

VICINITY MAP

LEGEND

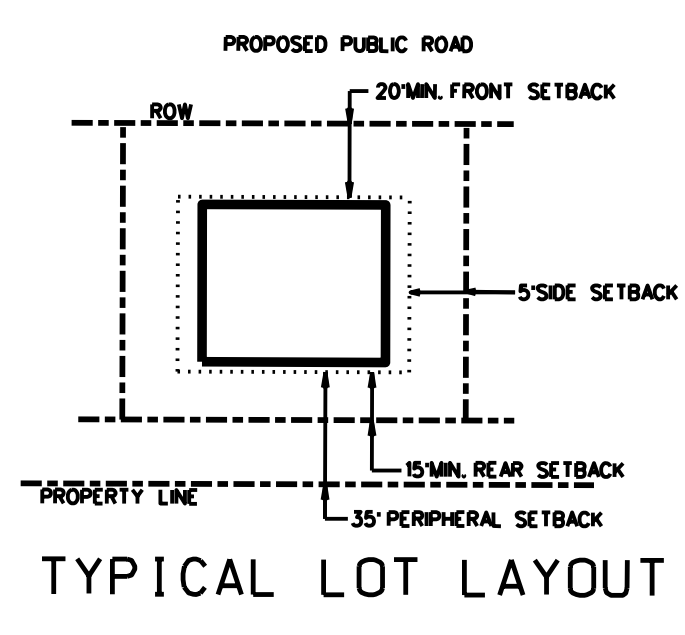
- (F) MONUMENTATION FOUND (OLD)
- IPF IRON PIN FOUND (OLD)
- IPS IRON PIN SET (NEW)
- EASEMENT
- x- FENCE
- c- CENTERLINE PAVEMENT
- #PP UTILITY OR POWER POLE
- ⊙ SANITARY SEWER MANHOLE
- SA- SANITARY SEWER
- W- WATER
- OVERHEAD ELECTRIC
- BOUNDARY LINES
- PARCEL / ZONING LINES
- BUILDING SETBACK
- █ HEAVY DUTY PAVEMENT
- ▼ SIGN

SITE DATA

EXISTING:
 ZONING: A (PR PENDING)
 DENSITY: 3.0 UNITS PER ACRE (PENDING)
 SETBACKS (PR):
 FRONT - 20'
 SIDE - 5'
 REAR - 35'
 PERIPHERAL - 35'

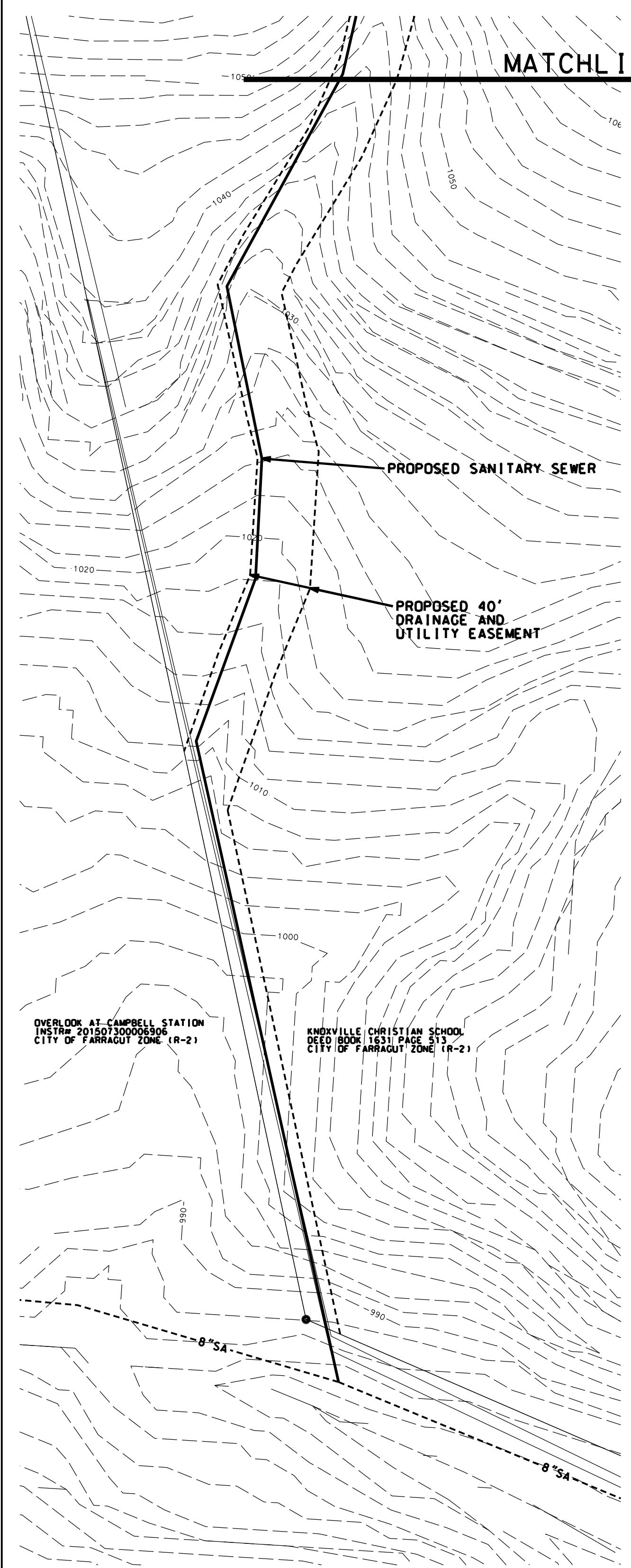
PROPOSED:
 AREA: 18.62 ACRES
 DENSITY: 55 LOTS AT 2.96 UNITS PER ACRE
 PARKING:
 2 GARAGE SPACES PER LOT

GENERAL NOTES:
 THIS PLAN IS TO SHOW THE CONCEPT PLAN FOR A PROPOSED SINGLE FAMILY SUBDIVISION ONLY.
 BOUNDARY TAKEN FROM DEED TOPOGRAPHY TAKEN FROM KGIS AERIAL TOPO AT 2' CONTOUR INTERVAL.
 PROPERTY IS ENTIRELY WOODED.
 FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION.
 WATER AND SEWERAGE CONNECTIONS PROVIDED BY FIRST UTILITY DISTRICT. UTILITIES SHOWN FOR LOCATION ONLY. SEE WATER AND SEWER PLANS FOR DETAIL.
 THE CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING UTILITIES (INCLUDING STORM DRAINAGE PIPES OR STRUCTURES) BEFORE COMMENCEMENT OF CONSTRUCTION.
 ALL ROADS TO BE DEDICATED PUBLIC RIGHT-OF-WAYS.
 ALL LOTS TO HAVE INTERNAL SUBDIVISION ACCESS ONLY.
 ALL LOTS TO HAVE 2 CAR GARAGE.

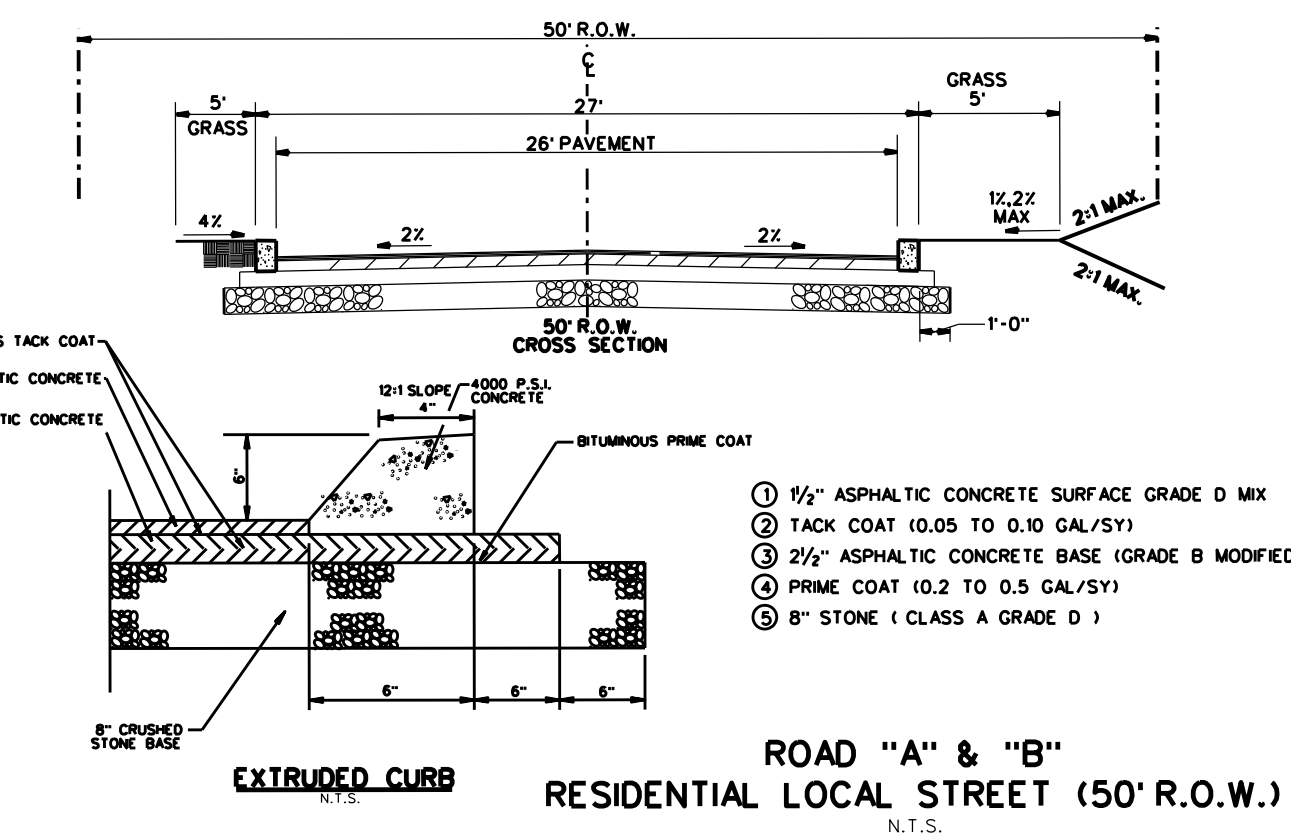


CERTIFICATION OF CONCEPT PLAN
 I HEREBY CERTIFY THAT I AM A SURVEYOR, LICENSED TO DO SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

Scott Williams
 SURVEYOR
 TENNESSEE CERTIFICATE NO. 1914



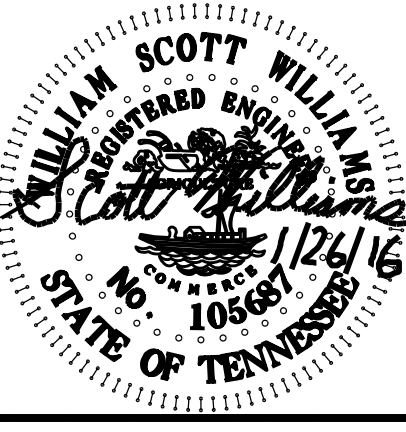
MATCHLINE



2-SD-16-C / 2-I-16-UR
 Revised: 1-27-2016

NO.	DATE	DESCRIPTION	BY
1	1/28/16	IFC COMMENTS	

CONCEPT PLAN OF:
 BLACK ROAD S/D
 BLACK ROAD DISTRICT 6
 KNOX COUNTY, TENNESSEE
 CLT MAP 130 PARCEL 129



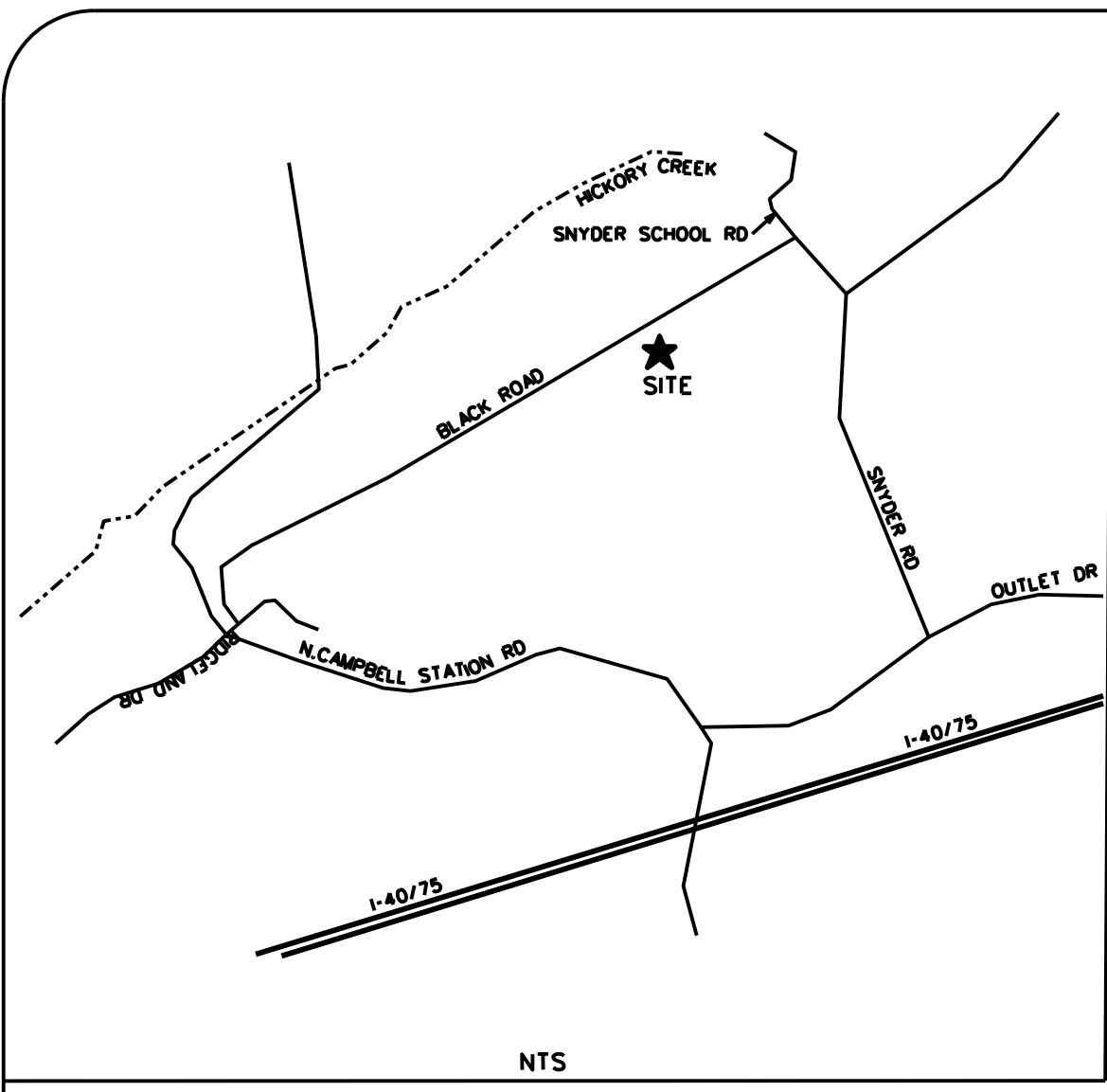
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 615-763-8855 FAX 615-763-1680

ORIGINAL ISSUE:
 DEC. 28, 2015

SHEET NO.
 C1

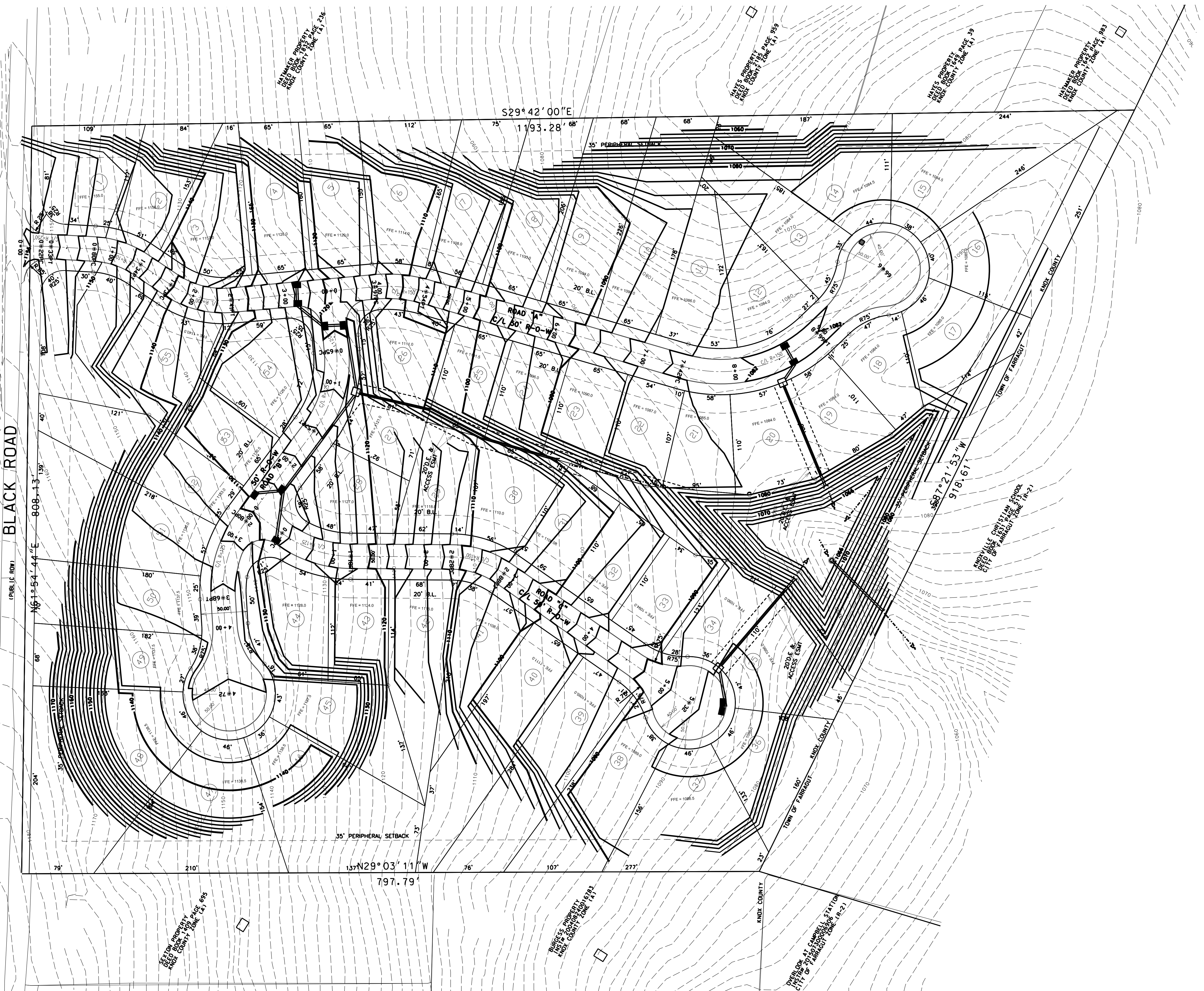
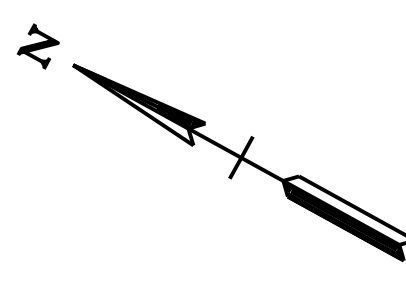
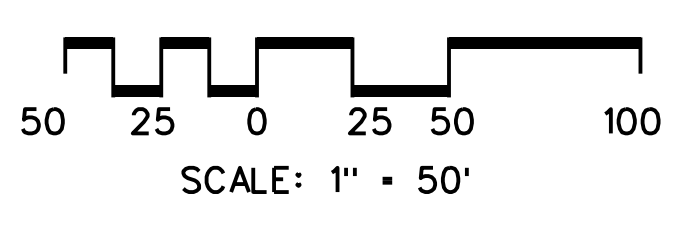
JOB NO. 1640



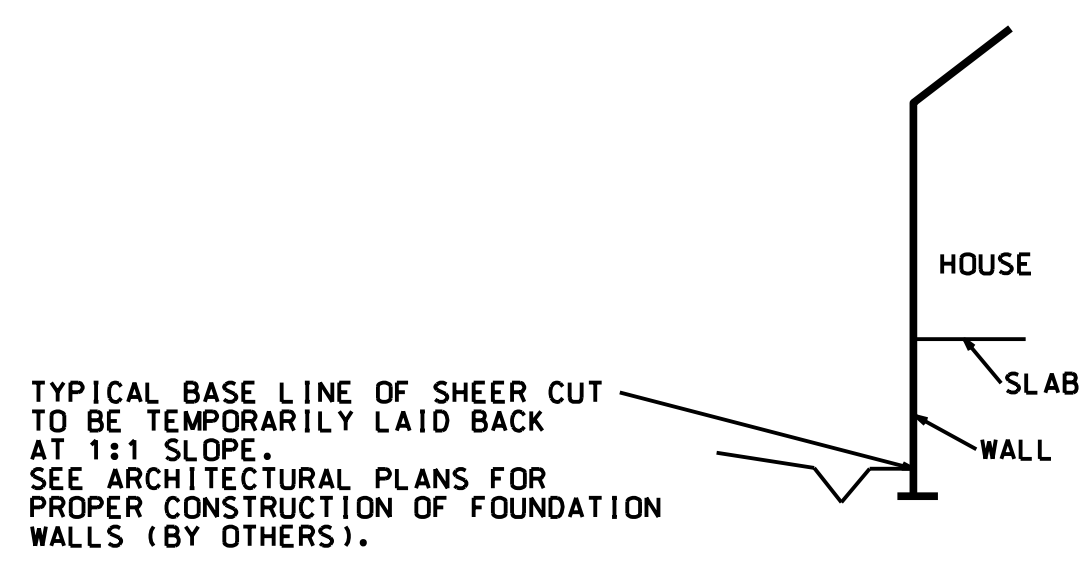
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- PARCEL/ZONING LINES
- BUILDING SETBACK
- STORM SEWER
- ▣ CATCH BASIN
- ▲ CONCRETE HEADWALL
- PROPOSED FINISHED GRADE CONTOUR
- 926+9 PROPOSED FINISHED GRADE ELEVATION
- PROPOSED DRAINAGE SWALE/DITCH



NOTES:
 THIS PLAN IS TO SHOW PRELIMINARY ROAD DESIGN AND DRAINAGE FEATURES.
 DESIGN PLANS ARE TO BE APPROVED BY KNOX COUNTY ENGINEERING PRIOR TO CONSTRUCTION.

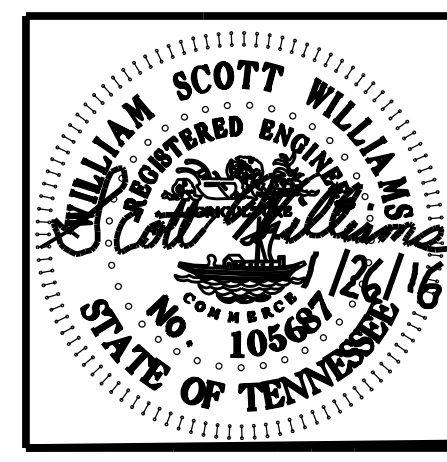


- GRADING NOTES (SEE SWP1-4 FOR EROSION CONTROL NOTES):
- SUBGRADE FOR PAVED AND PAD AREAS SHALL BE 1.0 FOOT AND 8", RESPECTIVELY, BELOW FINISHED GRADE AND COMPACTED TO STANDARD PROCTOR ASTM D699. FILL SHALL BE ROCK OR SUITABLE SOIL ONLY. PLACED IN LIFTS OF 8" OR LESS FOR SOIL AND 2' OR LESS FOR ROCK. A GEOTECHNICAL ENGINEER SHOULD BE USED FOR COMPACTION TESTING. A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERSEDE THE ABOVE RECOMMENDATIONS.
 - ALL SLOPES TO BE 2:1 H:1 V UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 2:1 H:1 V.
 - FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND PERMITS OBTAINED PRIOR TO CONSTRUCTION. PLAN SUBJECT TO CHANGE PER COMMENTS BY REVIEW AGENCIES.
 - THE CONTRACTOR SHALL NOTIFY ENGINEER OF VARIANCES FROM EXISTING CONDITIONS PRIOR TO DISTURBANCES.
 - ALL GRADING AND DRAINAGE ORDINANCES AND SPECIFICATIONS OF KNOX COUNTY SHALL BE FOLLOWED INCLUDING ALL OSHA REQUIREMENTS.
 - NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES. TREES, STUMPS, ROOTS, DEBRIS, JUNK, AND OTHERWISE DELETERIOUS MATERIAL SHALL NOT BE BURIED OR DISPOSED OF ON SITE.
 - TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS. STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM OF 4". A SOIL REPORT BY A LICENSED GEOTECHNICAL SHALL SUPERSEDE THE ABOVE RECOMMENDATIONS. THE SOIL IS TO BE STOCKPILED IN THE LOCATIONS AS DESIGNATED BY THE OWNER. EXCESS TOPSOIL, DIRT, DEBRIS, ETC. SHALL BE HAUL-ED OFF.
 - A STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED FOR THIS SITE AND SHALL BE FOLLOWED AT ALL TIMES AND PRIOR TO ANY OTHER WORK.
 - THE GRADING CUT/FILL QUANTITIES ON THIS SITE ARE INTENDED TO BALANCE. IF HAUL-IN/OUT ARE REQUIRED, THE CONTRACTOR WILL CONTACT THE ENGINEER AND REQUEST A PLAN ADDENDUM PRIOR TO ANY HAULING. ALL OFFSITE BORROW AND WASTE SITES REQUIRE COUNTY APPROVAL.

2-SD-16-C / 2-I-16-UR
 Revised: 1-27-2016

NO.	DATE	DESCRIPTION	BY
1	1/28/16		

PRELIMINARY GRADING, DRAINAGE PLAN
BLACK ROAD S/D
 BLACK ROAD
 KNOX CO., TENNESSEE
 DISTRICT 6
 C.L.T. MAP 130 PARCEL 129



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