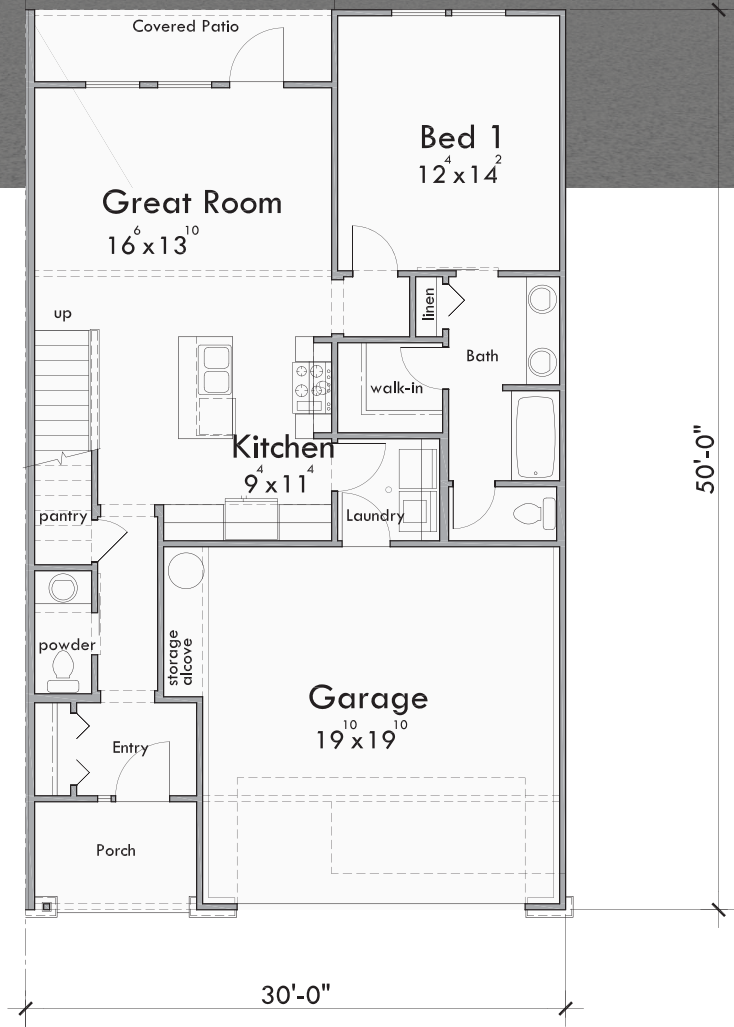
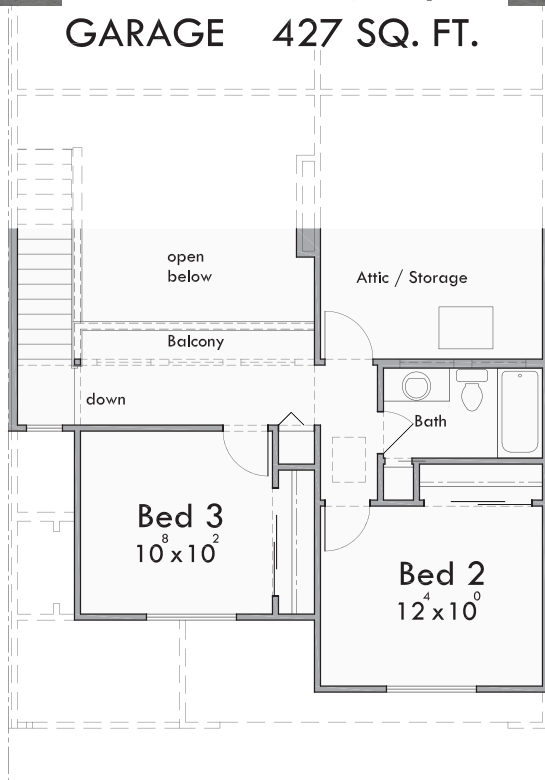




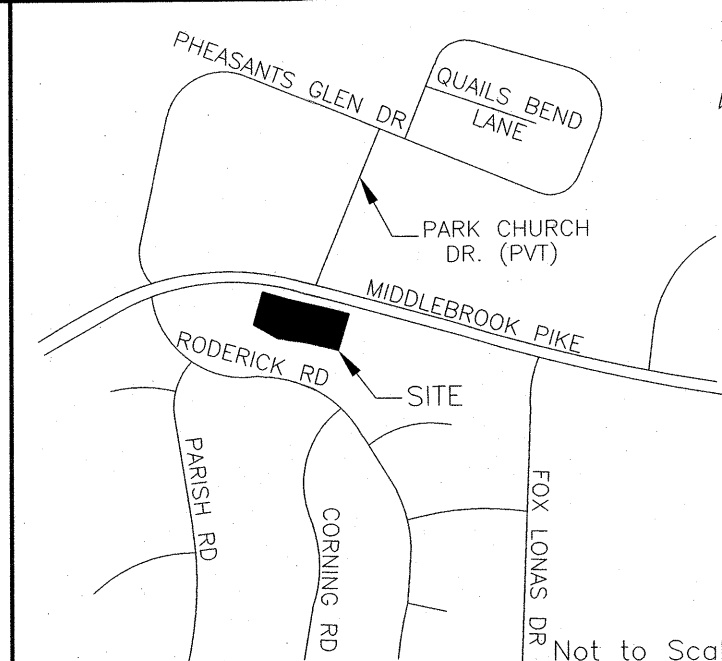
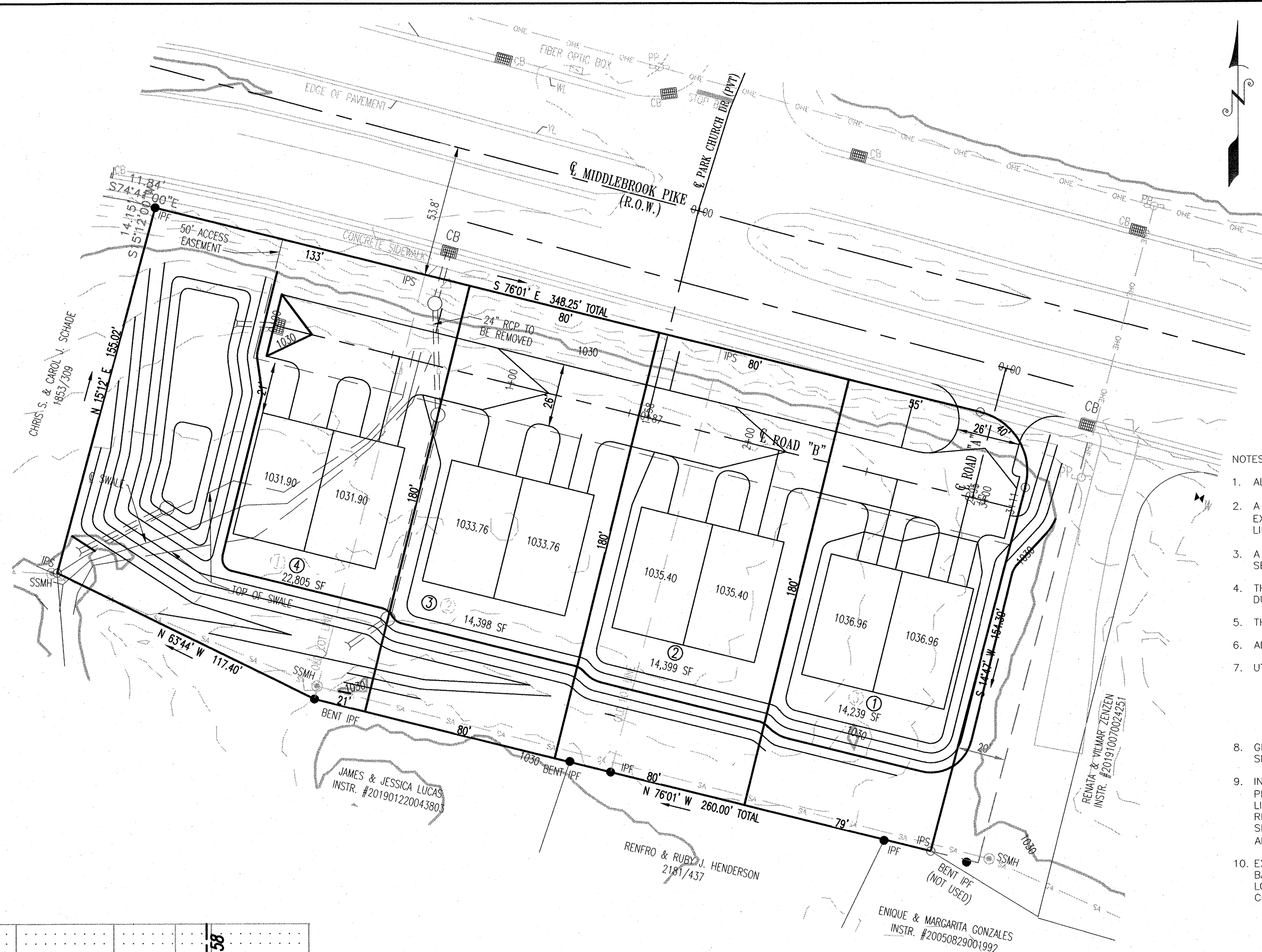
## PLAN #D-726

MAIN FLR. 948 SQ. FT.  
UPPER FLR. 461 SQ. FT.  
TOTAL 1409 SQ. FT.  
GARAGE 427 SQ. FT.





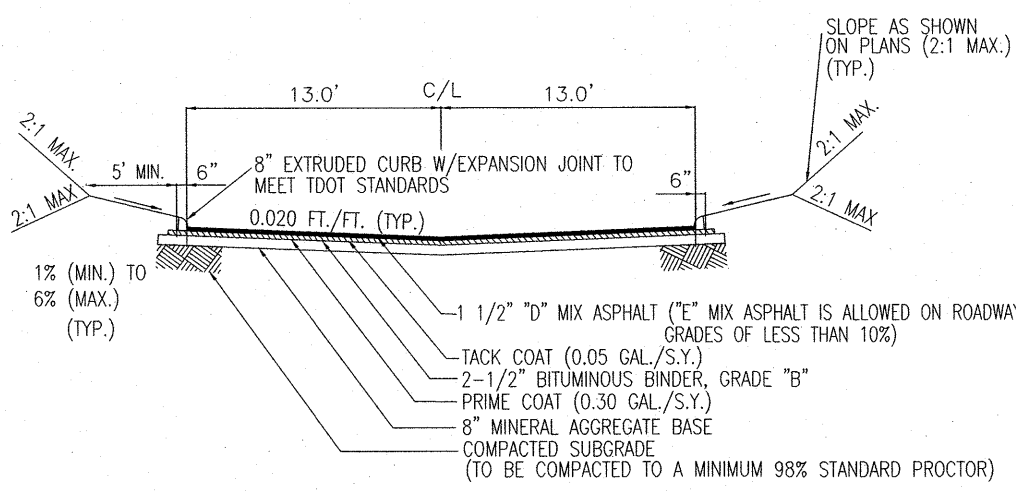
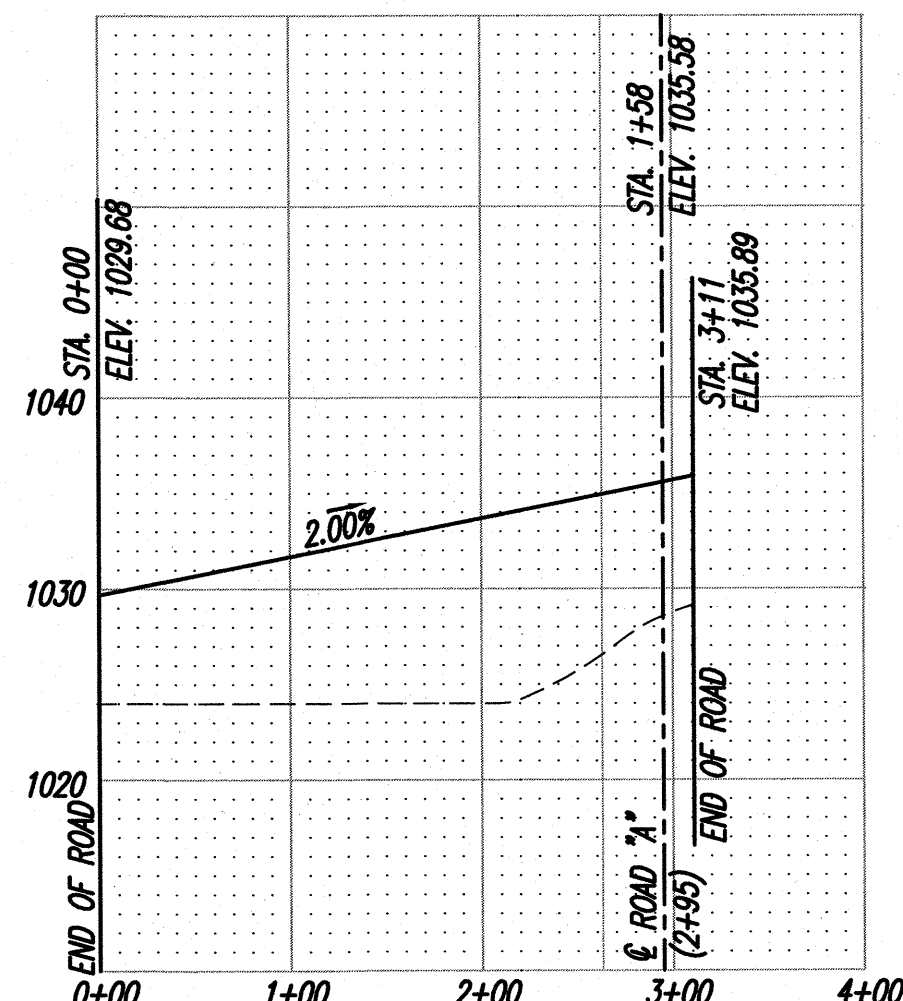
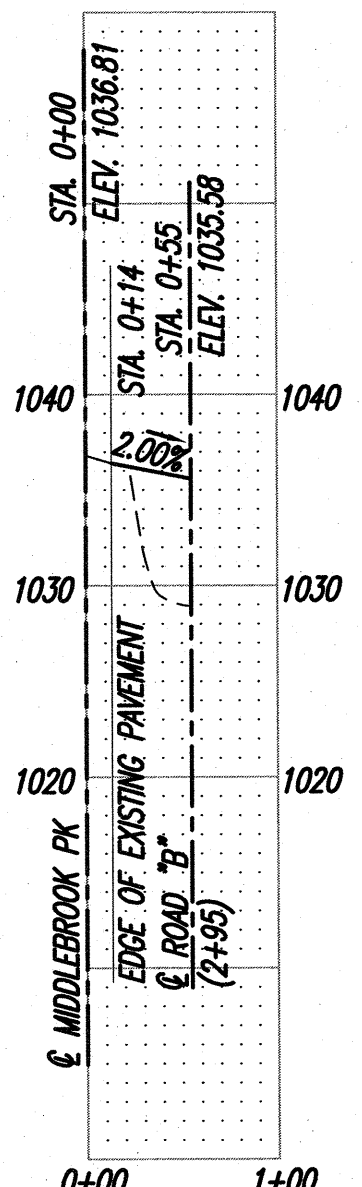
LEGEND	
● IPF	IRON PIN FOUND 1/2" DIA. REBAR
○ IPS	IRON PIN SET 1/2" DIA. REBAR W/ PLASTIC CAP
□ PRM	PERMANENT REFERENCE MONUMENT
— D.E.	DRAINAGE EASEMENT
— U.E.	UTILITY EASEMENT
— CA	COMMON AREA
□	CATCH BASIN
□	JUNCTION BOX
—	DRAINAGE EASEMENT
—	DRAINAGE PIPE (PROPOSED)
—	PERIPHERAL SETBACK
—	ROADWAY CENTERLINE
—	ZONING
—	FENCE
PPC	POWER POLE
WM	WATER METER
EB	ELECTRICAL BOX
SSMH	SANITARY SEWER MANHOLE
—	POWERLINE
—	GAS LINE
—	WATER LINE
—	SANITARY SEWER LINE



LOCATION MAP

- NOTES:
1. ALL DIMENSIONS ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAT.
  2. A 10' DRAINAGE, UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF INTERIOR ROAD LINES.
  3. A 15' UTILITY EASEMENT EXISTS 7.5' EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
  4. THIS PROPERTY CONTAINS APPROXIMATELY 1.512 ACRES SUBDIVIDED INTO 4 DUPLEX LOTS.
  5. THIS PROPERTY IS ZONED RA
  6. ALL ROAD PROFILES ARE BASED ON LIDAR CONTOURS.
  7. UTILITIES:  
WATER: WEST KNOX UTILITY DISTRICT  
SEWER: WEST KNOX UTILITY DISTRICT  
ELECTRIC: LENOIR CITY UTILITIES BOARD  
GAS: KNOXVILLE UTILITIES BOARD  
TELEPHONE: AT&T SOUTHEAST
  8. GEOTECHNICAL ENGINEER SHALL CERTIFY THE SLOPE STABILITY ON ALL FILL SLOPES.
  9. INTERSECTION SIGHT DISTANCE AT THE INTERSECTION OF THE PROPOSED PRIVATE DRIVEWAY AND MIDDLEBROOK PIKE (LOOKING WEST) IS CURRENTLY LIMITED DUE TO THE VEGETATION. ONCE THE VEGETATION WITHIN THE RIGHT-OF-WAY AND UPON THE CHEBAN PROPERTY IS REMOVED, ADEQUATE SIGHT DISTANCE CAN BE PROVIDED. SIGHT DISTANCE LOOKING EAST IS ADEQUATE (IN EXCESS OF 450 FEET).
  10. EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON AVAILABLE INFORMATION. CONTRACTOR IS RESPONSIBLE TO FIELD LOCATE ALL UTILITIES, BOTH HORIZONTALLY AND VERTICALLY PRIOR TO CONSTRUCTION.

3-A-23-UR  
Received 2/22/2023



CERTIFICATE OF CONCEPT PLAN  
I HEREBY CERTIFY THAT I AM AN ENGINEER, LICENSED TO DO ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE/KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED, DESCRIBED, AND JUSTIFIED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

David B. Harbin  
ENGINEER  
TENNESSEE CERTIFICATE NO. 101265

OWNER/DEVELOPER:  
DAVID CHEBAN  
5331 CAIN RD  
KNOXVILLE, TENNESSEE 37921  
PHONE: (865)

CONCEPT PLAN &  
ROAD PROFILES  
FOR  
CHEBAN PROPERTY  
MIDDLEBROOK PIKE  
TAX MAP 105KD, PARCELS 5, 6, & 7  
DISTRICT 6, KNOX COUNTY TN  
SCALE: 1" = 40' DATE: JANUARY 11, 2023  
REVISED: FEBRUARY 14, 2023

BATSON, HIMES, NORVELL & POE  
REGISTERED ENGINEERS & LAND SURVEYORS  
4334 PAPERMILL DRIVE  
KNOXVILLE, TENNESSEE 37909  
PHONE (865) 588-6472  
FAX (865) 588-6473  
email@bhn-p.com

REFERENCE DEED: INSTR. #202207220004979  
REFERENCE PLAT: DEED BOOK 35-S PAGE 46

25470-C

3-A-23-UR