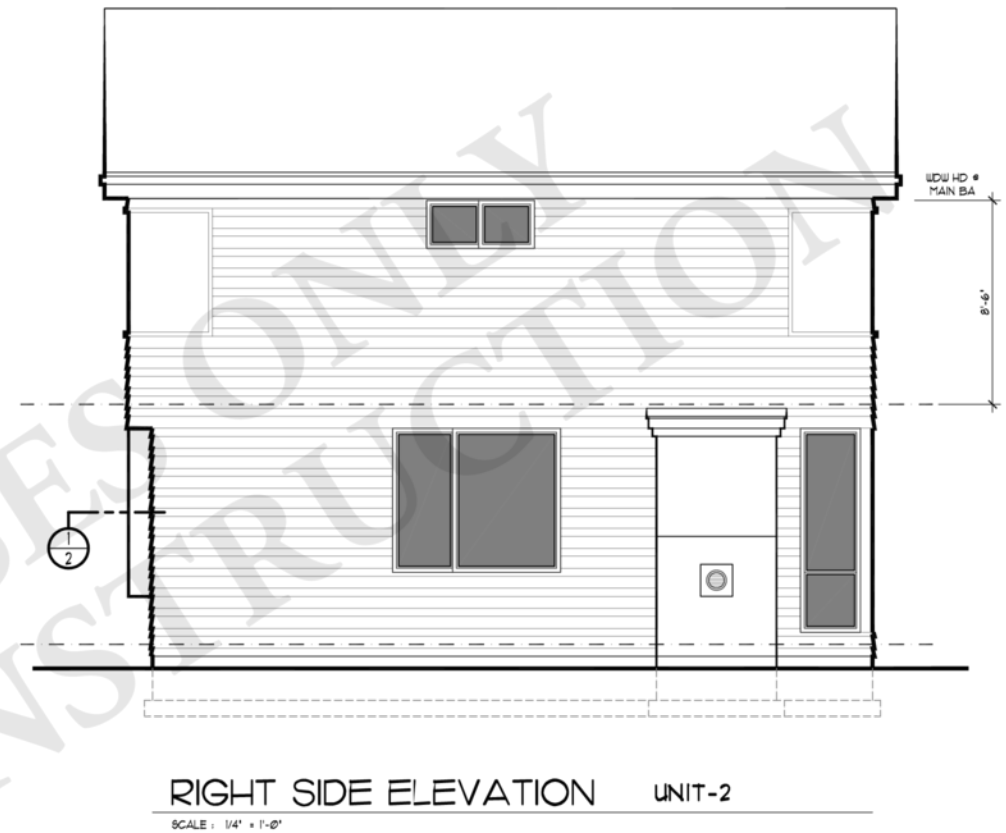
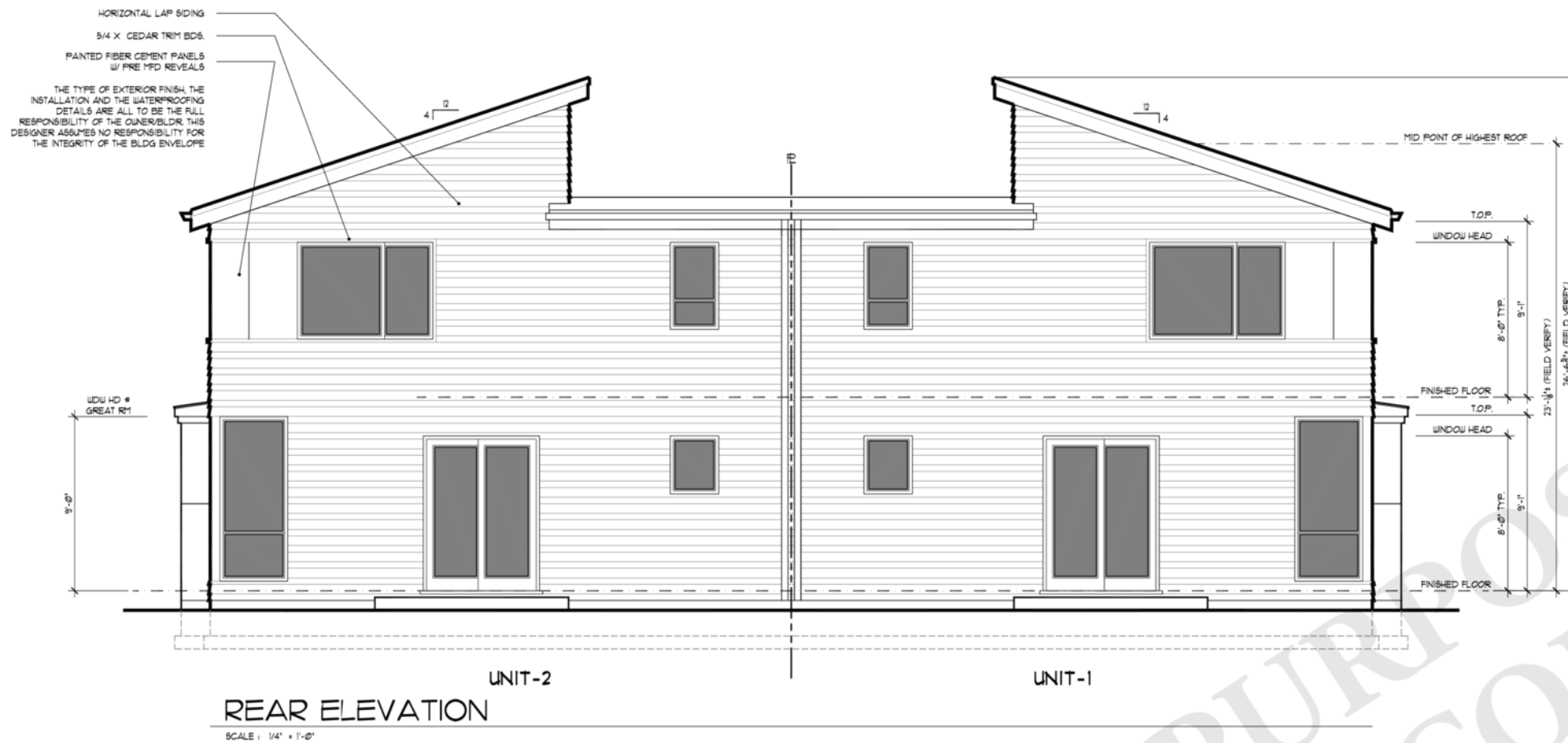
2-G-24-SU  
A Site Plan for:  
**Maple Lane Homes Duplex**  
7413 Westridge Drive  
Knoxville, Tennessee

REVISIONS:  
01-17-2024 PLANNING COMM

DRAWN: WNR  
CHECKED: WNR  
DATE: 12/20/2023  
FILE NAME:  
PROJECT NO:

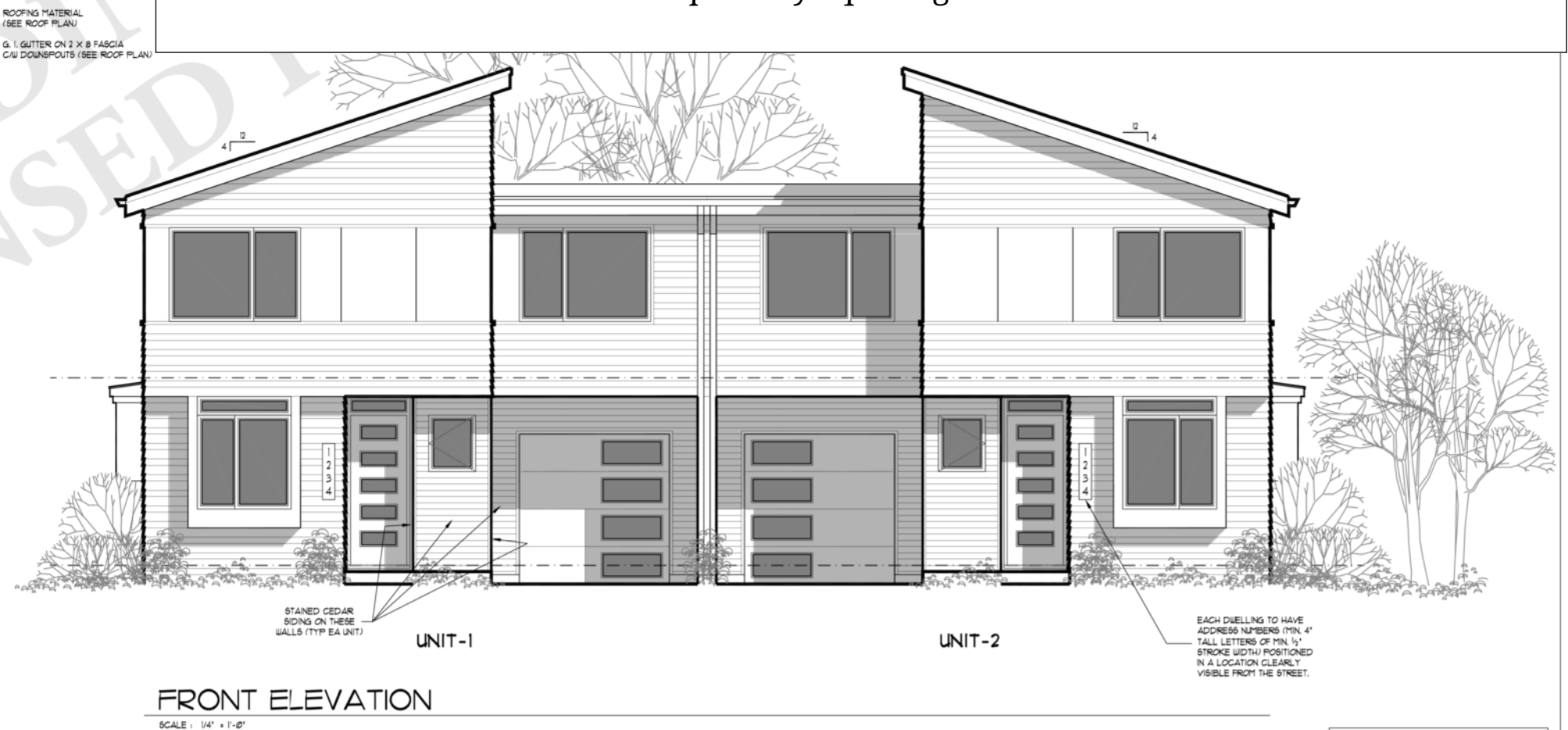
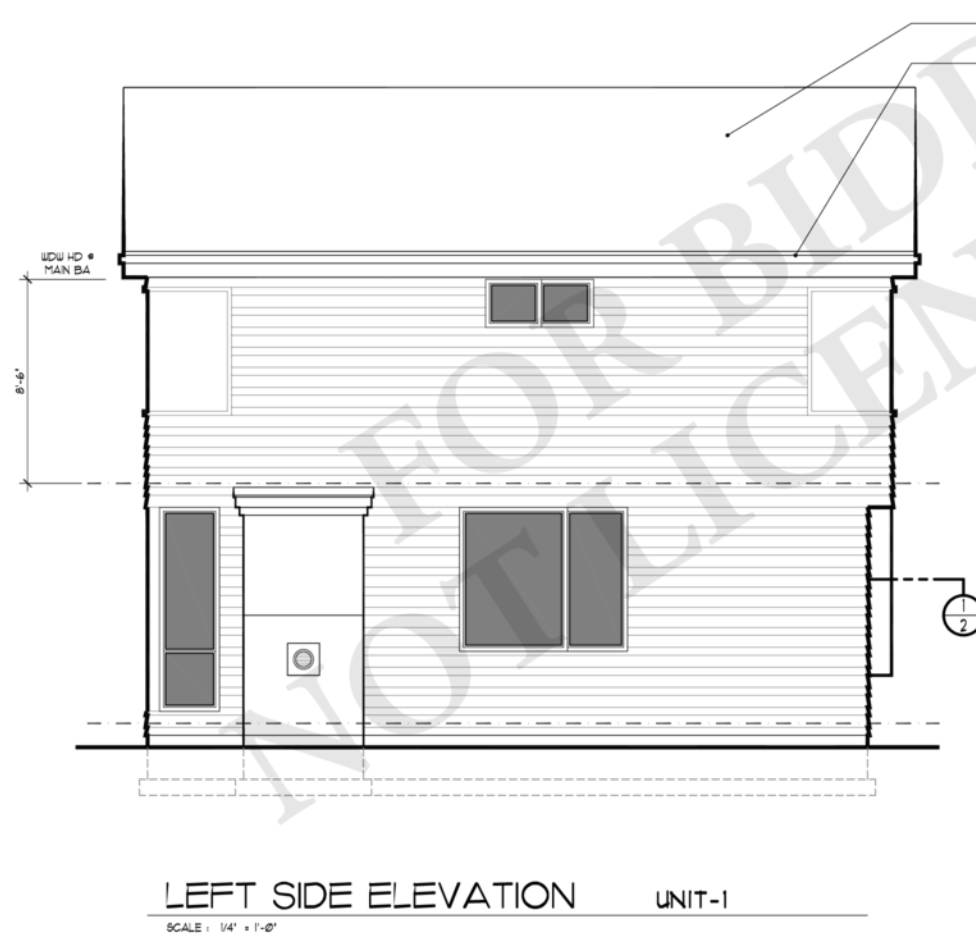
**C1.1**  
SITE PLAN  
DRAWING



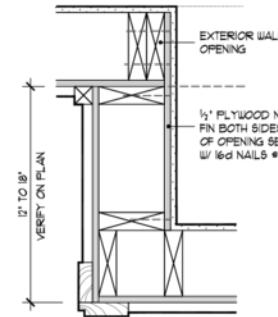
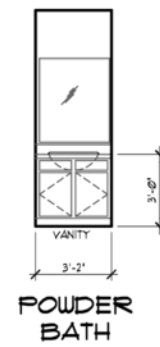
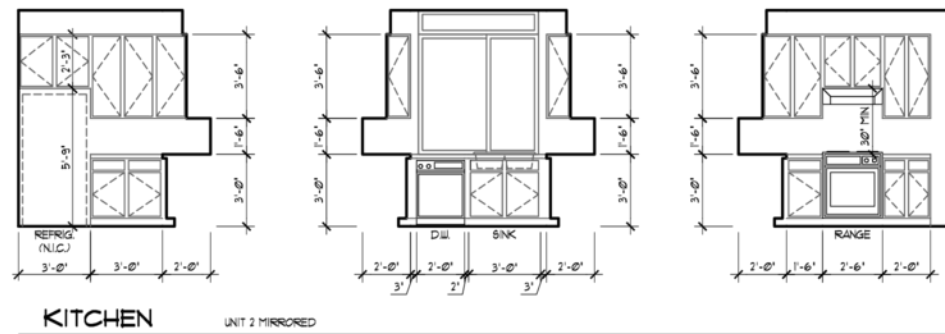


The front facade contains approximately 1250 sf.

Utilizing only the windows (excluding any transparency in the front door or garage door) the front facade contains 215 sf of transparency equating to 17.2%



EACH UNIT	859 SQ. FT.
UPPER FLOOR	548 SQ. FT.
MAIN FLOOR	548 SQ. FT.
TOTAL AREA	1408 SQ. FT.
GARAGE AREA	+ 253 SQ. FT.



LEGEND		
RECESSED LIGHT	DUPLEX OUTLET	BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)
RECESSED DIRECTIONAL LIGHT FIXTURE	CEILING MOUNTED DUPLEX OUTLET	4 X 4 POST FROM ROOF HIP VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45° FROM VERT.)
WALL MOUNTED LIGHT	220V OUTLET	BEARING WALL SUPPORTING STRUCTURE ABOVE
SURFACE-MOUNT LIGHT	FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)	4 X 10 HDR. # BEARING WALL INT. DOOR 4 OPENINGS W/ MIN (2) 2 X SUPPORT EA END (UNO.)
FLOOD LIGHT	TELEPHONE OUTLET	DROPPED STRUCT. MEMBER BEARING # WALL
SURFACE-MOUNT FLUORESCENT	DATA OUTLET	
RECESSED EXHAUST FAN VENTED TO THE EXTERIOR	TELEVISION OUTLET	
CEILING FAN	SPEAKER LOCATION	
	SMOKE / CO DETECTOR (SEE 'GENERAL NOTES' FOR OTHER SPECS)	
	POINT LOAD FROM ABOVE	

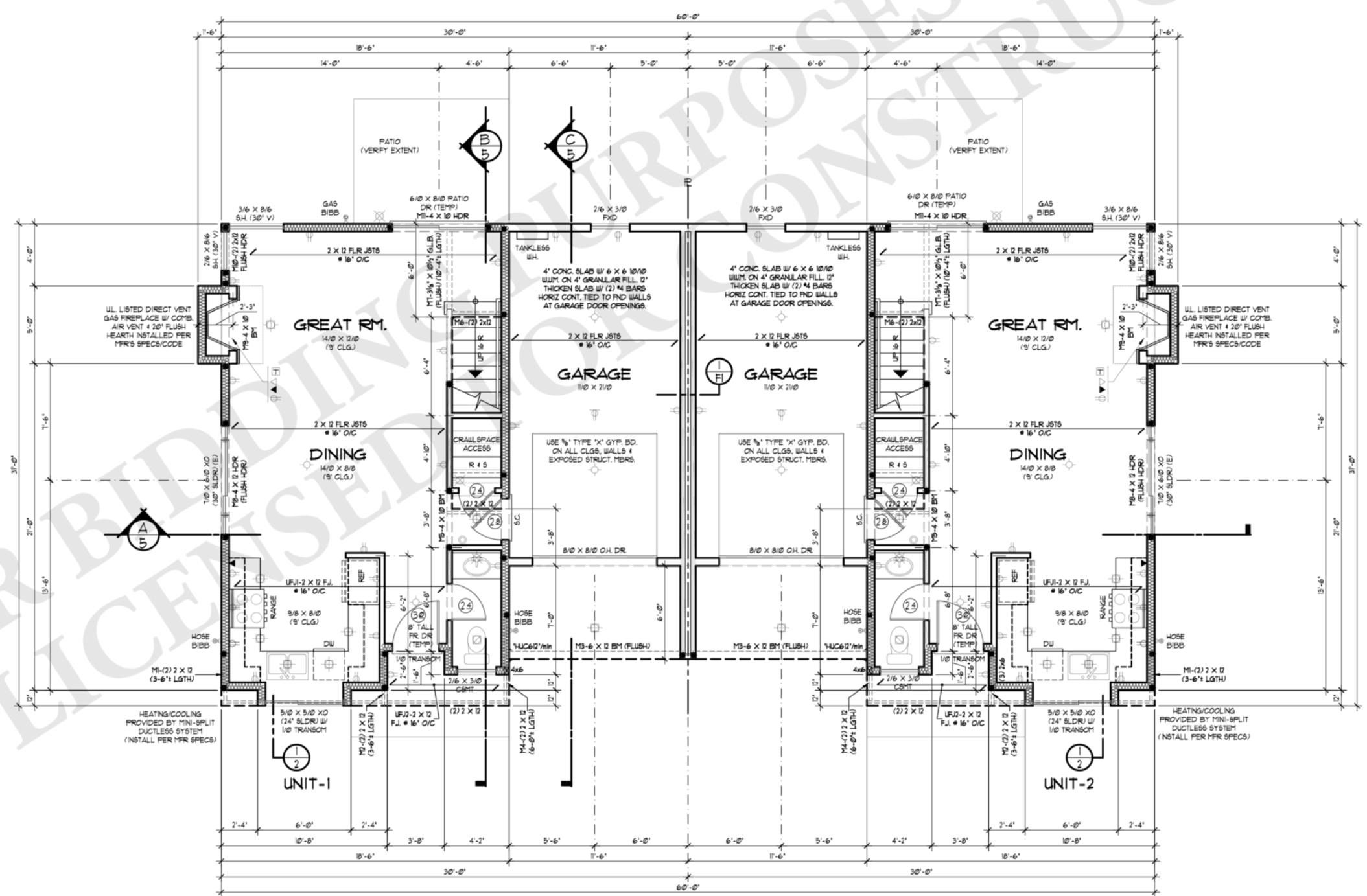
5-FLORIDA 07/18/2016

ENERGY ENVELOPE KEY	
WALL, FLR, CLG. INSUL.	
FOUNDATION INSUL.	
(SEE SHEET 'S' FOR INSULATION VALUES)	

C.O. DET LOCATION	
CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS	
(SEE SHEET 'S' FOR ADD'L INFO)	

## CABINET ELEVATIONS

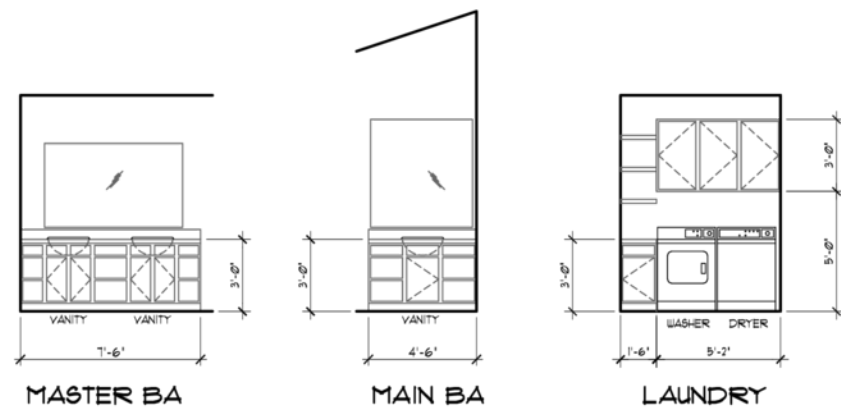
SCALE: 1/4" = 1'-0"



IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS

25# SNOW LOAD	
EACH UNIT	859 SQ. FT.
UPPER FLOOR	548 SQ. FT.
MAIN FLOOR	1408 SQ. FT.
TOTAL AREA	253 SQ. FT.
GARAGE AREA	253 SQ. FT.

4046  
2



## CABINET ELEVATIONS

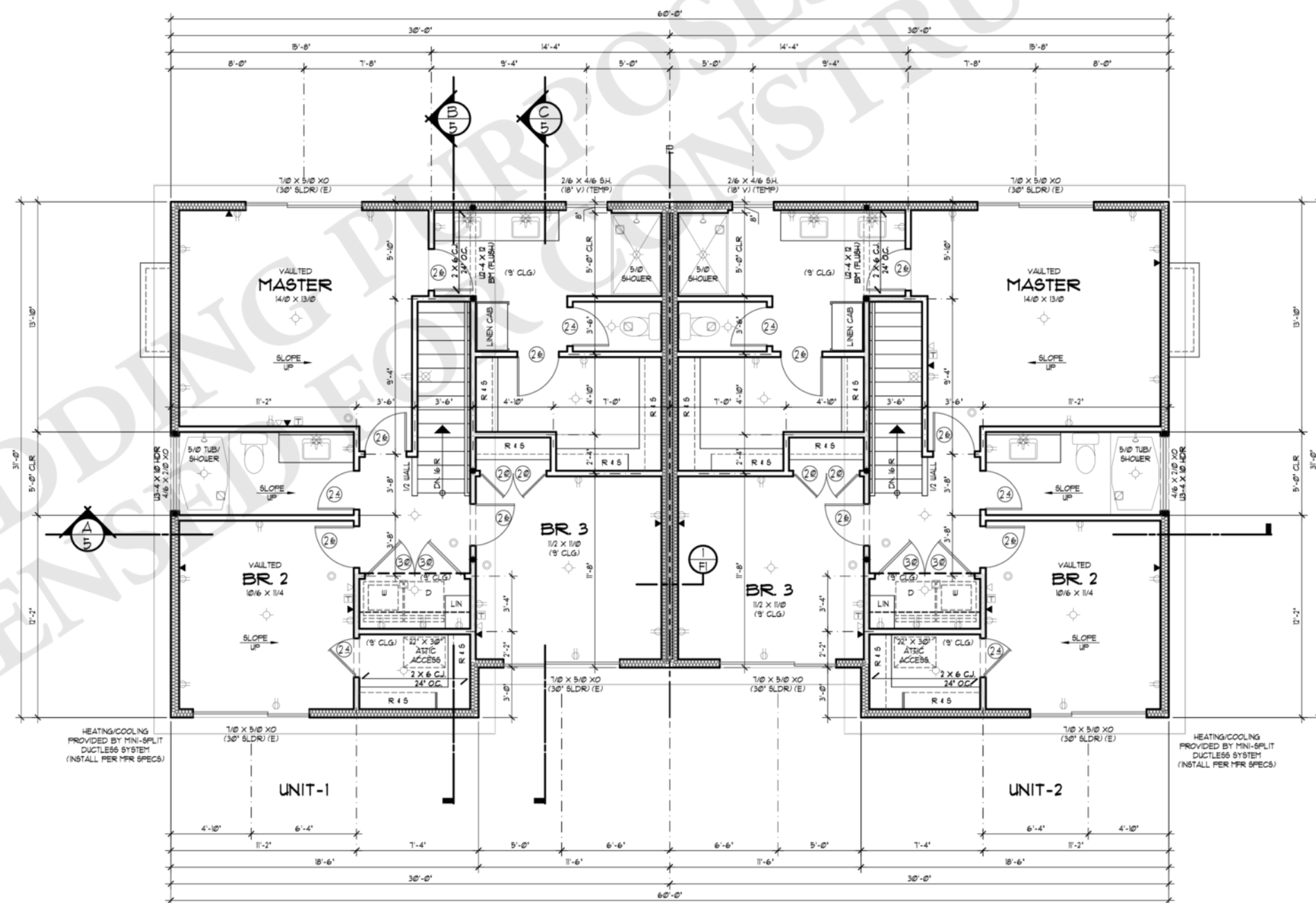
SCALE: 1/4" = 1'-0"

LEGEND		
RECESSED LIGHT	DUPLEX OUTLET	BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNO.)
RECESSED DIRECTIONAL LIGHT FIXTURE	CEILING MOUNTED DUPLEX OUTLET	4 X 4 POST FROM ROOF HIP VALLEY OR RIDGE DOWN TO BEARING POINT ON WALL BELOW (MAX. OF 45° FROM VERT.)
WALL MOUNTED LIGHT	220V OUTLET	BEARING WALL SUPPORTING STRUCTURE ABOVE
SURFACE-MOUNT LIGHT	FLUSH FLOOR MOUNTED OUTLET (VERIFY LOC.)	4 X 10 HDR. # BEARING WALL INT. DOOR 4 OPENINGS W/ MIN (2) 2 X SUPPORT EA END (UNO.)
FLOOD LIGHT	TELEPHONE OUTLET	DROPPED STRUCT. MEMBER BEARING # WALL
SURFACE-MOUNT FLUORESCENT	DATA OUTLET	
RECESSED EXHAUST FAN VENTED TO THE EXTERIOR	TELEVISION OUTLET	
CEILING FAN	SPEAKER LOCATION	
	SMOKE / CO DETECTOR (SEE 'GENERAL NOTES' FOR OTHER SPECS.)	
	POINT LOAD FROM ABOVE	

(E) = EGRESS WINDOW

ENERGY ENVELOPE KEY	
WALL, FLR./CLG. INSUL.	
FOUNDATION INSUL.	
(SEE SHEET 'IS' FOR INSULATION VALUES)	

C.O. DET. LOCATION	
CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR, AT EVERY FLOOR LEVEL W/ BEDROOMS (SEE SHEET 'IS' FOR ADD'L INFO.)	



## UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

IF LATERAL ENGINEERING IS REQUIRED, REFER TO ENGINEERING SHEETS FOR LATERAL SPECIFICATIONS