

1st Floor

2-I-25-DP

Revised 1/21/2025



REVISION TABLE	NUMBER	DATE	REVISION DESCRIPTION

KURB CONSTRUCTION

JOSH LEE

DRAWINGS PROVIDED BY:
MIKE SUTTON

DATE:

12/12/2024

SCALE:

SHEET:



REVISION TABLE	REVISION BY	DESCRIPTION

KURB CONSTRUCTION

JOSH LEE

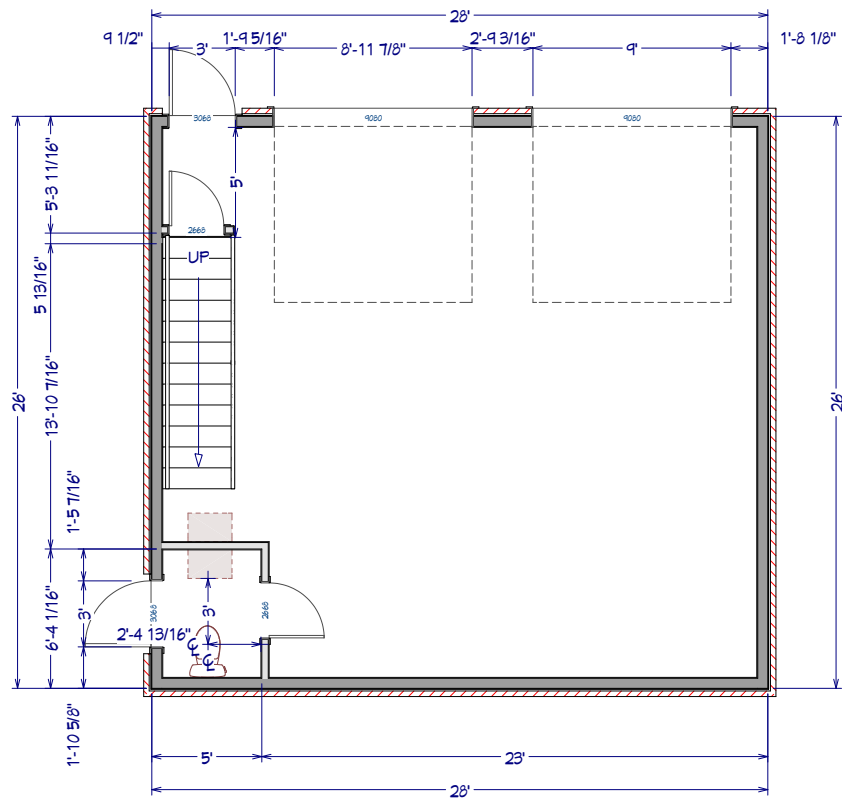
DRAWINGS PROVIDED BY:
MIKE SUTTON

DATE:
12/12/2024

SCALE:

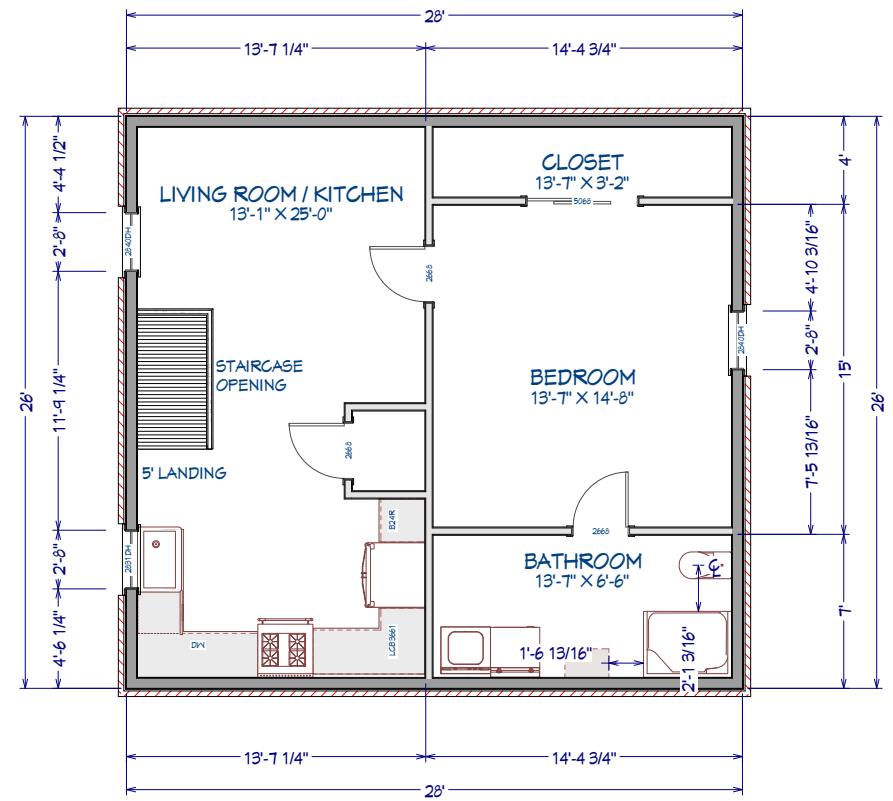
SHEET:
P-1

2-I-25-DP
Revised 1/21/2025



LIVING AREA
728 SQ FT

1st Floor



LIVING AREA
728 SQ FT

2nd Floor



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KURB CONSTRUCTION

JOSH LEE

DRAWINGS PROVIDED BY:
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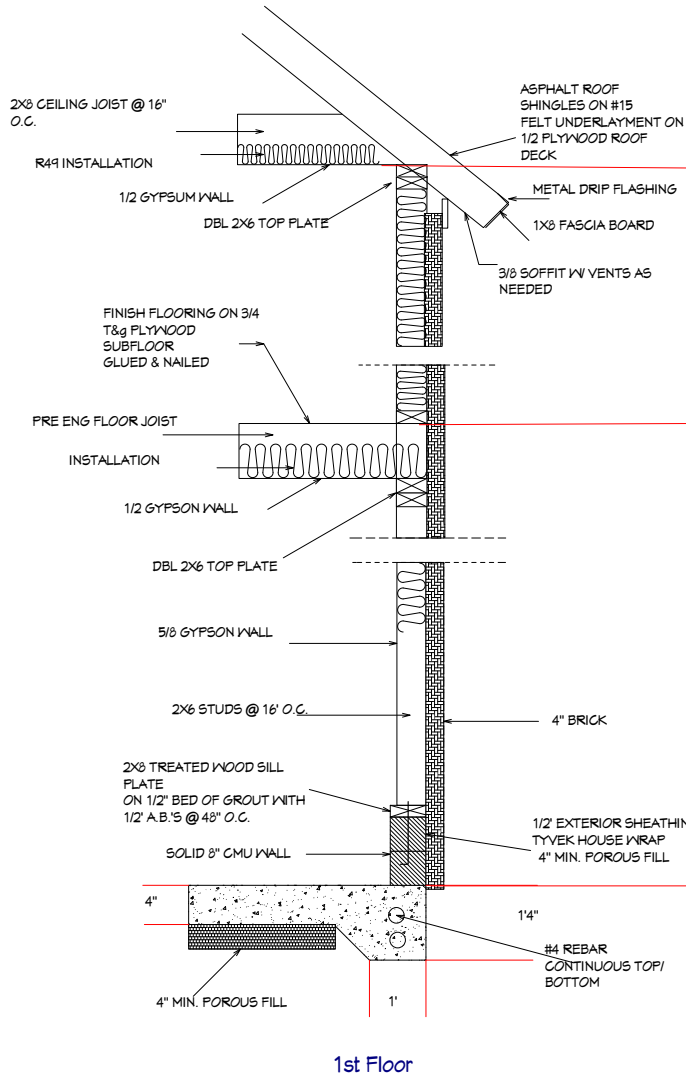
Peak

25'

18'

10'

0'



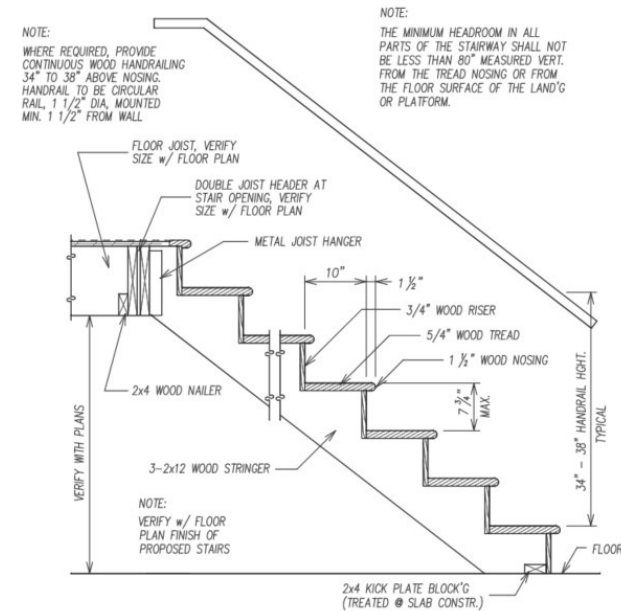
1st Floor

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Notes-

1. Smoke alarms to be provided in accordance with IRC Section R314
2. Carbon Monoxide Alarms installed in accordance with IRC Section R315 -R315.3
3. Radon Mitigation shall be provided in accordance with 2018 IRC Appendix F Radon Control methods



TYPICAL STAIR DETAIL

2-I-25-DP



Brick will match current house

Saddlebrooke Homeowners Association, Inc.

P.O. Box 70742

Knoxville, TN 37938-0742

Email: Questions@saddlebrookesubdivision.com

January 16, 2025

Mr. Josh Lee
7531 Willow Spring Dr.
Knoxville, TN 37938

RE: Garage Construction

Dear Josh,

The Saddlebrooke Homeowner's Association (SHA) has reviewed your request for approval to construct a detached garage with a second-story living space on your property. Based on the information you provided, the SHA grants approval for construction.

As a reminder, the structure must be constructed according to the current Declaration of Restrictions for Saddlebrooke Subdivision.

If you have any questions or need any additional information, please feel free to contact the SHA anytime.

Sincerely,



Michael Mowery
SHA President