

SYMBOL LEGEND

DETAIL CALLOUT

DRAWING NUMBER
SHEET NUMBER

ELEVATION MARKER

DIRECTION OF VIEW

DETAIL SECTION MARKER

EXTENT/ DIRECTION OF SECTION

BUILDING SECTION MARKER

EXTENT/ DIRECTION OF SECTION

INTERIOR ELEVATION MARKER

DIRECTION OF VIEW
SHEET NUMBER
ELEVATION NUMBER

NORTH INDICATOR

FLOOR PLAN TAGS

IDENTIFIER
WINDOW TYPE IF SCHEDULED

IDENTIFIER
DOOR TYPE IF SCHEDULED

IDENTIFIER, SIZE IN INCHES
WINDOW TYPE ON FLOOR PLAN

IDENTIFIER, DOOR TYPE
DOOR SIZE, IN INCHES, ON FLOOR PLAN

IDENTIFIER
PARTITION TYPE

ELEVATION MARKER

"XX'-XX" A.F.F.

SPOT ELEVATION

F.F.E. = FINISH FLOOR ELEVATION

REVISIONS

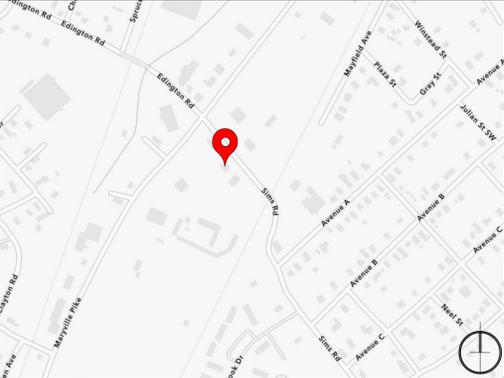
IDENTIFIER
REVISION NUMBER

REVISION SCOPE

GENERAL NOTES

- G1** READ (OR CALCULATE) DIMENSIONS FROM PUBLISHED PRINTS OF CONSTRUCTION DRAWINGS. DO NOT "SCALE" FROM DRAWINGS, IN EITHER THEIR PUBLISHED OR ELECTRONIC FORMS.
- G2** CONTRACTOR SHALL VERIFY EXISTING CONDITIONS & DIMENSIONS BEFORE BEGINNING CONSTRUCTION; ANY DISCREPANCIES MUST BE REPORTED TO OYSK3 ARCHITECTS FOR JUSTIFICATION AND/OR CORRECTION; CONTRACTOR ASSUMES RESPONSIBILITY FOR CONDITIONS THAT ARE NOT REPORTED.
- G3** CONTRACTOR SHALL FIELD-VERIFY COMPATIBILITY OF THE BUILDING WITH ALL SITE CONDITIONS: I.E., GRADES, ELEVATIONS, UTILITY LOCATIONS & INVERTS, OTHER EXISTING CONDITIONS, ETC.
- G4** ALL FOOTINGS MUST REST ON UNDISTURBED OR SUITABLE, COMPACTED SUBSOIL.
- G5** MANUFACTURED TRUSSES, BEAMS, & OTHER ENGINEERED BUILDING SYSTEMS MUST BE DESIGNED BY THE MANUFACTURER'S ENGINEER, WHO SHALL BE REGISTERED IN THE STATE OF TENNESSEE; STAMPED, APPROVED SHOP DRAWINGS SHALL BE ON-SITE BEFORE ERECTION BEGINS.

VICINITY MAP



ABBREVIATIONS

A/C	AIR CONDITIONING	MH	MANHOLE
ABV	ABOVE	MIN	MINIMUM
ACT	ACOUSTICAL CEILING TILE	MISC	MISCELLANEOUS
ADJ	ADJUSTABLE	M.O.	MASONRY OPENING
AFF	ABOVE FINISH FLOOR	MR	MOISTURE RESISTANT
ALT	ALTERNATE	MTL	METAL
ALUM	ALUMINUM	NIC	NOT IN CONTRACT
BD	BOARD	NO	NUMBER
BLDG	BUILDING	NTS	NOT TO SCALE
BLKG	BLOCKING	OC	ON CENTER
BM	BENCHMARK BEAM	OH	OVERHEAD
BOC	BOTTOM OF CURB	O-O	OUT TO OUT
BOF	BOTTOM OF FOOTING	OPNG	PRE-ENGINEERED METAL BLDG.
BOW	BOTTOM OF WALL	OPP	OPPOSITE
BRG	BEARING	OVRHNG	OVERHANG
B.T.	BORATE TREATED	PEMB	PROPERTY LINE
BTM	BOTTOM	PL	PLASTIC LAMINATE
BUR	BUILT UP ROOF	PLAM	PLYWOOD
CAB	CABINET	PLY	PLYWOOD
CB	CATCH BASIN	PREFAB	PREFABRICATED
CEM	CEMENT	PT	POINT
CJ	CONTROL JOINT	P.T.	PRESSURE TREATED
CLG	CEILING	PVC	POLYVINYL CHLORIDE
CLR	CLEAR(ANCE)	RISER	RISER RADIUS
CMP	CORRUGATED METAL PIPE	RA	RETURN AIR
CMU	CONCRETE MASONRY UNIT	RAD	RADIUS
COL	COLUMN	RAG	RETURN AIR GRILL
CONC	CONCRETE	RCP	REFLECTED CEILING PLAN
CONT	CONTINUOUS/ CONTINUE	RD	ROOF DRAIN
COORD	COORDINATE	REF	REFLECTOR
CORR	CORRIDOR	REFL	REFLECTED
CRS	COURSE(S)	REIN	REINFORCED
DF	DRINKING FOUNTAIN	RET	RETAINING
DIA	DIAMETER	RM	ROOM
DM	DIMENSION	RO	ROUGH OPENING
DL	DEAD LOAD	ROW, RW	RIGHT OF WAY
DN	DOWN	RS	ROUGH SAWN
DR	DOOR	RVL	REVEAL
DS	DOWN SPOUT	RWL	RAINWATER LEAD
DTL	DETAIL	SAG	SUPPLY AIR GRILL
DW	DISH WASHER	SCH	SCHEDULE
DWG	DRAWING	SCHD	SOLID CORE WOOD DOOR
EFS	EXTERIOR INSULATION & FINISH SYSTEM	SDG	SIDING
EJ	EXPANSION JOINT	SEC	SECURE
EL	ELEVATION	SECT	SECTION
ELEC	ELECTRICAL	SHT	SHEET
ELEV	ELEVATOR	SIM	SIMILAR
EQ	EQUAL	SLNT	SEALANT
EQUIP	EQUIPMENT	SPEC	SPECIFICATION(S)
EWC	ELECTRIC WATER COOLER	SS	STAINLESS STEEL
EXH	EXHAUST	STD	STANDARD
EXIST	EXISTING	STB	STEEL TUBE
EXP	EXPANSION	STL	STEEL
EXT	EXTERIOR	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURAL
FE	FIRE EXTINGUISHER	SUSP	SUSPENDED
FEC	FIRE EXTINGUISHER CABINET	TBS	TO BE SELECTED
FF	FINISH FLOOR	T	TREAD
FHC	FIRE HOSE CABINET	T&G	TONGUE AND GROOVE
FIN	FINISHED	TEMP	TEMPERED, TEMPORARY
FLR	FLOOR	THK	THICKNESS
FRMG	FRAMING	THOLD, TH	THRESHOLD
FTG	FOOTING	TLT	TOILET
FUR	FURRING	TOC	TOP OF CURB
GA	GAUGE GAGE	TOF	TOP OF FOUNDATION
GALV	GALVANIZED	TOW	TOP OF WALL
GYP	GYPSUM	TRED	TREATED
HB	HOSE BIB	TYP	TYPICAL
H.C.	HOLLOW CORE	UNO	UNLESS NOTED OTHERWISE
HDR	HEADER	UR	URINAL
HDW	HARDWARE	UR	URINAL
HM	HOLLOW METAL	VB	VAPOR BARRIER
HORIZ	HORIZONTAL	VERT	VERTICAL
HR	HOUR	W	WIDE, WIDTH
HGT	HEIGHT	WB	WEATHER BARRIER
I.D.	INSIDE DIAMETER	W	WITH
INSUL	INSULATE(D)(ING)(ION)	W/O	WITHOUT
INT	INTERIOR	WC	WATER CLOSET
JST	JOIST	WD	WOOD
JT	JOINT	WDW	WINDOW
KIT	KITCHEN	WH	WATER HEATER
L	LENGTH, LONG	WR	WATER RESISTANT
LAM	LAMINATE(D)	WWM	WELDED WIRE MESH
LL	LIVE LOAD	∠	ANGLE
LVR	LOUVER	@	AT
MAS	MASONRY	C	CENTERLINE
MATL	MATERIAL	Ø	DIAMETER
MAX	MAXIMUM	d	PENNY
MECH	MECHANICAL	Ⓡ	PLATE
MFR	MANUFACTURER	Ⓡ	PLATE

PROJECT INFORMATION

OWNER

Sam Patel
103 Brickmilled Rd.
Maryville, TN, 37901
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STRUCTURAL ENGINEER

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Email: ryan@smithengineering.com

ARCHITECT

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Knoxville, TN 37921
Contact: Steve Young
Phone: (865) 523-8200
Email: office@oysk3architects.com

ELECTRICAL ENGINEER

Hampton Engineers, LLC
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Blaine, TN, 37709
Contact: Harvey Hampton, PE
Phone: (865) 360-3624
Email: hwh@kvatogo.com

CONTRACTOR

Company Name - TBD
Company Street Address
City, State, Zip code
Contact: Name
Phone: (###) ###-####
Email: email@server.com

CIVIL ENGINEER

Abbie Jones Consulting
1022 Fontaine Drive
Lexington, Kentucky, 40502
Contact: Abbie Jones
Phone: (859) 559-3443
Email: www.abbie-jones.com

MECHANICAL/PLUMBING ENGINEER

Knauss Engineering and Design, LLC
703 Nance Ferry Rd.
Blaine, TN, 37721
Contact: Greg Knauss, P.E.
Phone: (865) 740-3361
Email: gkhauss@comcast.net

SHEET INDEX

SHEET NUMBER	SHEET NAME	SHEET ISSUE DATE
01 - GENERAL		
G000	PROJECT INFORMATION	1/14/2026
06 - ARCHITECTURAL		
A100a	SURVEY	1/14/2026
A100b	SURVEY	1/14/2026
A101	ARCHITECTURAL SITE PLAN	1/14/2026
A102	SITE DETAILS	1/14/2026
A103	GAS PUMP ISLAND & CANOPY PLAN	1/14/2026
A104	LANDSCAPE PLAN	1/14/2026
A105	PLANTING DETAILS	1/14/2026
A106	FLOOR PLAN	1/14/2026
A201	EXTERIOR ELEVATIONS	1/14/2026
A202	EXTERIOR ELEVATIONS	1/14/2026
A301	BUILDING SECTION	1/14/2026
11 - ELECTRICAL		
E-1	LIGHTING INTENSITY LAYOUT	10/16/2025

SCOPE OF WORK:
SINGLE STORY GAS STATION. WOOD FRAME ON SLAB ON GRADE FOUNDATION.

PARCEL ID **PARCEL ID:** 122E004, 122E005, 122E006
(TO BE ONE LOTTED)

PROPERTY ZONE GC-1

PROPERTY SIZE .8 AC

BUILDING SQUARE FOOTAGE 4,524 SF

FLOOR LEVELS SINGLE STORY

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES, ORDINANCES, AMENDMENTS, & COVENANTS:

CITY OF KNOXVILLE

- CITY OF KNOXVILLE ZONING ORDINANCE (WITH AMENDMENTS)
- 2024 INTERNATIONAL BUILDING CODE
- 2024 INTERNATIONAL RESIDENTIAL CODE
- 2024 INTERNATIONAL EXISTING BUILDING CODE
- 2024 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2024 INTERNATIONAL PLUMBING CODE
- 2024 INTERNATIONAL MECHANICAL CODE
- 2024 INTERNATIONAL FUEL GAS CODE
- 2024 INTERNATIONAL SWIMMING POOL AND SPA CODE WITH LOCAL AMENDMENTS
- 2024 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2023 NATIONAL ELECTRIC CODE WITH LOCAL AMENDMENTS
- 2024 INTERNATIONAL GREEN CONSTRUCTION CODE
- 2017 ICC ANSI A117.1 ACCESSIBILITY CODE

CODE ANALYSIS

IECC CLIMATE ZONE:
Zone 4A IECC Table C301.1

OCCUPANCY (IBC CHAPTER 3):
Occupancy Group: Mercantile (M) IBC 311.3

CONSTRUCTION TYPE:
Type VB, Un-sprinklered IBC Chapter 6

FIRE RESISTANCE RATING:

Primary Structural Frame	0 hours	IBC T601
Bearing Walls	0 hours	
Interior	0 hours	
Exterior	0 hours	
Non-bearing	0 hours	
Exterior	0 hours	IBC T602
Interior	0 hours	
Floor and Secondary Members	0 hours	
Roof and Secondary Members	0 hours	

ALLOWABLE AREA: Allowed:

Building Height above Grade Plane	40'	IBC T504.3
Number of Stories above Grade Plane	1 Story	IBC T504.4
Building Area per floor	9,000 s.f.	IBC T506.2

Actual: 17'-4", 1 Story, 4,524 s.f.

INTERIOR FINISHES:
Un-sprinklered - Exits Class A; Corridors Class B; Rooms Class C IBC T803.13

PORTABLE FIRE EXTINGUISHERS:
Slb 2A-10B-C minimum, 75' travel distance IBC T906.3(1)
Class K fire extinguisher at kitchen

OCCUPANT LOAD: IBC T1004.5

Gas Station/Convenience Store	3,148 GSF / 60 = 52.4 Occupants
Kitchen	201 GSF / 200 = 1.005 Occupants
Office	69 GSF / 150 = 0.46 Occupants
Storage	855 GSF / 300 = 2.85 Occupants

Total: 56.715 Occupants

EGRESS WIDTH:
Other - 0.2 x 56.715 = 11.343" minimum width IBC 1005.3.2

NUMBER OF EXITS:
2 exits minimum required - 2 provided IBC T1006.3.2

TRAVEL DISTANCE:

Dead End Corridor	20 feet, Un-sprinklered	IBC 1020.4
Exit Access Travel Distance	200 feet, Un-sprinklered	IBC T1017.2
Common Path of Travel	75 feet, Un-sprinklered	IBC T1006.2.1

EMERGENCY SYSTEMS:
Emergency lighting required IBC 1008.1

PLUMBING FIXTURE COUNT:

Water Closets:	1 per 500 (both men and women) - 1 provided for both genders
Lavatories:	1 per 750 (both men and women) - 1 provided for both genders
Drinking Fountains:	1 per 1,000 - 2 provided
Service Sink:	1 - 1 provided

PARKING:
See sheet A104

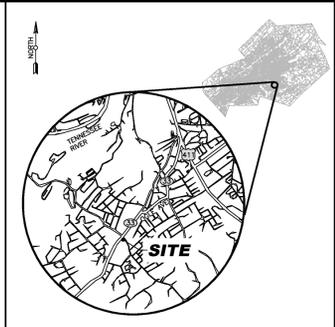
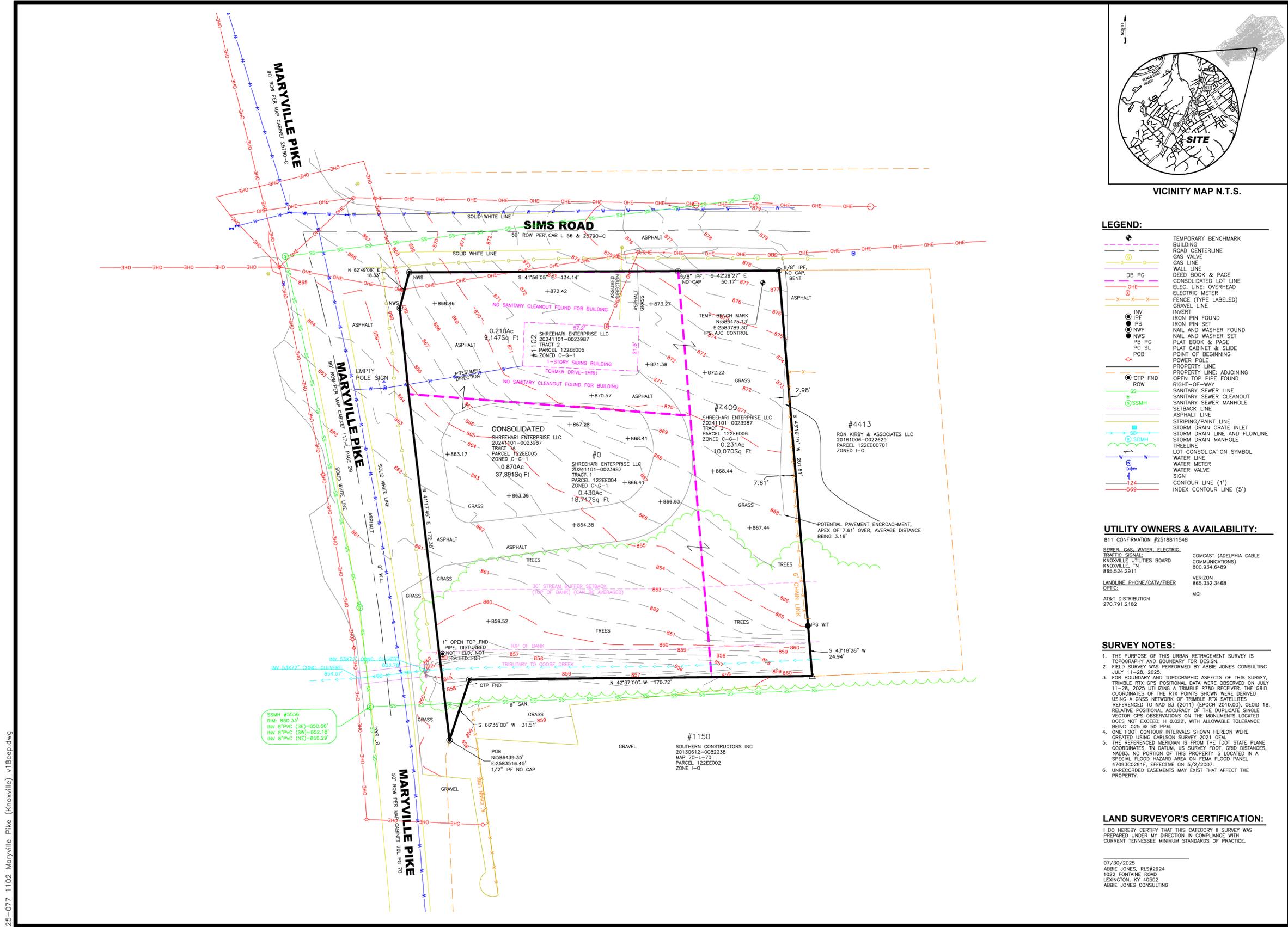
MARYVILLE PK., GAS STATION
FOR SAM PATEL
 1102 Maryville Pike, Knoxville, Tn., 37920

ISSUE	DATE	DESCRIPTION
1	1/14/2026	SPECIAL USE REVIEW

DRAWN BY: KG + AB

PROJECT INFORMATION

G000



LEGEND:

	TEMPORARY BENCHMARK
	ROAD CENTERLINE
	GAS VALVE
	WALL LINE
	DB PG
	OHE
	ELECTRIC METER
	FENCE (TYPE LABELED)
	GRAVEL LINE
	INVERT
	IRON PIN FOUND
	IRON PIN SET
	NAIL AND WASHER FOUND
	NAIL AND WASHER SET
	PLAT BOOK & PAGE
	PLAT CABINET & SLIDE
	POINT OF BEGINNING
	POWER POLE
	PROPERTY LINE
	ADJOINING PROPERTY LINE
	OPEN TOP PIPE FOUND
	RIGHT-OF-WAY
	SANITARY SEWER LINE
	SANITARY SEWER CLEANOUT
	SANITARY SEWER MANHOLE
	SETBACK LINE
	ASPHALT LINE
	STRIPING/PAINT LINE
	STORM DRAIN GRATE INLET
	STORM DRAIN LINE AND FLOWLINE
	STORM DRAIN MANHOLE
	TREENLINE
	LOT CONSOLIDATION SYMBOL
	WATER LINE
	WATER METER
	WATER VALVE
	SIGN
	CONTOUR LINE (1')
	INDEX CONTOUR LINE (5')

UTILITY OWNERS & AVAILABILITY:

811 CONFIRMATION #2518811548

SEWER, GAS, WATER, ELECTRIC, TRAFFIC SIGNAL, KNOXVILLE UTILITIES BOARD, KNOXVILLE, TN 37921, 865.524.2911

COMCAST (ADELPHI CABLE COMMUNICATIONS), 800.934.6489

LANDLINE, PHONE, CATV/FIBER, OPTIC, VERIZON, 865.352.3468

AT&T DISTRIBUTION, 270.791.2182

MCI

SURVEY NOTES:

- THE PURPOSE OF THIS URBAN RETRACEMENT SURVEY IS TOPOGRAPHY AND BOUNDARY FOR DESIGN.
- FIELD SURVEY WAS PERFORMED BY ABBIE JONES CONSULTING JULY 11-28, 2025.
- FOR BOUNDARY AND TOPOGRAPHIC ASPECTS OF THIS SURVEY, TRIMBLE RTX GPS POSITIONAL DATA WERE OBSERVED ON JULY 11-28, 2025 UTILIZING A TRIMBLE R780 RECEIVER. THE GRID COORDINATES OF THE RTX POINTS SHOWN WERE DERIVED USING A GNSS NETWORK OF TRIMBLE RTX SATELLITES REFERENCED TO NAD 83 (2011) (EPOCH 2010.00), GEOID 18. RELATIVE POSITIONAL ACCURACY OF THE DUPLICATE SINGLE VECTOR GPS OBSERVATIONS ON THE MONUMENTS LOCATED DOES NOT EXCEED ± 0.022' WITH ALLOWABLE TOLERANCE BEING ± 0.25 @ 50 PPM.
- ONE FOOT CONTOUR INTERNALS SHOWN HEREON WERE CREATED USING CARLSON SURVEY 2021 OEM.
- THE REFERENCED MERIDIAN IS FROM THE TDOT STATE PLANE COORDINATES, TN DATUM, U.S. SURVEY FOOT, GRID DISTANCES, NAD83. NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ON FEMA FLOOD PANEL 4708C02011, EFFECTIVE ON 5/2/2007.
- UNRECORDED EASEMENTS MAY EXIST THAT AFFECT THE PROPERTY.

LAND SURVEYOR'S CERTIFICATION:

I DO HEREBY CERTIFY THAT THIS CATEGORY II SURVEY WAS PREPARED UNDER MY DIRECTION IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.

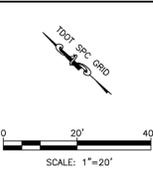
07/30/2025
 ABBIE JONES, RLS#2924
 1022 FONTAINE ROAD
 LEXINGTON, KY 40502
 ABBIE JONES CONSULTING

DESIGN SURVEY OF 1102 MARYVILLE PIKE
 KNOX COUNTY
 LOCATED AT: 1102 MARYVILLE PIKE, KNOXVILLE, TN 37920
 CLIENT: OYSK3 ARCHITECTS, 1545 WESTERN AVE, KNOXVILLE, TN 37921
 OWNER: SHREEHARI ENTERPRISE LLC, 4853 MASTERS DRIVE, MARYVILLE, TN 37801

REVISIONS

REV #	DESCRIPTION	DATE

Abbie Jones Consulting
 ABBIE JONES CONSULTING
 1022 FONTAINE ROAD
 LEXINGTON, KY 40502
 WWW.ABBIEJONES.COM
 859.558.3443 865.558.3443



DRAWN BY: JME
 CHECKED BY: AMJ
 APPROVED BY: AMJ
 PROJECT: 25-077
 DATE: 07/30/2025
 SIZE: 24x36

OYSK3 architects
 1545 Western Avenue, Suite 100
 Knoxville, TN 37921
 office@oysk3architects.com

STEVEN R. YOUNG
 REGISTERED ARCHITECT
 AGRICULTURE
 COMMERCIAL
 RESIDENTIAL
 STATE OF TENNESSEE
 NO. 15714
 1/14/2026

**MARYVILLE PK., GAS STATION
 FOR SAM PATEL**
 1102 Maryville Pike, Knoxville, Tn., 37920

DRAWN BY: KG + AB

ISSUE	DATE	ISSUE USE	SPECIAL USE REVIEW

A100a
 PROJECT : 25107
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HISTORIC PROPERTY DESCRIPTIONS

TRACT 1

BEGINNING AT AN OLD IRON PIN IN THE SOUTHEASTERN RIGHT OF WAY OF MARYVILLE PIKE AND CORNER TO J & R SOUTHERN (INSTRUMENT NUMBER: 200006130039951), THENCE FROM SAID OLD IRON PIN AND ALONG THE SOUTHEASTERN RIGHT OF WAY OF MARYVILLE PIKE; NORTH 41 DEG. 18 MIN. EAST 172.56 FEET TO A NEW NAIL IN THE SOUTHEASTERN RIGHT OF WAY OF MARYVILLE PIKE; THENCE SOUTH 37 DEG. 39 MIN. WEST 140.45 FEET TO A NEW IRON PIN; THENCE SOUTH 43 DEG. 20 MIN. WEST 130.00 FEET TO AN IRON PIN NEW IN THE LINE OF J & R SOUTHERN; THENCE NORTH 42 DEG. 37 MIN. WEST 120.63 FEET TO AN OLD PIPE; THENCE SOUTH 66 DEG. 16 MIN. WEST 31.46 FEET TO AN OLD IRON PIN AT THE POINT OF BEGINNING, CONTAINING 0.43 ACRES, MORE OR LESS, AS SHOWN ON THE SURVEY FOR BHAVIN BHALODIA, BY STANLEY E. HINDS, RLS# 967, DATED MAY 26, 2010, BEARING DRAWING NUMBER: 1005023.

BEING PART OF THE SAME PROPERTY CONVEYED TO BHAVINKUMAR BHALODIA, MARRIED, AND ASILA N. PATEL, MARRIED, BY SPECIAL WARRANTY DEED FROM REGIONS BANK, AN ALABAMA BANKING CORPORATION, DATED JUNE 4TH, 2010, AND RECORDED JUNE 11, 2010, AS INSTRUMENT NUMBER: 201006110077604, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.

TRACT 2

BEGINNING AT A NEW NAIL SET IN THE SOUTHEASTERN RIGHT OF WAY OF MARYVILLE PIKE, SAID NEW NAIL BEING IN A SOUTHWESTERLY DIRECTION, 61.26 FEET, MORE OR LESS, FROM THE SOUTHWESTERN RIGHT OF WAY OF SIMS ROAD; THENCE FROM SAID NEW NAIL SET, AND ALONG THE SOUTHEASTERN RIGHT OF WAY OF MARYVILLE PIKE, NORTH 41 DEG. 18 MIN. EAST 42.94 FEET TO A NEW NAIL SET; THENCE CONTINUING ALONG THE SOUTHEASTERN RIGHT OF WAY OF MARYVILLE PIKE, NORTH 62 DEG. 48 MIN. EAST 18.32 FEET TO A NEW NAIL SET; THENCE SOUTH 42 DEG. 11 MIN. EAST 134.10 FEET TO AN OLD IRON PIN; THENCE, SOUTH 43 DEG. 20 MIN. WEST 71.66 FEET TO A NEW IRON PIN; THENCE, NORTH 37 DEG. 39 MIN. WEST 140.45 FEET TO THE POINT OF BEGINNING, CONTAINING 0.21 ACRES, MORE OR LESS, AS SHOWN ON THE SURVEY FOR BHAVIN BHALODIA, BY STANLEY E. HINDS, RLS# 967, DATED MAY 26, 2010, BEARING DRAWING NUMBER: 1005023.

BEING PART OF THE SAME PROPERTY CONVEYED TO BHAVINKUMAR BHALODIA, MARRIED, AND ASILA N. PATEL, MARRIED, BY SPECIAL WARRANTY DEED FROM REGIONS BANK, AN ALABAMA BANKING CORPORATION, DATED JUNE 4TH, 2010, AND RECORDED JUNE 11, 2010, AS INSTRUMENT NUMBER: 201006110077604, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.

TRACT 3

BEGINNING AT AN OLD IRON PIN IN THE SOUTHWESTERN RIGHT OF WAY OF SIMS ROAD, IN THE NORTHWESTERN CORNER OF KIRBY (DEED BOOK 2124, PAGE 1109); THENCE FROM SAID OLD IRON PIN AND ALONG THE LINE OF KIRBY, SOUTH 43 DEG. 18 MIN. WEST 201.60 FEET TO A NEW IRON PIN CORNER TO KIRBY AND IN THE LINE OF J & R SOUTHERN (INSTRUMENT NUMBER: 200006130039951); THENCE, NORTH 42 DEG. 37 MIN. WEST 50.09 FEET TO ANEW IRON PIN; THENCE NORTH 43 DEG. 20 MIN. EAST 201.66 FEET TO ANEW IRON PIN; THENCE NORTH 43 DEG. 20 MIN. EAST 71.66 FEET TO AN OLD IRON PIN IN THE SOUTHWESTERN RIGHT OF WAY OF SIMS ROAD; THENCE ALONG THE SOUTHWESTERN RIGHT OF WAY OF SIMS ROAD, SOUTH 42 DEG. 32 MIN. EAST 49.97 FEET TO THE POINT OF BEGINNING, CONTAINING 0.23 ACRES, MORE OR LESS, AS SHOWN ON THE SURVEY FOR BHAVIN BHALODIA, BY STANLEY E. HINDS, RLS# 967, DATED MAY 26, 2010, BEARING DRAWING NUMBER: 1005023.

BEING PART OF THE SAME PROPERTY CONVEYED TO BHAVINKUMAR BHALODIA, MARRIED, AND ASILA N. PATEL, MARRIED, BY SPECIAL WARRANTY DEED FROM REGIONS BANK, AN ALABAMA BANKING CORPORATION, DATED JUNE 4TH, 2010, AND RECORDED JUNE 11, 2010, AS INSTRUMENT NUMBER: 201006110077604, IN THE REGISTER'S OFFICE FOR KNOX COUNTY, TENNESSEE.

UTILITY OWNERS & AVAILABILITY:

811 CONFIRMATION #2518811548

SEWER, GAS, WATER, ELECTRIC, TRAFFIC SIGNAL; KNOXVILLE UTILITIES BOARD, KNOXVILLE, TN 865.524.2911

LANDLINE PHONE/CAV/FIBER OPTIC;

AT&T DISTRIBUTION COMMUNICATIONS) 800.934.6489

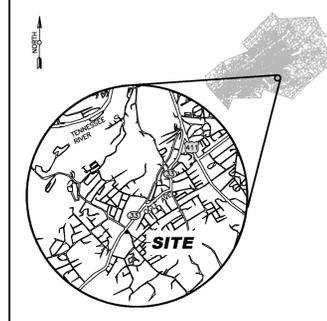
COMCAST (ADELPHIA CABLE COMMUNICATIONS) 800.934.6489
VERIZON 865.352.3468

SURVEY NOTES:

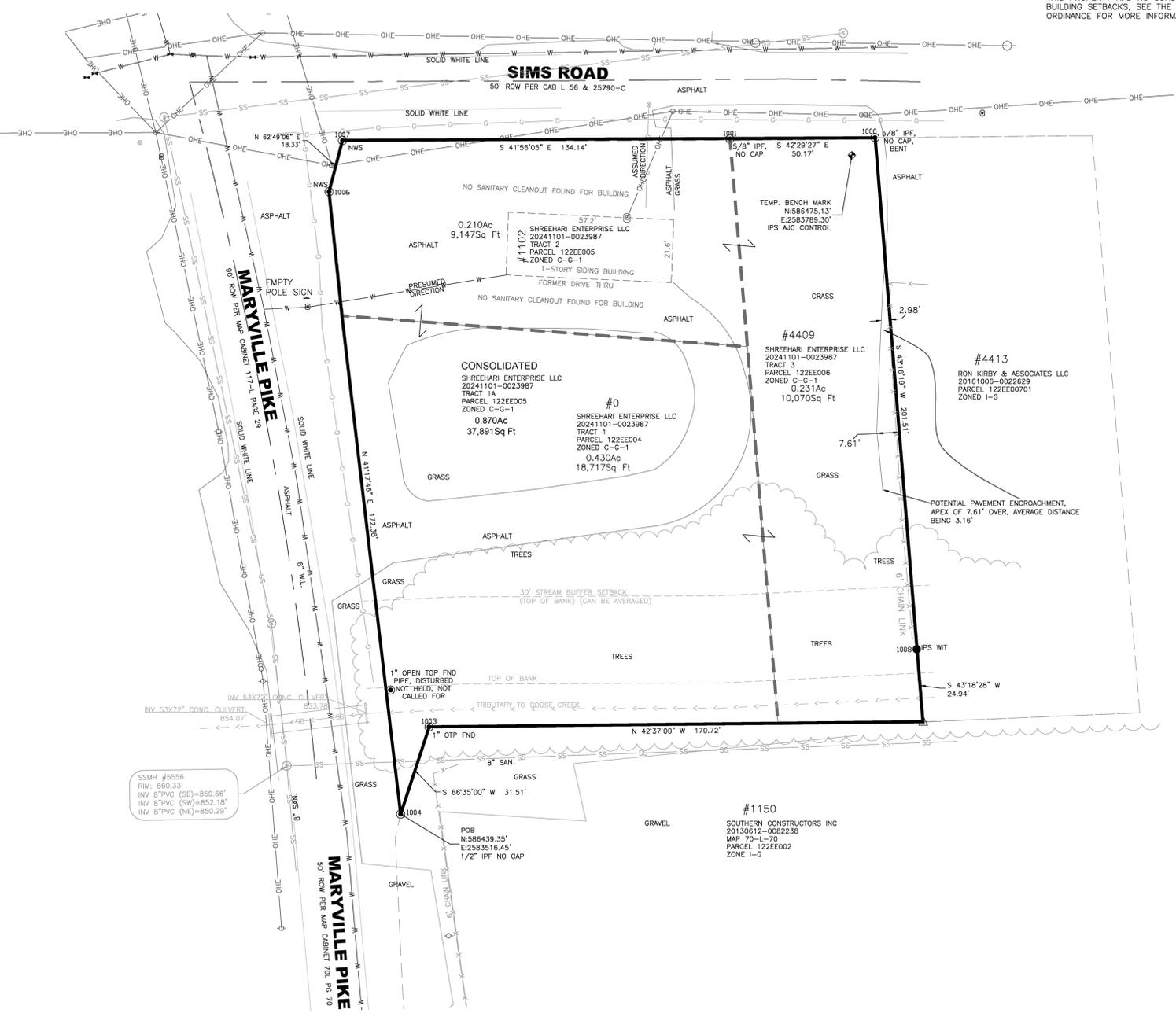
- A FIELD SURVEY WAS PERFORMED BY ABBIE JONES CONSULTING JULY 11-28. EQUIPMENT USED: TRIMBLE R780 AND TRIMBLE R10 GNSS RECEIVERS.
- THIS SURVEY IS IN ACCORDANCE WITH T.C.A. RULE 0820-03-07, PRECISION CALCULATED WITH RELATIVE POSITIONAL ACCURACY OF THE DUPLICATE SINGLE VECTOR GNSS OBSERVATIONS ON THE MONUMENTS LOCATED DOES NOT EXCEED H:0.022", WITH ALLOWABLE TOLERANCE BEING .025 @ 50PPM.
- THE BASIS FOR BEARINGS AND REFERENCED MERIDIAN IS FROM THE TENNESSEE STATE PLANE COORDINATE SYSTEM, NAD83(2011), NAVD 1988, USING TRIMBLE RTX NETWORK CORRECTIONS.
- UNLESS SPECIFIED OTHERWISE, ALL IPS ARE 5/8" IRON REBAR 18" LONG WITH PINK PLASTIC CAP STAMPED ABBIE JONES TN 2924. ALL NWS ARE MAG NAIL WITH ALUMINUM WASHER OF SAME MARKING, WITNESS CORNERS ARE MARKED AS SUCH.
- NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE AE ON FEMA FLOOD PANEL 47093C0291F, EFFECTIVE DATE 5/2/2007.
- OTHER UNRECORDED EASEMENTS MAY EXIST THAT AFFECT THE PROPERTY. NO TITLE SEARCH WAS PROVIDED BY AN ATTORNEY BUT RESEARCH WAS CONDUCTED BY LAND SURVEYOR.
- THIS PROPERTY IS ZONED C-G-1 (GENERAL COMMERCIAL), PER KNOX COUNTY ZONING ORDINANCE. THIS PROPERTY HAS NO CONDITIONS REQUIRING BUILDING SETBACKS, SEE THE KNOX COUNTY ZONING ORDINANCE FOR MORE INFORMATION.

LEGEND:

- TEMPORARY BENCHMARK
- BUILDING
- ROAD CENTERLINE
- GAS VALVE
- GAS LINE
- WALL LINE
- DEED BOOK & PAGE
- CONSOLIDATED LOT LINE
- ELEC. LINE: OVERHEAD
- ELECTRIC METER
- FENCE (TYPE LABELED)
- GRAVEL LINE
- INVERT
- IRON PIN FOUND
- IRON PIN SET
- NAIL AND WASHER FOUND
- NAIL AND WASHER SET
- PLAT BOOK & PAGE
- PLAT CABINET & SLIDE
- POINT OF BEGINNING
- POWER POLE
- PROPERTY LINE
- PROPERTY LINE: ADJOINING
- OPEN TOP PIPE FOUND
- RIGHT-OF-WAY
- SANITARY SEWER LINE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- SETBACK LINE
- ASPHALT LINE
- STRIPING/PAINT LINE
- STORM DRAIN GRATE INLET
- STORM DRAIN LINE AND FLOWLINE
- STORM DRAIN MANHOLE
- TREELINE
- LOT CONSOLIDATION SYMBOL
- WATER LINE
- WATER METER
- WATER VALVE
- SIGN



VICINITY MAP N.T.S.



PURPOSE:

THE PURPOSE OF THIS CATEGORY 1 SURVEY IS TO CONSOLIDATE THE BOUNDARIES OF 1102 MARYVILLE PIKE

PROPERTY MAP REFERENCE

BEING PARCELS 122E004, 122E005, & 122E00701, AS SHOWN ON KNOX COUNTY PROPERTY ASSESSOR'S MAP.

LAND SURVEYOR'S CERTIFICATION:

I DO HEREBY CERTIFY THAT THIS RECORD PLAT WAS PREPARED UNDER MY DIRECTION AND THAT, TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE BOUNDARIES OF THE PROPERTY BEING TRANSFERRED ARE TRUE AND ACCURATE, AND THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST, AND THAT THEIR LOCATION, SIZE, AND MATERIAL ARE CORRECTLY SHOWN.

07/29/2025

GLOBAL POSITION SYSTEM SURVEY NOTES

- I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND WAS CONDUCTED IN ACCORDANCE WITH RULE 0820-03.11 (GLOBAL POSITION SYSTEMS SURVEYS) ACCORDING TO THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AS PROMULGATED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS. THIS SURVEY WAS CONDUCTED WITH DUAL-FREQUENCY GNSS EQUIPMENT BASED ON THE TDOT CORN NETWORK.
- POSITIONAL ACCURACY: 0.022"
- DATE OF SURVEY: 07/11-28/2025
- HORIZONTAL DATUM/EPOCH: TENNESSEE STATE PLANE (NAD83). OCCUPATIONS FOR CONTROL POINTS AND MONUMENTS ARE 3 MINUTES EACH.
- VERTICAL DATUM: NAVD88 (ELEVATIONS GIVEN IN FEET ARE EQUAL TO ORTHOMETRIC HEIGHTS DERIVED USING GEOID 18).
- NO COMBINED GRID FACTORS WERE USED.

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE KNOX COUNTY TENNESSEE PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS OF THE COUNTY ROAD COMMISSIONER OR THE COUNTY ENGINEER.

DATE SURVEYOR

RECOVERED/SET PROPERTY CORNERS TRIMBLE R780/R10 GNSS RECEIVERS			
Point	Northing	Easting	Description
1000	586,473.195	2,583,799.101	IPF / 5/8" DISTURBED, NO CAP
1001	586,510.186	2,583,785.216	IPF / 5/8"
1003	586,452.101	2,583,545.325	IPF / 1"OTP
1004	586,439.346	2,583,516.450	IPF / 1/2" SR NOCAP
1006	586,600.972	2,583,658.998	NWS / A.JONES 2924, ALUM.
1007	586,609.337	2,583,675.270	NWS / A.JONES 2924, ALUM.
1008	586,344.748	2,583,677.956	IPS / A.JONES 2924

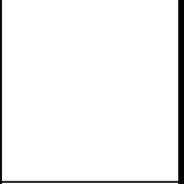
RECORD PLAT OF 1102 MARYVILLE PIKE

LOCATED AT: 1102 MARYVILLE PIKE, KNOXVILLE, TN 37920
KNOX COUNTY

CLIENT: OYSK3 ARCHITECTS, 1545 WESTERN AVE., KNOXVILLE, TN 37921
OWNER: SHREEHARI ENTERPRISE LLC, 4853 MASTERS' DRIVE, MARYVILLE, TN 37801

REV#	DESCRIPTION	DATE

Abbie Jones
CONSULTING
1009 REMOTE SINCE 2011
WWW.ABBIEJONES.COM
865.900.5056



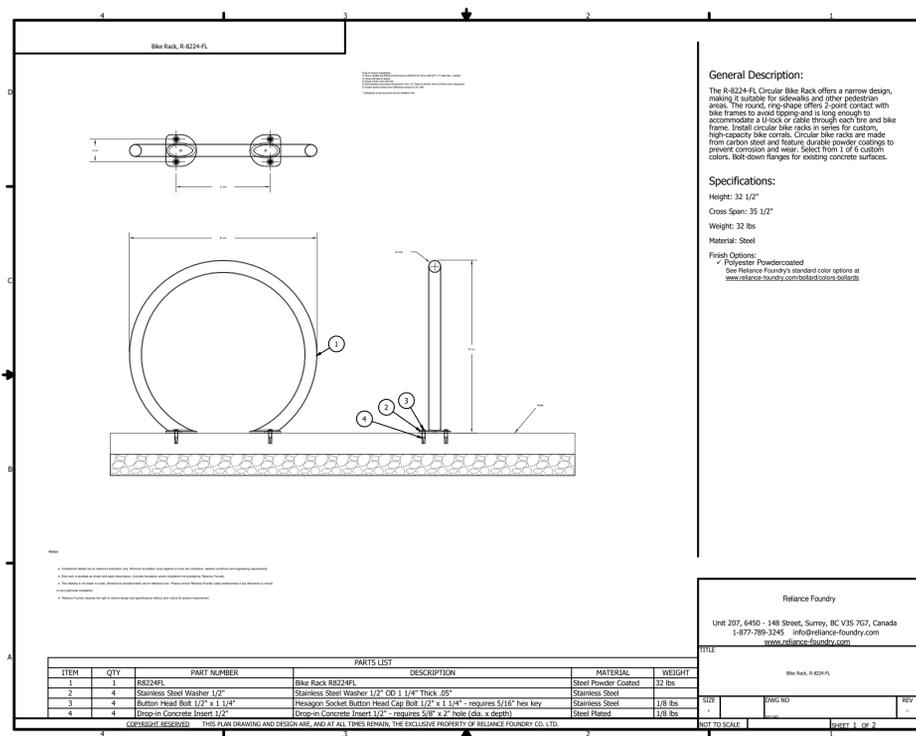
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CHECKED BY: AMJ
APPROVED BY: AMJ
PROJECT: 25-077
DATE: 07/21/2025
SIZE: 24x36



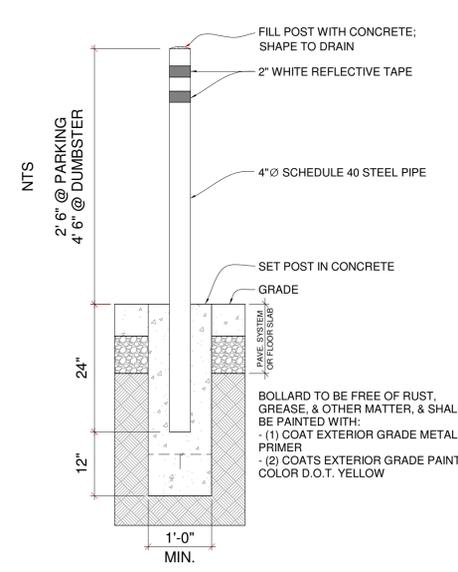
MARYVILLE PK., GAS STATION FOR SAM PATEL
1102 Maryville Pike, Knoxville, Tn., 37920

ISSUE DATE: 11/4/25
SPECIAL USE REVIEW
DRAWN BY: KG + AB

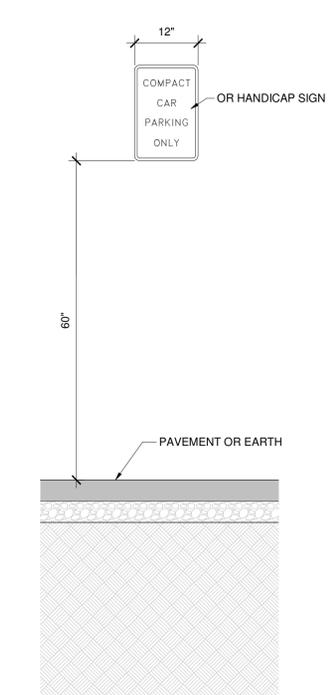
A100b



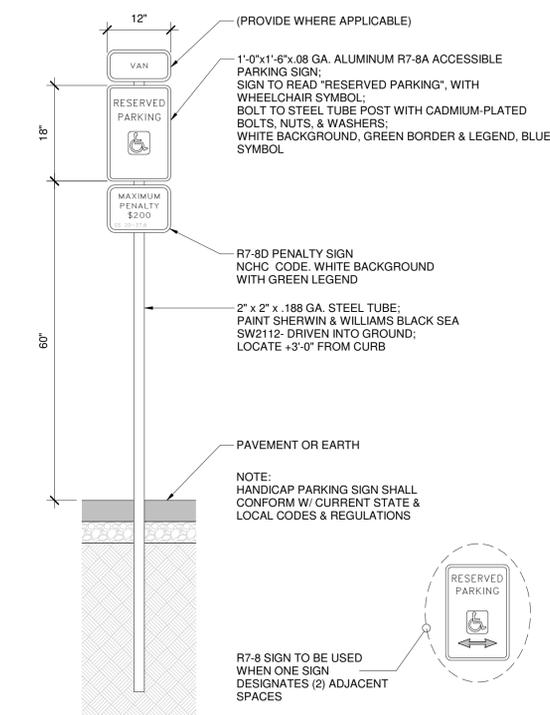
4
A102 BIKE RACK DETAIL
 3/4" = 1'-0"



3
A102 BALLARD DETAIL
 3/4" = 1'-0"



2
A102 HANDICAP PARKING OR COMPACT CAR SIGN DETAIL ON WALL
 3/4" = 1'-0"

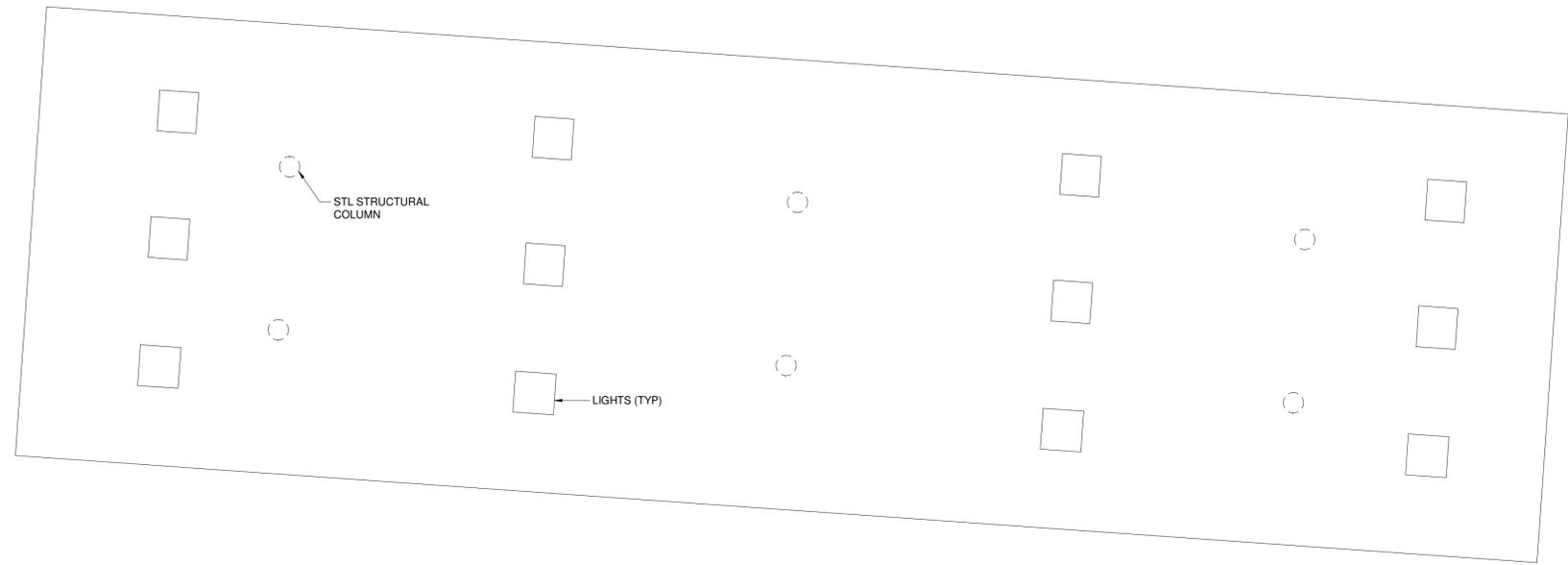


1
A102 ACCESSIBLE PARKING SIGN DETAIL
 3/4" = 1'-0"

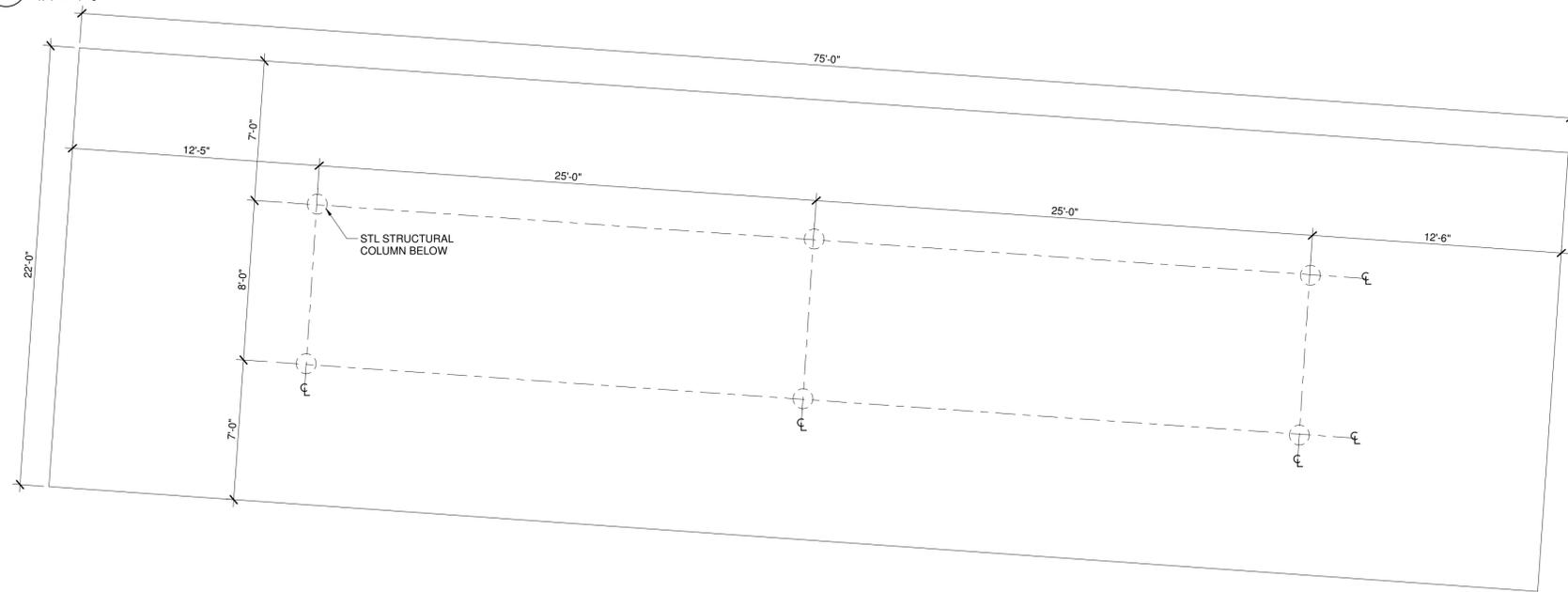
**MARYVILLE PK., GAS STATION
 FOR SAM PATEL**
 1102 Maryville Pike, Knoxville, Tn., 37920

ISSUE	DATE	ISSUE USE
1	1/14/26	SPECIAL USE REVIEW

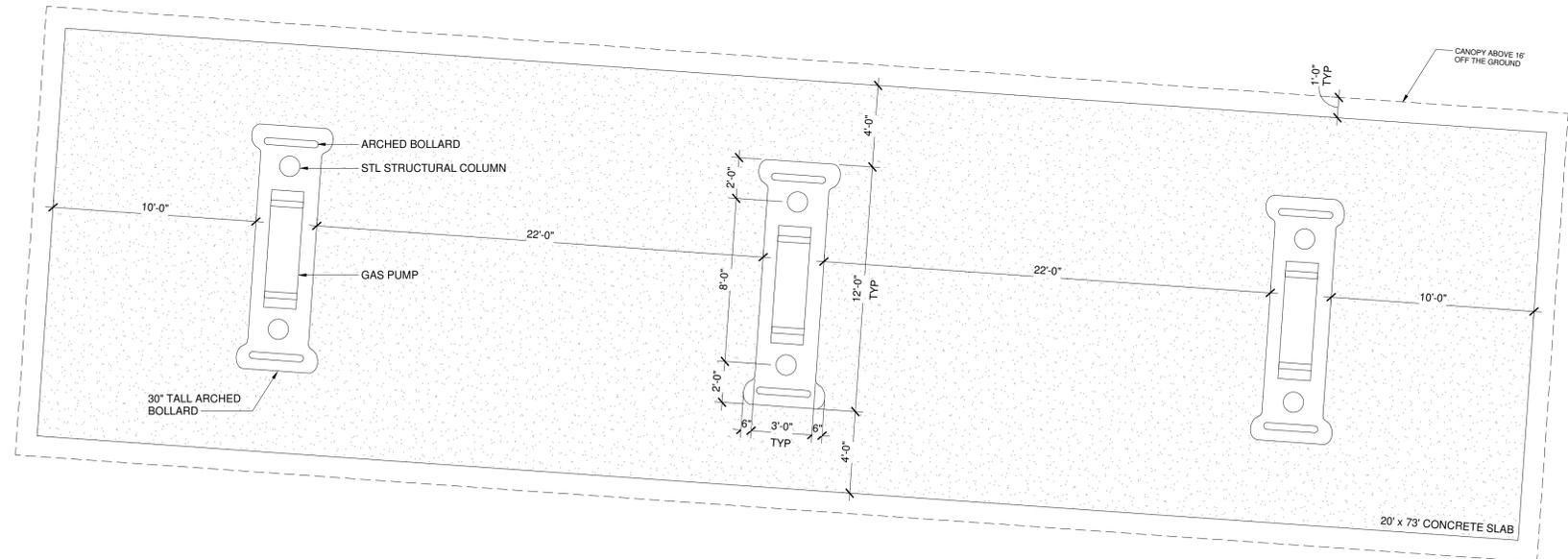
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3 GAS PUMP ISLAND CANOPY REFLECTED CEILING PLAN
 A103 1/4" = 1'-0"



2 GAS PUMP ISLAND CANOPY ROOF PLAN
 A103 1/4" = 1'-0"



1 GAS PUMP ISLAND CONCRETE PAD & CANOPY PLAN
 A103 1/4" = 1'-0"

**MARYVILLE PK., GAS STATION
 FOR SAM PATEL**
 1102 Maryville Pike, Knoxville, Tn., 37920

ISSUE	DATE	DESCRIPTION
1	1/14/2026	SPECIAL USE REVIEW

DRAWN BY: KG + AB

GAS PUMP ISLAND & CANOPY PLAN

A103

PROJECT : 25107

11/14/2026 11:44:26 AM 2/16/2026 SPECIAL USE REVIEW Special Use Permit/Amendment
 11/14/2026 11:44:26 AM 2/16/2026 SPECIAL USE REVIEW Special Use Permit/Amendment



LANDSCAPE LEGEND

	LANDSCAPE AREA - (PERENNIALS PER OWNER, GROUND COVER, VINES, SMALL BUSHES, TREES, OR GRASS - AS INDICATED)
	SHADE TREE
	SMALL SHADE TREE
	EVERGREEN
	SHRUB
	EXISTING TREES

NOTE:
 ALTERNATE PLANS AND OTHER APPROVED BUSHES MAY BE PROPOSED BY LANDSCAPER. THEY MUST BE APPROVED BY JURISDICTION. PROVIDE SHOP DRAWINGS FOR APPROVAL.

- FOUNDATION PLANTING**
- (A) 60% OF FRONT AND ISLANDS = 135 x .6 = 81 LIN. FT. REQUIRED
110 LIN. FT. PROVIDED
 - 1 SHRUB PER 3'
81/3 = 27 SHRUBS REQUIRED
29 PROVIDED
 - 1 SHADE TREE PER 1/50'
8/50 = 6 PROVIDED
 - 60% AREA REQUIRED & PROVIDED GROUND COVER PLANTED IN PERENNIALS
 - (B) COMMERCIAL ZONE ADJACENT TO INDUSTRIAL ZONE - NO BUFFER REQUIRED
 - (C) EXISTING WOODED AREA:
TREES SHALL BE A TREE PROTECTION ZONE PER ZONE ORDINANCE 12.9 C.
 - (D) PERIMETER: APPROXIMATE PAVING AREA 12,000 S.F. LESS THAN 20,000 S.F. BUT MORE 10,000 S.F. REQUIRED 6'-0" PARKING SETBACK
3 TREES PER 100'
a. 220' 7 TREES (4 SHADE; 3 EVERGREEN) PROVIDED. 22 SHRUBS (11 EVERGREEN) PROVIDED
b. 7 TREES; 2 SPECIES SHADE, EVERGREEN
22 BUSHES 22; 40% 5 SPECIES
c. 60' EXISTING TREES
d. 60% AREA TO BE PLANT AREA W/ GROUND COVER, PERENNIALS
1,680 SF. x .6 = 1,008 S.F. REQUIRED & PROVIDED
 - (E) RETAINING WALL BETWEEN STREAM BUFFER AND PAVING SHALL BE PROVIDED. THE DIFFERENCE IN ELEVATION OF GRADES VARIES FROM 1' TO 6'
- NOTE: SEE A105 FOR PLANTING DETAILS
- (F) REMOVE EXISTING PAVEMENT IN THIS AREA
 - (G) RETAIN PAVEMENT PER "KAT" BUS STOP IF REQUIRED. IF NOT, REMOVE PAVEMENT
 - (H) BUS STOP SIGN
 - (J) GRAVEL/RINGS HANDICAP WALK 1 IN 20 SLOPE OR LESS
- GAS STATION**
- | | |
|-----------------------|-------------------------|
| 9.3-0 GAS PUMP ISLAND | STREET LOT LINE SETBACK |
| | 15' (PARALLEL) |
| | 30' PERPENDICULAR |
| | 15' ALL OTHER LOT LINES |
| 9.3-0 GAS PUMP CANOPY | 15' PROP. LINE |
| | 25' TDOT |
| 9.3-F | |
| 9. | 3 STACK |
| | 10' |
| | 18' |

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STEVEN R. YOUNG
 REGISTERED ARCHITECT
 AGRICULTURE
 STATE OF TENNESSEE
 NO. 15714
 1/14/2026

**MARYVILLE PK., GAS STATION
 FOR SAM PATEL**
 1102 Maryville Pike, Knoxville, Tn., 37920

ISSUE NO.	11/14/2026	REVIEW	SPECIAL USE REVIEW
DATE	2/16/2026	REVIEW	Special Use Permit/Amendment

DRAWN BY: KG + AB
 LANDSCAPE PLAN



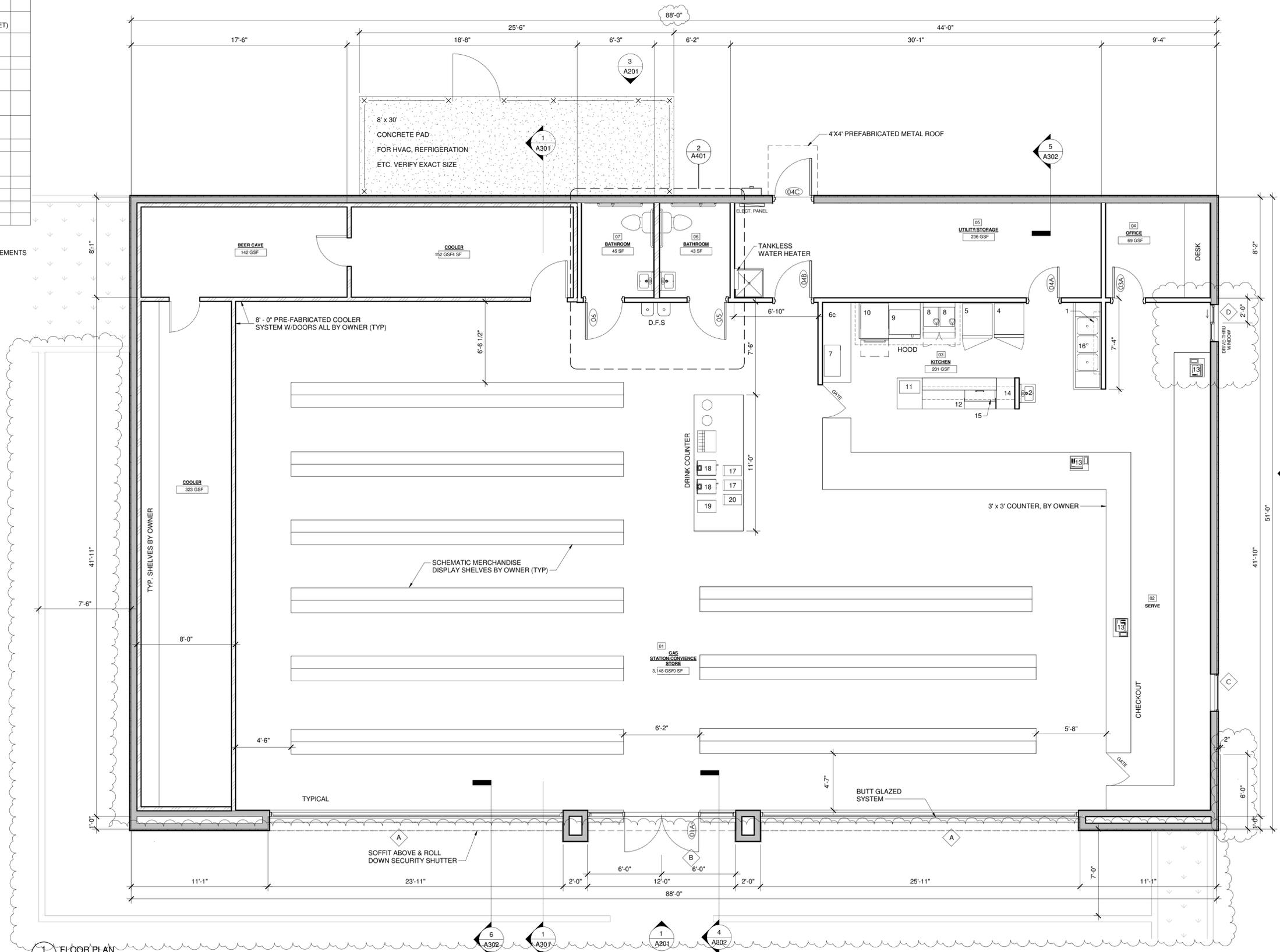
KITCHEN EQUIPMENT SCHEDULE					
EQUIPMENT	ITEM ID	QTY	MODEL #	ELECTRICAL	GAS
POT HOLDER	1				
HAND SINK	2		HS15-CWP		
MOP SINK	3		MS162012-CWP		
FREEZER	4		C-1F-HC	1P-20	
REFRIGERATOR	5		CIR14C	1P-20	
WORK TABLE	6				
48"	6A		T2448CWP-3		
60"	6B		T2460CWP-3		
72"	6C		T2472CWP-3		
MICROWAVE	7			1P-20	
FRYER	8	2	C-F40-NG/LP		X
RANGE	9		F3218 24 -1RB		X
PIZZA OVEN	10		CW41/CW61 P P031		X
HEATED FRY DUMP STATION	11		HMC-1220-2-FD (5-15P OUTLET)	1P-20	
SANDWICH PREP TABLE	12		C-SP60-16-HC SIM	1P-20	
CASH REGISTER	13			1P-20	
DOUBLE PASS THROUGH SHELF	14		PTS-1860-2, PTS-1872-2		
INFRARED STRIP HEATERS	15		UGA-18D	2P-20	
3 COMPARTMENT SINK	16		PA0603		
DRINK COUNTER EQUIPMENT					
COKE MACHINE	17			1P-20	
COFFEE	18			1P-20	
TEA	19			1P-20	
FROZEN BEVERAGE	20			1P-20	

VERIFY W/CLIENT & ACTUAL KITCHEN EQUIPMENT REQUIREMENTS
 PREFABRICATED COOLERS, BY OWNER; VERIFY ELECTRICAL REQUIREMENTS

FLOOR PLAN NOTES:
 ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE
 EXTERIOR STUDS LINE UP W/CONCRETE SLAB EDGE

WALL LEGEND

- 2X6 EXT. WOOD STUDS @16" O.C. WITH R-20 BATT INSULATION, -5/8" GYP BOARD INTERIOR SIDE -5/8" WOOD SHEATHING WEATHER BARRIER & EXTERIOR FINISHES (SEE EXTERIOR ELEVATIONS)
- 2X6 WD STUD @16" O.C. W/BUTT GLAZED INSULATED GLASS STOREFRONT W/EFIS BRICK SEE EXTERIOR ELEVATIONS
- 2X4 WOOD STUDS @16" O.C. -5/8" GYP BOARD BOTH SIDES, INSULATED INTERIOR WALL; SEE FINISH SCHEDULES
- PREFABRICATED COOLER WALLS & DOORS BY OWNER
- SEMI EXT. 2X6 WD. STUD @16" O.C. WALL W/INT. GYP BD & EXT. WD SHEATHING & W. BAR.
- 2X4 WD STUD @16" O.C. W/BUTT GLAZED INSULATED GLASS STOREFRONT W/EFIS BRICK SEE EXTERIOR ELEVATIONS
- 8" CHAIN LINK FENCE W/CHAINLINK FENCE CEILING



1 FLOOR PLAN
 A106 1/4" = 1'-0"

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 1/14/2026

MARYVILLE PK., GAS STATION
FOR SAM PATEL
 1102 Maryville Pike, Knoxville, Tn., 37920

DATE	ISSUE
11/4/2026	SPECIAL USE REVIEW
2/16/2026	Special Use Preliminary

DRAWN BY: KG + AB

FLOOR PLAN

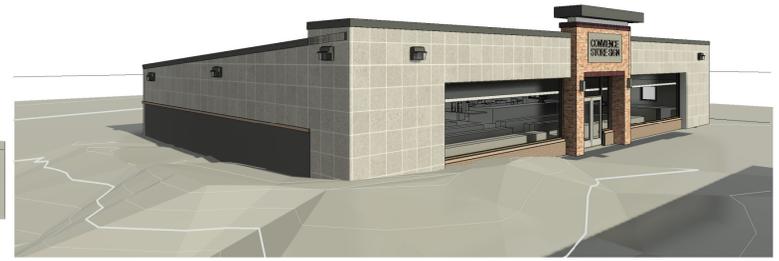
A106

PROJECT : 25107
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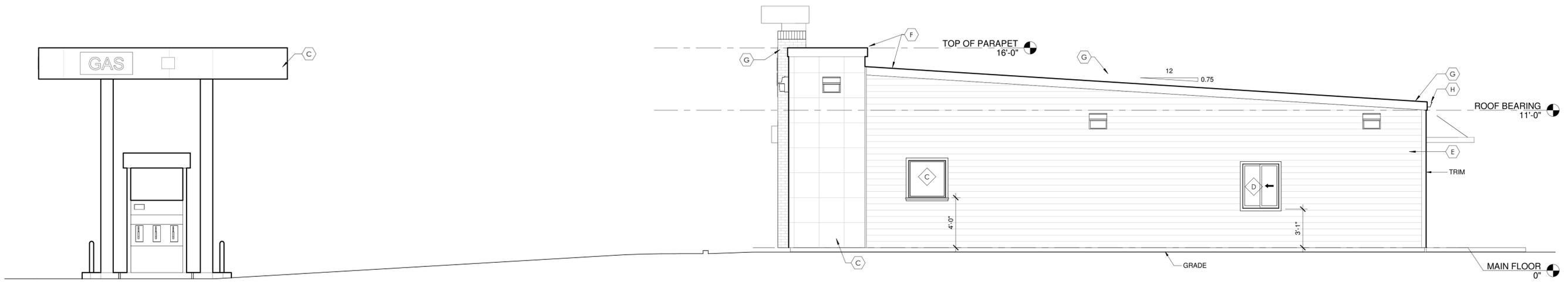
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COLOR LEGEND	
1	LIGHT GREY
2	SAME COLOR AS A
3	TBD HIGH CONTRAST

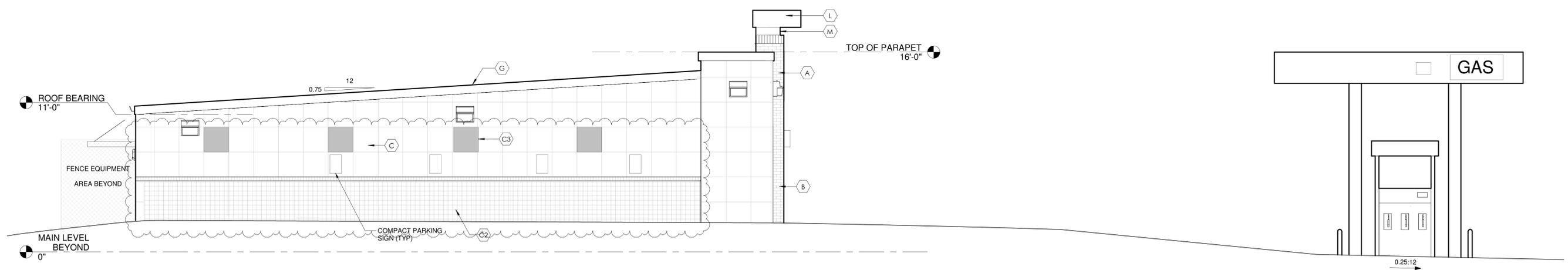
ELEVATION KEYNOTES	
A.	BRICK VENEER - STO EIFS, STO CAST BRICK; SUNDERLAND 59.4475 W/BROWN GRAY 2063 JOINT COLOR MORTAR (ROUNDED CORNER ROLLED)
B.	EIFS BRICK VENEER/BRICK ROWLOCK; HARRISON HARRISON 59.6897, ROUNDED CORNEUS, ROLLED, MORTAR JOINT COLOR CEMENT GREY 2058
C.	EIFS - 2X2 (COLOR: LIGHT GREY)
D.	BUTT GLAZED INSUL. GLASS & ALUMINUM FRAME (COLOR: MEDIUM BRONZE)
E.	FIBER CEMENT HORIZONTAL SIDING (COLOR: LIGHT GREY)
F.	MEMBRANE ROOF & PARAPET
G.	METAL CAP/FLASHING & FIBER CEMENT FASCIA
Gg.	METAL CAP FLASHING
H.	GUTTER
J.	GAS CANOPY (TBD)
K.	SECURITY SHUTTER TRACK (MILL ALUM. FLOW)
L.	TBD
M.	TBD



1/14/2026



2 RIGHT ELEVATION
A202 1/4" = 1'-0"



1 LEFT ELEVATION
A202 1/4" = 1'-0"

MARYVILLE PK., GAS STATION
FOR SAM PATEL
 1102 Maryville Pike, Knoxville, Tn., 37920

DATE	ISSUE
1/14/2026	SPECIAL USE REVIEW
2/11/2026	Special Use Presentation

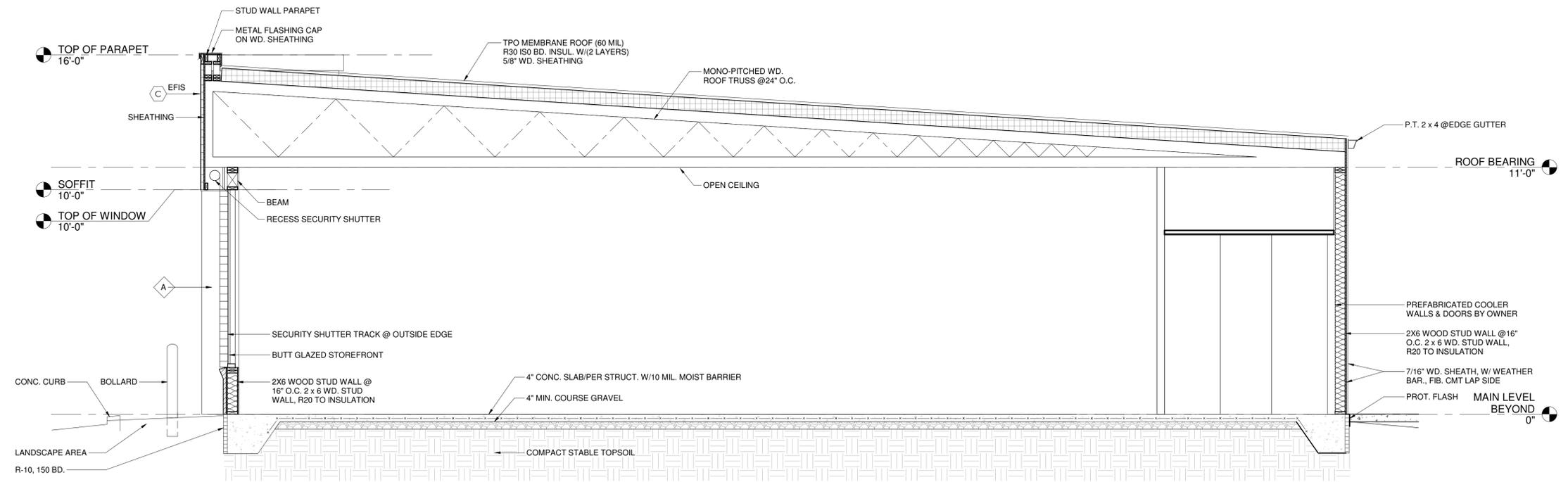
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EXTERIOR ELEVATIONS

A202

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1 BUILDING SECTION
A301 3/8" = 1'-0"

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1/14/2026

MARYVILLE PK., GAS STATION
FOR SAM PATEL
 1102 Maryville Pike, Knoxville, Tn., 37920

ISSUED FOR	DATE	DESCRIPTION

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BUILDING SECTION

A301

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