

# USE ON REVIEW SUBMITTAL

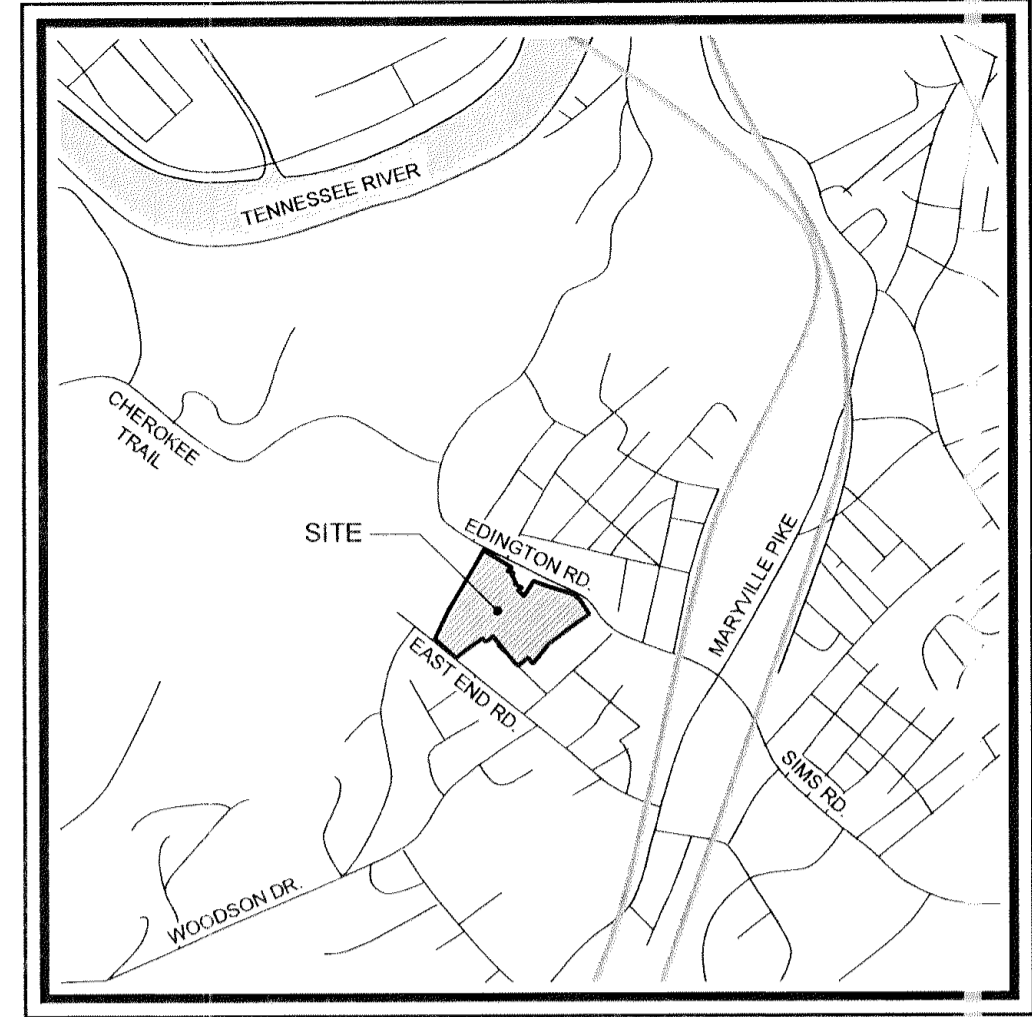
## SHEET SET:

- 1 SITE PLAN
- 2 GRADING & DRAINAGE PLAN
- 3 LANDSCAPE PLAN
- 4-6 ROAD PROFILES
- 7 AMENITIES & MAIL KIOSK DETAILS
- 8 ENTRANCE SIGNAGE & DUMPSTER DETAILS

LINE AND CURVE TABLE				
No.	Direction	Distance		
L1	S 44°35'27" W	43.8493		
L2	S 71°49'11" E	33.1442		
L3	S 66°40'18" W	24.0139		
L4	S 28°28'55" E	104.0573		
L5	S 75°22'26" W	12.1290		
L6	S 57°52'47" E	77.0084		
L7	S 50°16'53" W	34.2528		
L8	S 47°40'49" E	85.9997		
L9	N 51°37'13" E	173.0004		
L10	S 55°22'27" W	95.2406		
L11	S 54°08'49" W	128.7759		
L12	N 39°45'04" W	50.2593		
L13	S 54°02'44" W	34.5732		
L14	S 54°47'40" W	127.7578		
L15	N 37°17'36" W	49.4441		
L16	N 26°43'22" E	23.6700		

No.	Tangent	Arc	Radius	Chord	Chord Bearing
C1	57.41	109.66	150.00	107.23	S 52°46'45" E



VICINITY MAP  
SCALE: 1" = 2,000'

## PROJECT DATA:

PROPERTY OWNER: VARIOUS - SEE REZONE APPLICATION  
 AUTHORIZED AGENT: WILLIAMS & ASSOCIATES, LAND PLANNERS, P.C.  
 2470 DANIELLS BRIDGE ROAD, SUITE 161  
 ATHENS, GEORGIA 30606  
 P.O. BOX 6146  
 ATHENS, GEORGIA 30604

TAX PARCEL NUMBERS:  
 122EA003 122EA026  
 122EA0301 122EA02601  
 122EA009 122EA027  
 122EA00901 122EA046  
 122EA025 122EA02501

PROPERTY ADDRESS: EDINGTON ROAD

SURVEY: THIS DRAWING WAS PREPARED USING A BOUNDARY SURVEY WITH KGR TOPOGRAPHY BY W. SCOTT WILLIAMS & ASSOCIATES, DATED SEPTEMBER 16, 2008.

CONTOUR INTERVAL: 5 FEET

TOTAL PROJECT ACREAGE: 22.73 ACRES

EXISTING ZONING: RA, LOW DENSITY RESIDENTIAL  
 PROPOSED ZONING: PR, PLANNED RESIDENTIAL

EXISTING USE: RESIDENTIAL / VACANT  
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL

FLOODPLAIN: THIS PROPERTY IS NOT LOCATED IN A FLOODPLAIN (ZONE X) F.R. FEMA COMMUNITY NUMBER 475433, PANEL 0291F, EFFECTIVE DATE MAY 2, 2007.

PROPOSED UTILITIES: POWER, WATER, SEWER, TELEPHONE, CABLE TV

WATER SUPPLY, SEWAGE DISPOSAL, AND SOLID WASTE DISPOSAL TO BE PROVIDED BY KUB.

ALL UTILITIES SHALL BE LOCATED UNDERGROUND. UTILITIES SHALL NOT BE LOCATED IN ANY DRAINAGE EASEMENTS.

SURFACE DRAINAGE: WATER TO BE DIVERTED BY CURB AND GUTTER TO STORMWATER QUALITY POND.

SIGNAGE: TO BE UNDER SEPARATE PERMIT BY OTHERS

DEED RESTRICTIONS AND COVENANTS GOVERNING MAINTENANCE AND USE OF COMMON AREAS AND THOSE WITHIN EASEMENTS AS WELL AS STORMWATER MANAGEMENT WILL BE FILED WITH FINAL PLAT. HOMEOWNERS ASSOCIATION TO MANAGE.

LOT ACREAGES AND DIMENSIONS ARE APPROXIMATE. (SEE FINAL PLAT FOR EXACT ACREAGE AND DIMENSIONS.)

3-B-09-U1  
**U.O.R.**  
 DATE  
 REVISED  
 2-26-09

## ZONING AND SITE REQUIREMENTS:

PROPOSED ZONING: PR, PLANNED RESIDENTIAL  
 TOTAL SITE AREA: 22.73 ACRES

PROPOSED RESIDENTIAL UNITS: 65  
 PROPOSED DENSITY: 2.86 UNITS/ACRE

BUILDING SETBACKS: 35' PERIPHERAL SETBACK REQUIRED

PARKING REQUIRED: 1.5 SPACES PER UNIT = 98 SPACES  
 PARKING PROVIDED: 281 TOTAL SPACES (1.15 PER BEDROOM)  
 ADA SPACES REQUIRED: 7  
 ADA SPACES PROVIDED: 7

PARKING DIMENSIONS SHOWN AS REQUIRED FOR 90° PARKING:  
 9' x 17'-5" STALLS  
 26' WIDE DRIVE AISLES

\*NOTE: A REQUESTED VARIANCE WILL ALLOW THE PARKING STANDARDS FOR THE CITY OF KNOXVILLE TO BE USED INSTEAD OF THE KNOX COUNTY REQUIREMENTS.

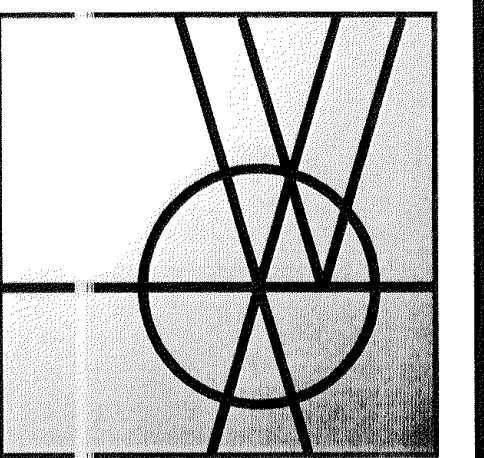
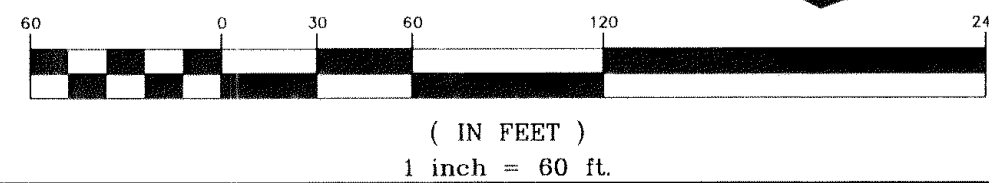
SITE COVERAGES:  
 BUILDINGS & PATIOS: 77,327 SF = 7.8% OF SITE  
 ASPHALT & CURBS: 131,840 SF = 13.3% OF SITE  
 SIDEWALKS: 22,233 SF = 2.2% OF SITE  
 TOTAL IMPERVIOUS: 231,399 SF = 23.4% OF SITE  
 TOTAL PERVIOUS (LANDSCAPE): 758,609 SF = 76.6% OF SITE

NOTES: ALL BUILDINGS ARE SHOWN WITH A MINIMUM SEPARATION OF 13 FEET.

## DWELLING UNITS:

Building #	Quantity	Bedrooms	Total Bedrooms	% of Total Buildings
1	10	4	40	19%
2	15	4	60	28%
3	7	4	28	13%
4	11	5	55	20%
5 (2-3 duplex)	5	5	25	9%
6 (3-3 duplex)	6	6	36	11%
Total Bldgs	54		244	100%
Total Units	65			

GRAPHIC SCALE



**Williams & Associates**

ENGINEERING CONSULTANTS,  
 LANDSCAPE ARCHITECTS &  
 PLANNERS

2470 Daniels Bridge Rd., Suite 161  
 Athens, Georgia 30606  
 P. 706.310.0400  
 F. 706.310.0411

www.gapanning.com

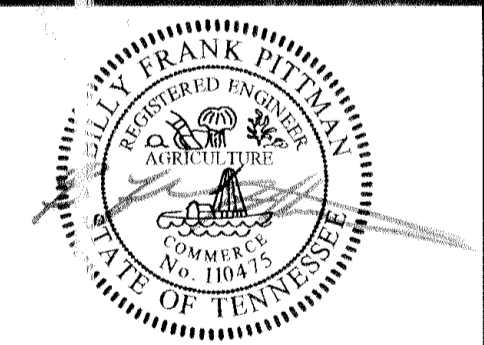
THE RETREAT AT KNOXVILLE

KNOXVILLE, TENNESSEE  
 22.73 ACRES

DATE: 12/22/2008

## REVISIONS

DATE	COMMENT

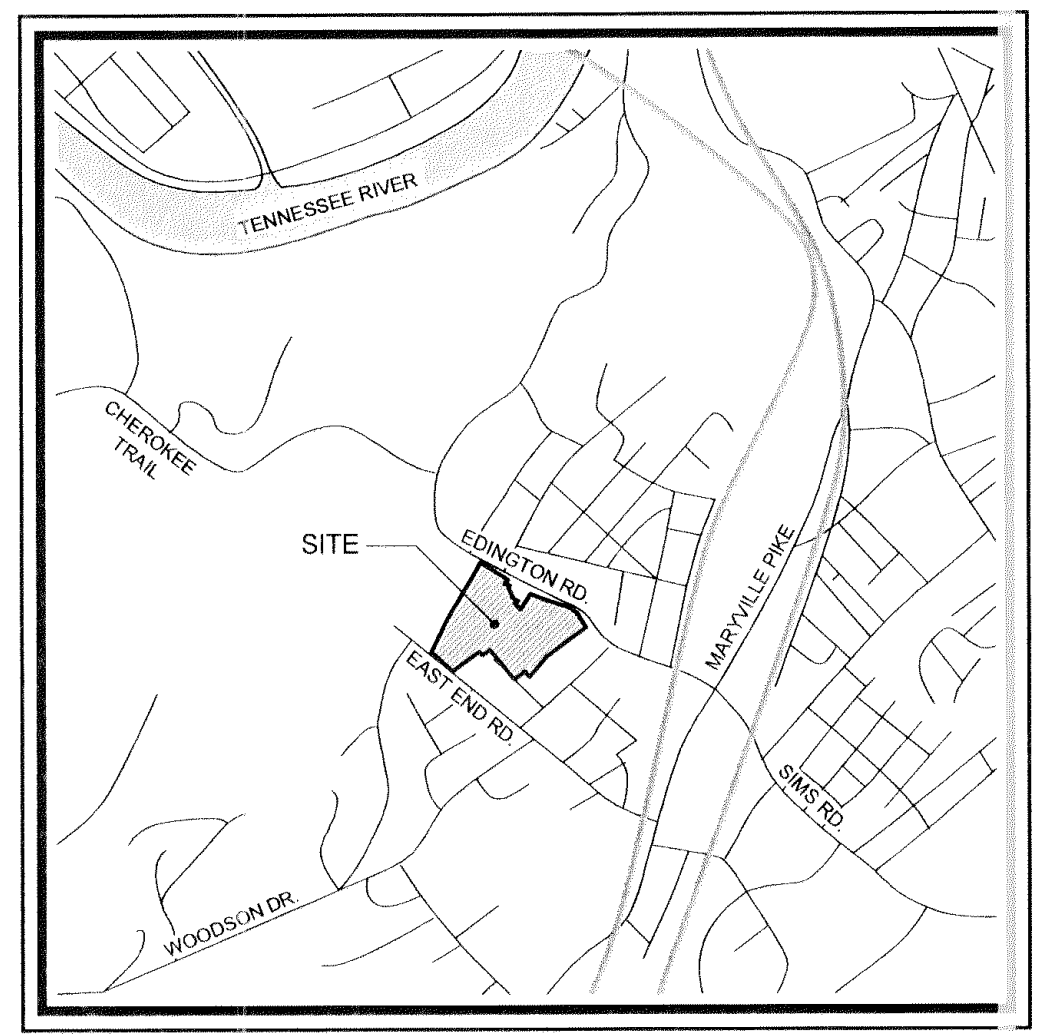
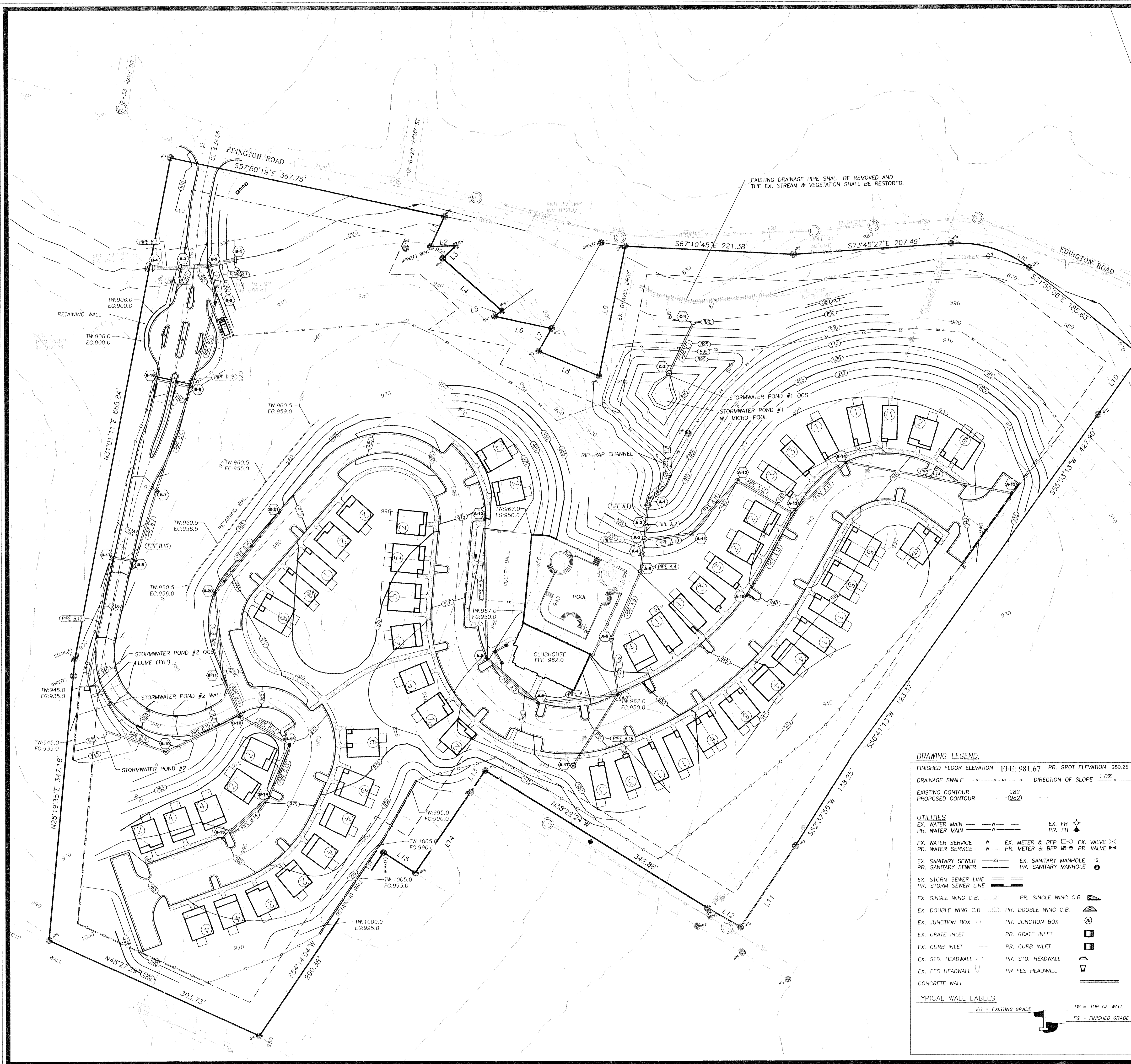


ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

080710

SITE PLAN

01



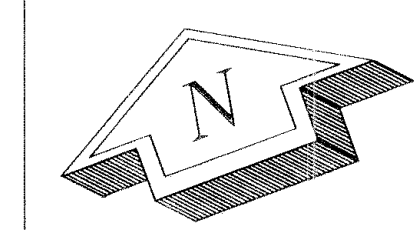
VICINITY MAP  
SCALE: 1"=2,000'

GRADING NOTES:

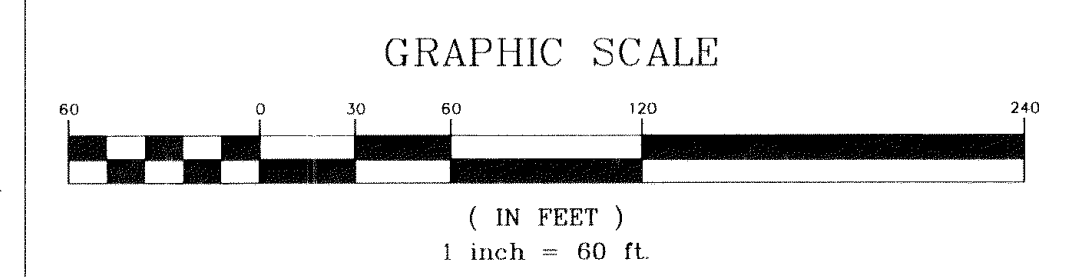
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE SITE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF ALL EXISTING UTILITIES (ABOVE OR BELOW GROUND) AS SHOWN ON THESE PLANS ARE APPROXIMATE. WILLIAMS & ASSOCIATES DOES NOT GUARANTEE THAT THE EXISTING UTILITIES LOCATIONS SHOWN ARE EXACT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXACT LOCATIONS OF EXISTING UTILITIES (ABOVE OR BELOW GROUND) BEFORE BEGINNING ANY CONSTRUCTION.
- THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES AND THE UTILITIES PROTECTION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF EXISTING UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ENGINEER OF ANY UTILITY CONFLICTS WITH THE PROPOSED IMPROVEMENTS AS SHOWN ON PLANS. CONTRACTOR SHALL NOTIFY WILLIAMS & ASSOCIATES WITHIN 24 HOURS OF THE DISCOVERY OF UTILITY CONFLICTS. ANY DAMAGE TO SUCH UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL ADHERE TO:
  - ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
  - THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA.
  - ALL "GOVERNING AGENCY" ORDINANCES AND DEVELOPMENT REQUIREMENTS AS DEFINED BY GOVERNING AGENCIES RULES AND REGULATIONS.
- SITE GRADING SHALL NOT PROCEED UNTIL TREE PROTECTION FENCING, EROSION CONTROL AND MONITORING EQUIPMENT HAS BEEN INSTALLED.
- SITE CLEARING AND GRADING SHALL NOT PROCEED UNTIL 14 DAYS AFTER AN NOI HAS BEEN FILED WITH THE APPROPRIATE NRCS FIELD OFFICE.
- GRADES SHOWN HEREON ARE FINISHED GRADES. ALL SPOT ELEVATIONS ARE AT FINISHED GRADE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE SUBGRADES.
- CONTOUR INTERVAL 5' - TOPOGRAPHY IS FROM A FIELD RUN SURVEY BY W. SCOTT WILLIAMS & ASSOCIATES DATED 1-14-2009.
- ALL SLOPES ARE TO BE GRADED AT A MAXIMUM OF 2' HORIZONTAL TO 1' VERTICAL.
- ALL FILL MATERIAL IN THE PAVED AREAS TO BE COMPACTED TO 98 % OF THE STANDARD PROCTOR DENSITY. ALL FILL MATERIAL IN THE PROPOSED BUILDING AREA AND UNDERNEATH ALL FOOTINGS IS TO BE COMPACTED TO 100% STANDARD PROCTOR DENSITY. UNDERCUTTING IS REQUIRED IN ALL AREAS WHERE MATERIALS ARE DETERMINED TO BE UNSUITABLE FOR STRUCTURAL BACKFILL MATERIAL.
- ALL DISCREPANCIES IN THE EXISTING OR PROPOSED GRADING PLAN SHOULD BE REPORTED TO WILLIAMS & ASSOCIATES IMMEDIATELY.
- TREES, STUMPS, ROOTS, DEBRIS, JUNK AND OTHERWISE DELETERIOUS MATERIAL NOT TO BE BURIED OR DISPOSED OF ON SITE.
- ALL AREAS TO BE GRADED ARE TO BE CLEARED AND HAVE TOPSOIL REMOVED AND STOCKPILED. FILL AREAS SHOULD BE SCARIFIED TO A DEPTH OF 6" PRIOR TO PLACING FILL MATERIAL.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATIONS SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES INDICATED ON THE EROSION CONTROL PLANS. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH CITY/COUNTY SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- FFE = FINISHED GROUND FLOOR ELEVATION.
- ALL PROPOSED UTILITIES ARE UNDERGROUND.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. GRADES ALONG ACCESSIBLE ROUTES SHALL NOT EXCEED 5 %, GRADES ALONG HANDICAP RAMPS SHALL NOT EXCEED 8.33%.
- PRIOR TO PERFORMING ANY LAND DISTURBING ACTIVITIES OR WHEN WORK IS TO BE PERFORMED WITHIN 10 FEET OF HIGH VOLTAGE OVERHEAD POWER LINES, THE CONTRACTOR IS REQUIRED BY LAW TO NOTIFY THE UTILITY PROTECTION CENTER AT 811. A 72 HOUR ADVANCED NOTICE IS REQUIRED.
- CONCRETE FOR SITE WORK SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- RETAINING WALL OVER 4' IN HEIGHT AND PART OF INITIAL INFRASTRUCTURE WILL BE REQUIRED TO BE INSPECTED BY DESIGN PROFESSIONAL OR REPRESENTATIVE AND THE INSPECTION REPORT WILL BE REQUIRED AT TIME OF SO.

DRAWING LEGEND:

- FINISHED FLOOR ELEVATION FFE: 981.67 PR. SPOT ELEVATION 990.25 X  
DRAINAGE SWALE ---> DIRECTION OF SLOPE 1.0%  
EXISTING CONTOUR 982  
PROPOSED CONTOUR 982
- UTILITIES  
EX. WATER MAIN --- W --- EX. FH ---  
PR. WATER MAIN --- W --- PR. FH ---
- EX. WATER SERVICE --- W --- EX. METER & BFP --- EX. VALVE ---  
PR. WATER SERVICE --- W --- PR. METER & BFP --- PR. VALVE ---
- EX. SANITARY SEWER --- SS --- EX. SANITARY MANHOLE --- S ---  
PR. SANITARY SEWER --- SS --- PR. SANITARY MANHOLE --- S ---
- EX. STORM SEWER LINE --- S ---  
PR. STORM SEWER LINE --- S ---
- EX. SINGLE WING C.B. --- G --- PR. SINGLE WING C.B. --- G ---  
EX. DOUBLE WING C.B. --- G --- PR. DOUBLE WING C.B. --- G ---
- EX. JUNCTION BOX --- J --- PR. JUNCTION BOX --- J ---  
EX. GRATE INLET --- I --- PR. GRATE INLET --- I ---  
EX. CURB INLET --- C --- PR. CURB INLET --- C ---  
EX. STD. HEADWALL --- H --- PR. STD. HEADWALL --- H ---  
EX. FES HEADWALL --- F --- PR. FES HEADWALL --- F ---  
CONCRETE WALL --- W ---
- TYPICAL WALL LABELS  
EG = EXISTING GRADE TW = TOP OF WALL  
FG = FINISHED GRADE



**BEFORE YOU DIG  
UTILITIES PROTECTION CENTER**  
CALL 811  
KNOW WHAT'S BELOW  
CALL BEFORE YOU DIG  
THREE WORKING DAYS BEFORE YOU DIG

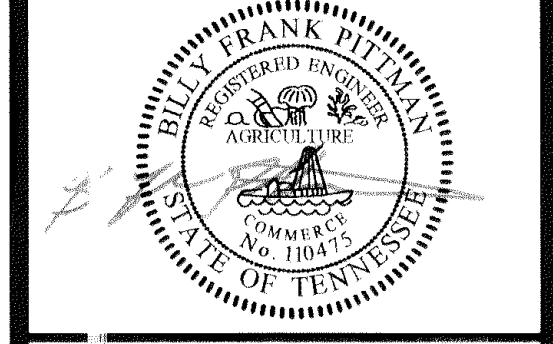


**Williams & Associates**  
ENGINEERING CONSULTANTS,  
LANDSCAPE ARCHITECTS &  
PLANNERS  
270 Daniels Bridge Rd., Suite 161  
Athens, Georgia 30606  
P. 706.310.0400  
F. 706.310.0411  
www.gaplanning.com

THE RETREAT AT KNOXVILLE  
KNOXVILLE, TENNESSEE  
22.73 ACRES

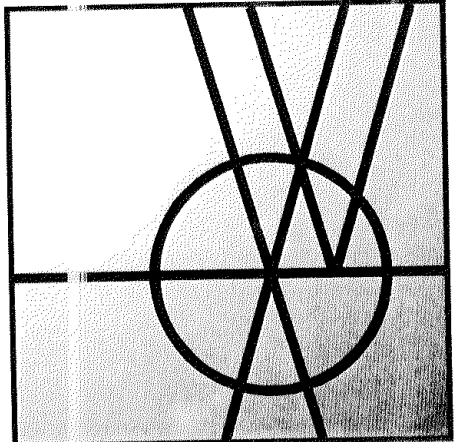
DATE: 12/22/2008

REVISIONS	
DATE	COMMENT



ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

080710  
GRADING &  
DRAINAGE PLAN  
02



**Williams & Associates**

ENGINEERING CONSULTANTS,  
LANDSCAPE ARCHITECTS &  
PLANNERS

240 Daniels Bridge Rd., Suite 161  
Athens, Georgia 30606  
P. 706.310.0400  
F. 706.310.0411

www.gapanning.com

THE RETREAT AT KNOXVILLE

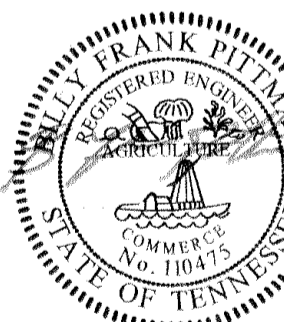
KNOXVILLE, TENNESSEE

22.73 ACRES

DATE: 12/22/2008

REVISIONS

DATE	COMMENT

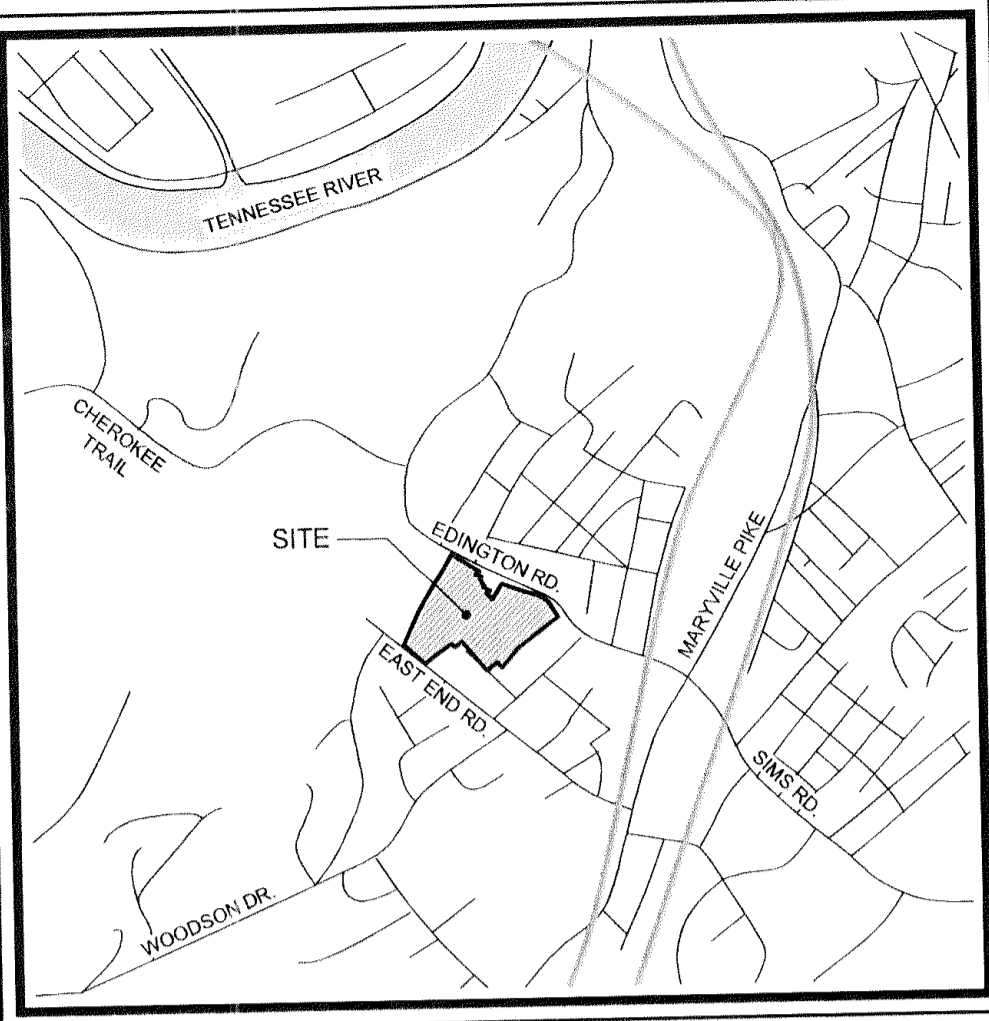
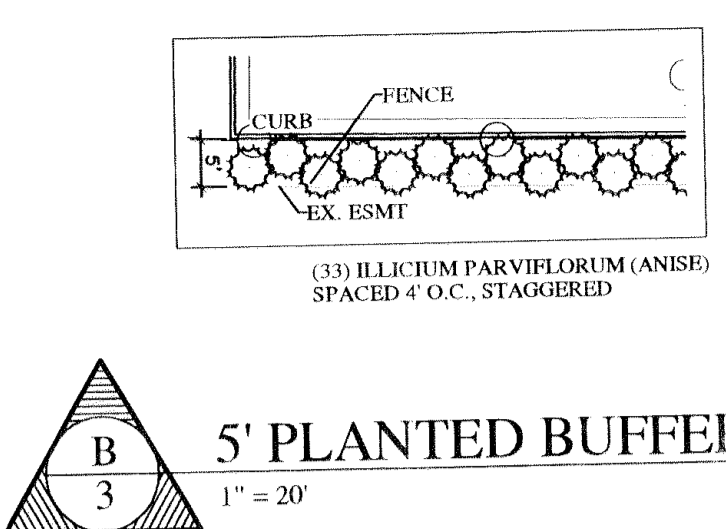
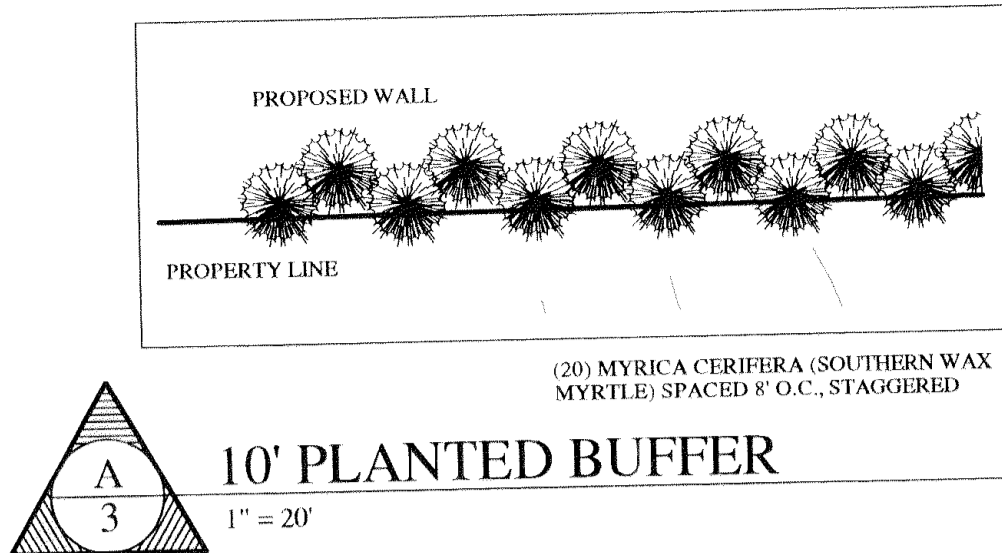


ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THE SPECIFIC PROJECT WILLIAMS & ASSOCIATES HAS RETAINED ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

080710

LANDSCAPE PLAN

03



VICINITY MAP

SCALE: 1" = 2,000'

PLANTING NOTES:

ALL PLANTS SUBJECT TO APPROVAL OF LANDSCAPE ARCHITECT AND PROPERTY OWNER BEFORE, DURING, AND AFTER INSTALLATION.

ALL PLANTS ARE TO BE HEALTHY, PEST FREE, AND CONFORM TO ALL REQUIREMENTS SPECIFIED BY THE LANDSCAPE ARCHITECT.

MULCH ALL BEDS WITH PINE STRAW AT 3" SETTLED DEPTH.

QUANTITIES ON PLANT SCHEDULE SHOULD BE VERIFIED BY CONTRACTOR PRIOR TO ORDERING MATERIALS.

CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO BEGINNING WORK AND IS RESPONSIBLE FOR ANY DAMAGE THEY CAUSE TO UTILITIES.

ALL PLANTING TECHNIQUES SHALL CONFORM TO STANDARD PRACTICES AND ARE SUBJECT TO REVIEW BY LANDSCAPE ARCHITECT.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL AND PLANTING AREAS INCLUDING BUT NOT LIMITED TO SHRUBS, TREES, LAWN AND ANNUAL BEDS. MAINTENANCE TO INCLUDE WATERING, MULCHING, SPRAYING, MOWING, FERTILIZING, WEEDING ETC. MAINTENANCE TO CONTINUE UNTIL PROJECT ACCEPTED IN FULL BY OWNERS.

LANDSCAPE CONTRACTOR TO GUARANTEE ALL PLANT MATERIAL IN FULL FOR ONE YEAR FROM DATE OF ACCEPTANCE BY OWNER.

THE OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE THROUGHOUT THE GUARANTEE PERIOD.

A MINIMAL AMOUNT OF FINE GRADING MAY BE REQUIRED TO MAINTAIN A POSITIVE FLOW AWAY FROM STRUCTURES AND TO DRAINAGE AREAS. THIS WILL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.

THE LOCATION OF SODDED AREAS AND BEDLINES SHALL BE VERIFIED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS OR PERMANENT BEDLINES.

ALL SHRUBS SHOULD BE WELL-GROWN 3 GALLON OR LARGER MATERIAL.

TREES SHOULD BE A MINIMUM OF 2.5" CALIPER AND 10' TALL.

STAKE ALL TREES AS SHOWN IN DETAIL IMMEDIATELY AFTER PLANTING.

FERTILIZE ALL TREES AND SHRUBS TWICE YEARLY WITH 10-10-10, (APRIL AND JULY).

SELECTIVE PRUNING TO BE DONE ON SHRUBS IN FEBRUARY, MAY, AND JULY TO MAINTAIN NATURAL SHAPE AND FULLNESS.

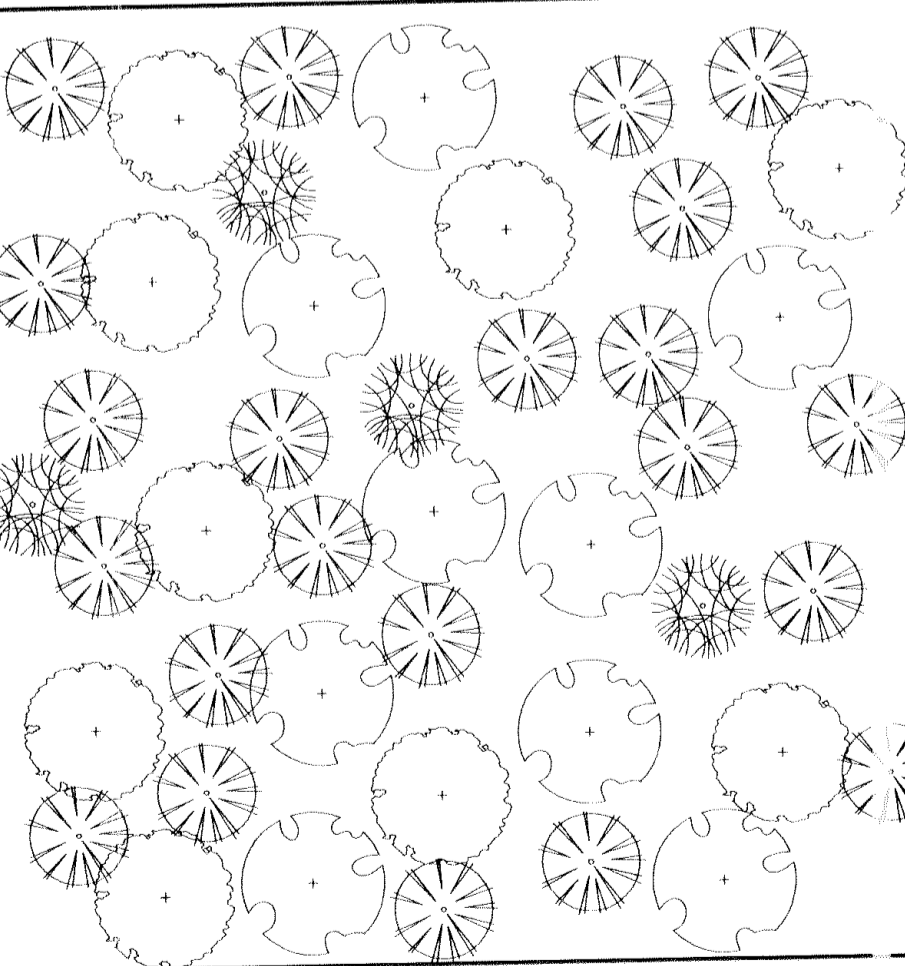
SELECTIVE PRUNING TO BE DONE ON TREES IN FEBRUARY AS NEEDED TO MAINTAIN DESIRED SHAPE AND LIMB HEIGHT.

REFORESTATION NOTES:

REFORESTATION AREAS SHALL BE PLANTED WITH PINES, OAKS, TULIP POPLARS, AND MAGNOLIAS. THESE AREAS SHALL REPLICATE THE EXISTING NATURAL SURROUNDING AREAS. ALL MATERIALS SHALL BE PLACED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

REFORESTATION TREES SHALL BE PLANTED 15' ON CENTER AND SHALL BE 3' TO 4' FEET AT TIME OF PLANTING. TREES SHALL BE 1 GALLON OR BARE ROOT IF AVAILABLE.

SLOPES GREATER THAN 3:1 IN REFORESTATION AREAS SHALL BE MATTED PRIOR TO PLANTING.



GRAPHIC SCALE



( IN FEET )  
1 inch = 60 ft.

Total Reforestation Area (approximate):	184.081	SF =	4.23	AC
Average spacing:	15	FT O.C.		
Total trees to be planted:	818			

50%	PINES	=	409
20%	OAKS	=	164
20%	TULIP POPLARS	=	164
10%	MAGNOLIAS	=	82
	Total:		818

TREES PER 100' X 100' AREA OF REFORESTATION

- PINES (22)
- OAKS (9)
- TULIP POPLARS (9)
- MAGNOLIAS (4)

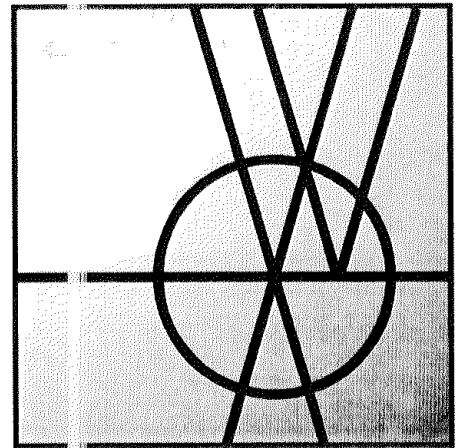
NOTE: TREES SHALL BE SPACED 15' ON CENTER (AVERAGE)

BEFORE YOU DIG  
UTILITIES PROTECTION CENTER

CALL 811

KNOW WHAT'S BELOW  
CALL BEFORE YOU DIG  
THREE WORKING DAYS BEFORE YOU DIG

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
(40)	Quercus shumardii	SHUMARD OAK	MIN. 2" CAL., 10' HT.



**Williams & Associates**

ENGINEERING CONSULTANTS,  
LANDSCAPE ARCHITECTS &  
PLANNERS

2410 Daniels Bridge Rd., Suite 161  
Athens, Georgia 30606  
P. 706.310.0400  
F. 706.310.0411

www.gapanning.com

# THE RETREAT AT KNOXVILLE

KNOXVILLE, TENNESSEE

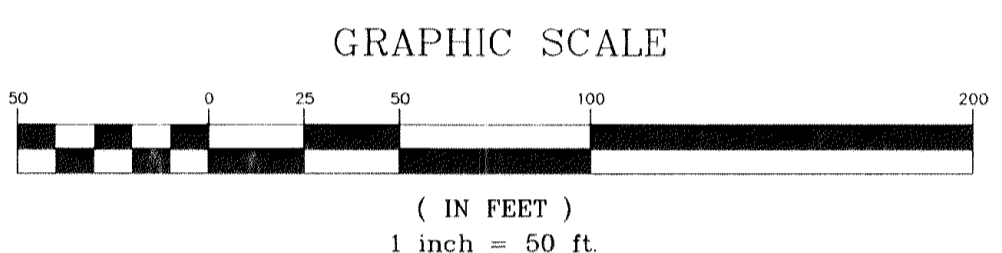
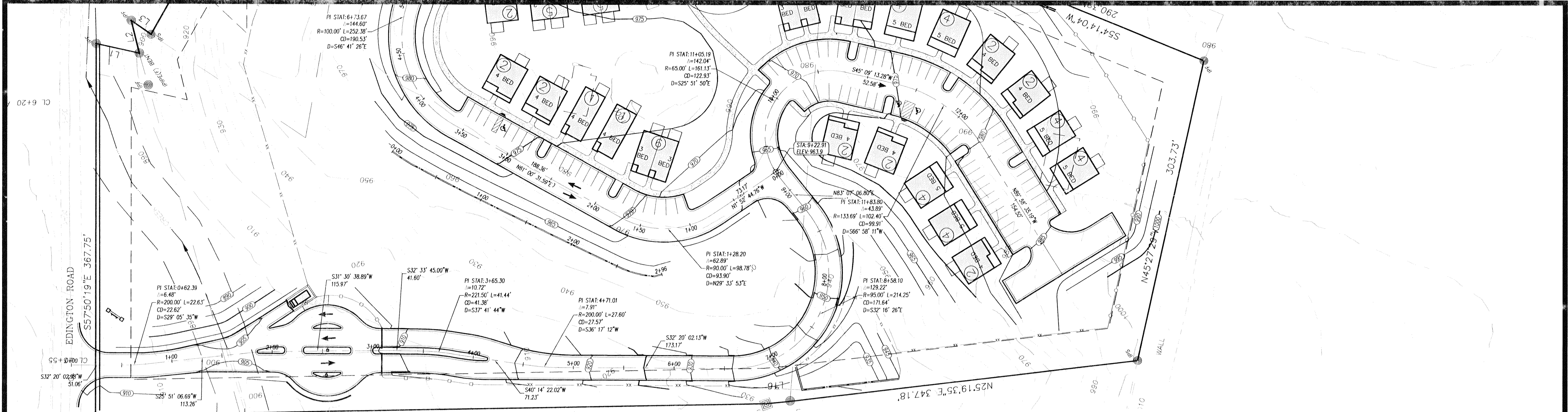
22.73 ACRES

DATE: 12/22/2008

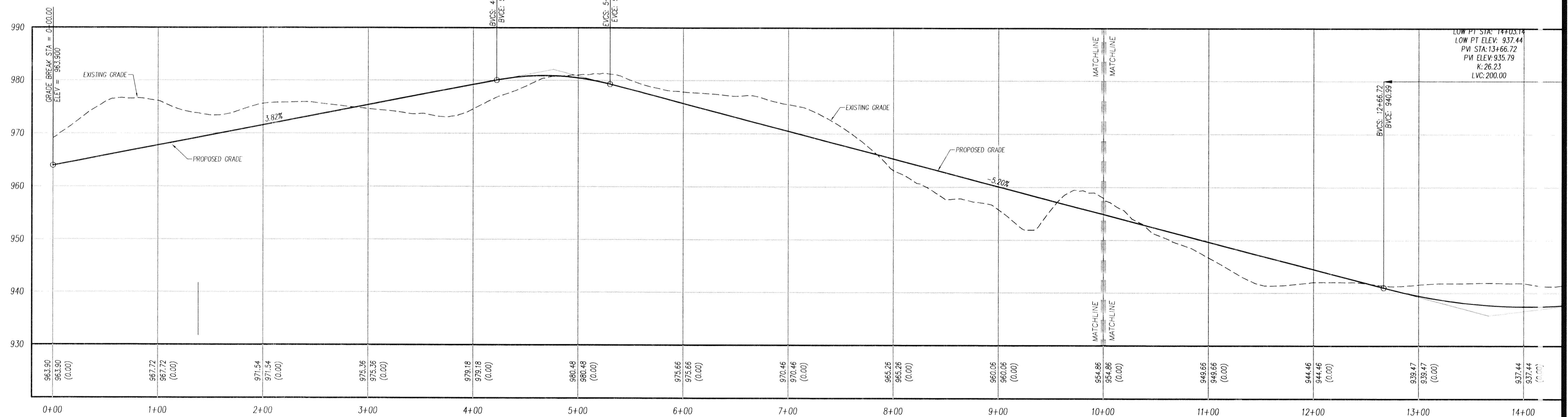
## REVISIONS

DATE COMMENT

1/1/11

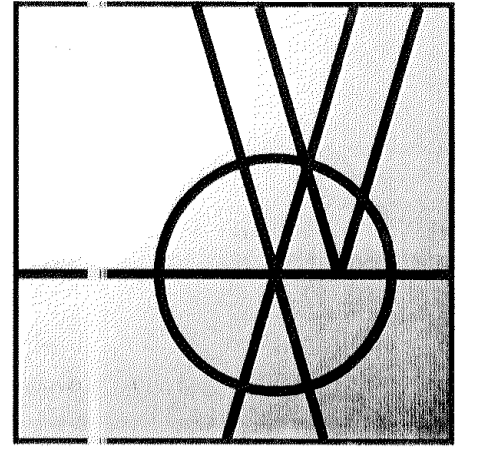


HIGH PT STA: 4+67.98  
HIGH PT ELEV: 980.91  
PVI STA: 4+76.22  
PVI ELEV: 982.09  
K: 11.95  
LVC: 107.83



SUBDIVISION RD  
Horz: 1"=50'  
Vert: 1"=10'

3-B-09-UR  
REVISED  
2-26-09



**Williams & Associates**

ENGINEERING CONSULTANTS,  
LANDSCAPE ARCHITECTS &  
PLANNERS

2470 Daniels Bridge Rd. Suite 161  
Athens, Georgia 30606  
P: 706.310.0400  
F: 706.310.0411

www.gapanning.com

# THE RETREAT AT KNOXVILLE

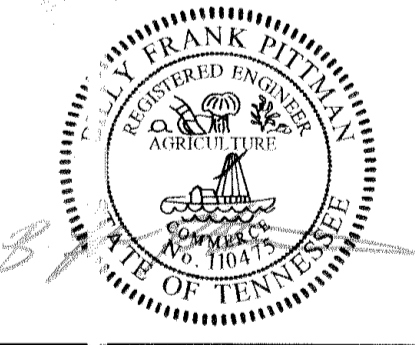
KNOXVILLE, TENNESSEE

22.73 ACRES

DATE: 12/22/2008

## REVISIONS

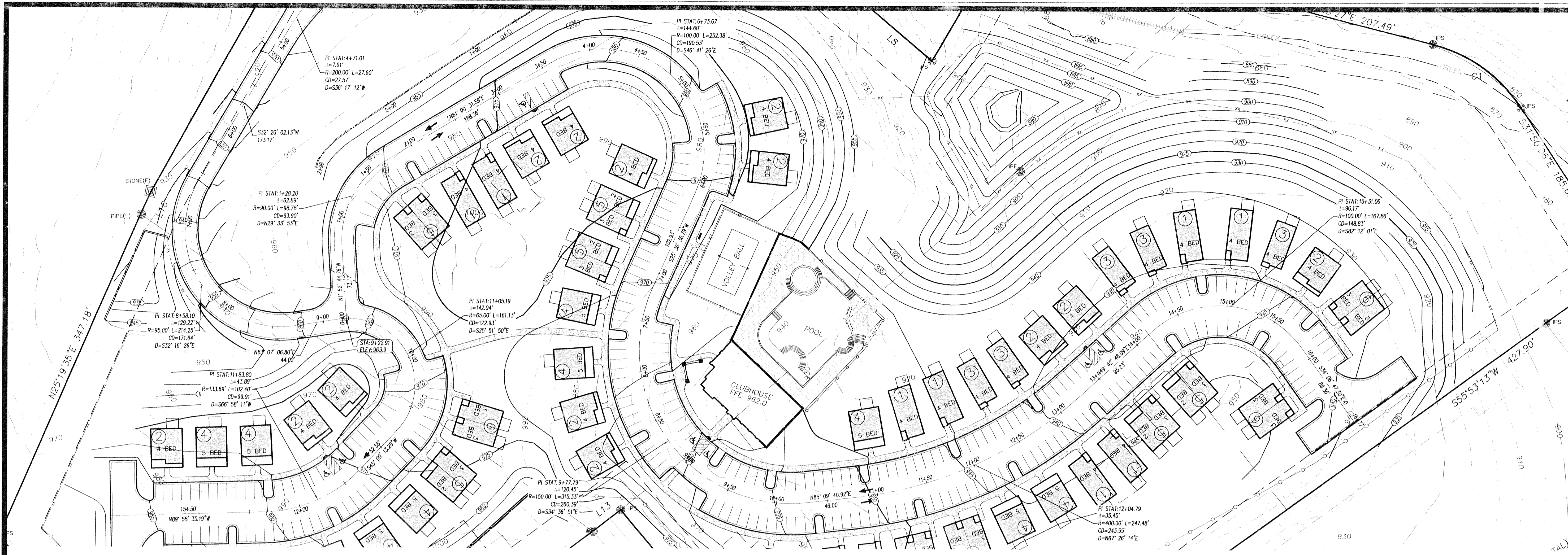
DATE	COMMENT
11/11	



ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

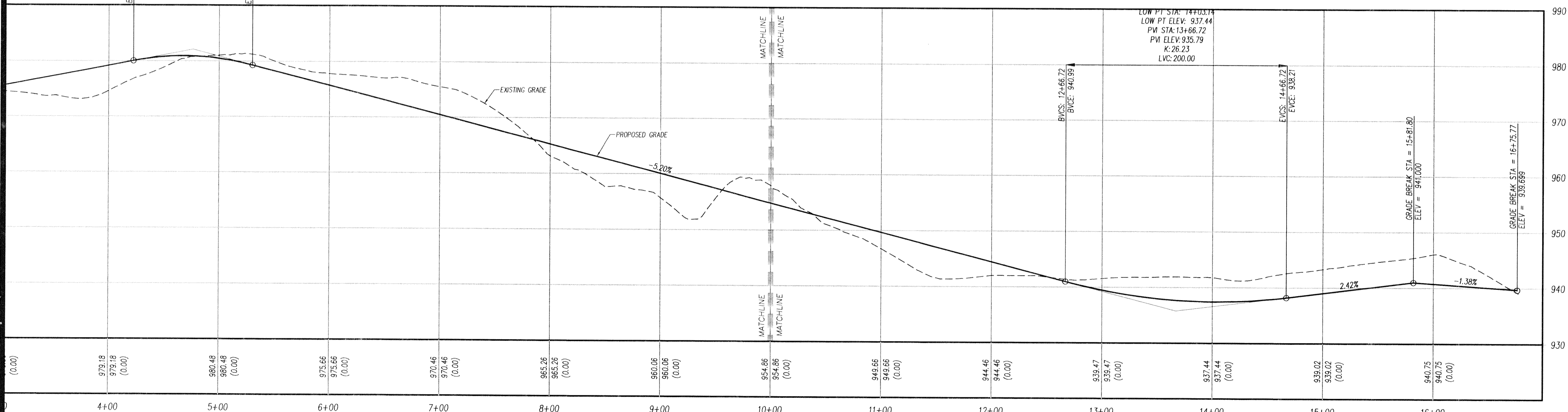
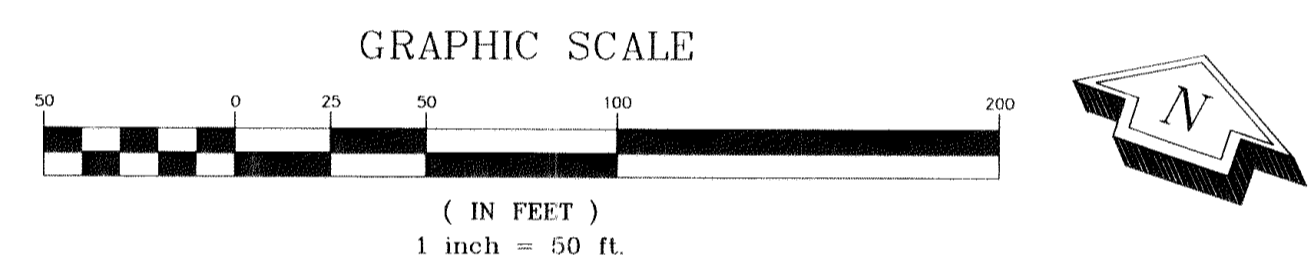
080710  
ROAD PROFILES

05



HIGH PT STA: 4+67.98  
HIGH PT ELEV: 980.91  
PM STA: 4+76.22  
PM ELEV: 982.09  
K: 11.95  
LVC: 107.83

BVC: 4+22.31  
EVC: 980.23  
BVC: 5+30.14  
EVC: 979.29



**SUBDIVISION RD**  
Horz: 1"=50'  
Vert: 1"=10'

3-B-09-CLR  
**REVISED**  
2-26-09



**Williams & Associates**  
ENGINEERING CONSULTANTS,  
LANDSCAPE ARCHITECTS &  
PLANNERS

270 Daniels Bridge Rd. Suite 161  
Athens, Georgia 30606  
P. 706.310.0400  
F. 706.310.0411

[www.gaplaning.com](http://www.gaplaning.com)

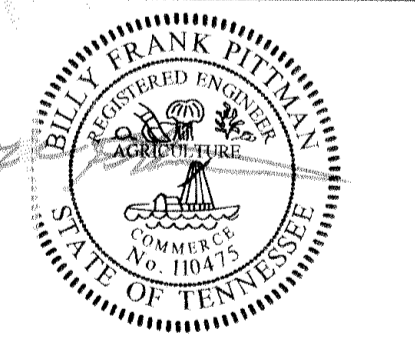
**THE RETREAT AT KNOXVILLE**

KNOXVILLE, TENNESSEE

22.73 ACRES

DATE: 12/22/2008

REVISIONS	
DATE	COMMENT
11/11/08	



3-B-09-CLR  
**REVISED**  
2-26-09

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

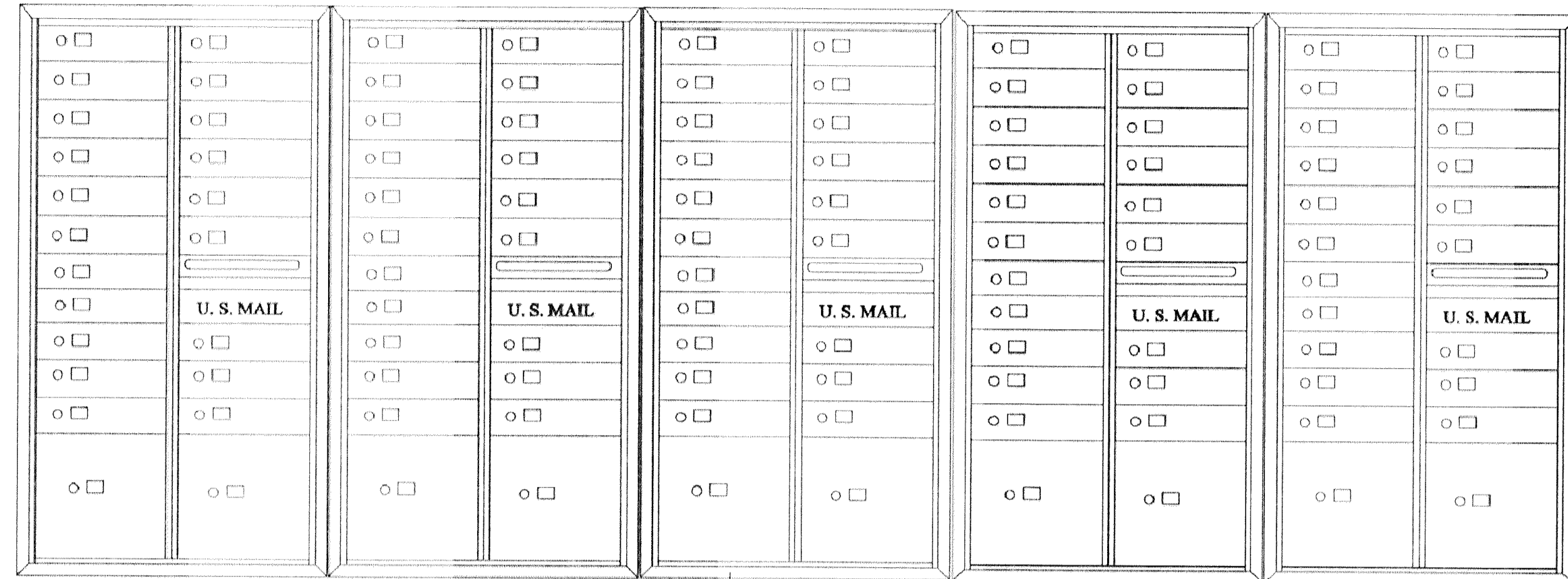
**080710**  
**ROAD PROFILES**

**06**

Security Manufacturing Corporation  
Grapevine, TX

A Single Source For All Your Mailbox Needs

162 21/32" O.A.  
161 5/32" R.O.



58 5/16" O.A.  
56 13/16" R.O.

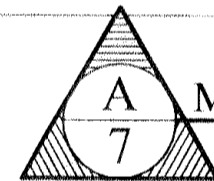
3/4" Integral Perimeter Trim

**SPECIFICATIONS:** DEPTH: 18 21/32" O.A.

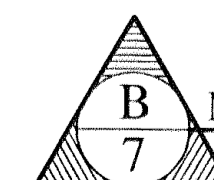
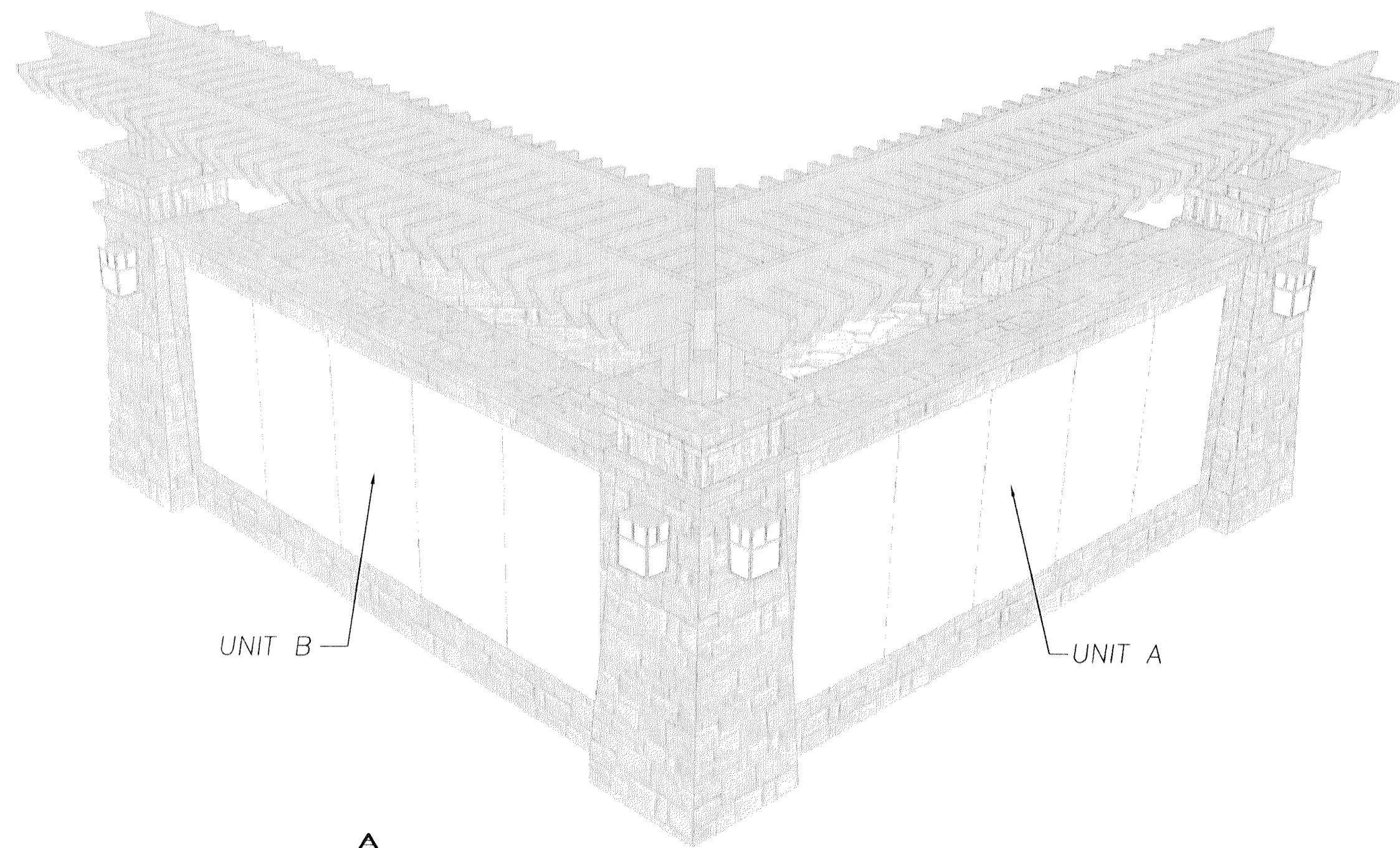
- Horizontal 4C Apartment Mailboxes
- 4C Series Front Loading (F.L.)
- U.S.P.S. approved
- Extruded aluminum
- Powder Coat Finishes
- 1/4" thick carrier access & parcel doors
- 3/16" thick customer doors
- 5-pin cam locks w/ 7 gauge (.18") thick hook cam
- 3/4 in. integral perimeter trim
- Engraved 3/4" numbers on doors
- 100 tenant boxes, 10 parcels & 5 outgoing

2 WALLS THE SAME

Security Mfg. Corp. / Grapevine, TX / 1-800-PO-BOXES  
Horizontal 4C Series FL  
Total Bldg Supplies- Retreat Tuscaloosa  
Dwg#: SMC4C5-20 / 7-18-08 / By: CR



**MAILBOX UNITS - PHASE I - UNITS A&B - 100 BOXES EACH**  
SCALE: N.T.S.



**MAIL KIOSK PERSPECTIVE PHASE I**  
SCALE: N.T.S.

NOTE:  
ANY DISCREPANCIES SHALL BE REPORTED TO WILLIAMS AND ASSOCIATES IMMEDIATELY.

**GENERAL INSTALLATION INSTRUCTIONS FOR HORIZONTAL 4C SMC1-08**

1. UNIT IS FRONT HEAVY, USE CAUTION WHEN LIFTING AND INSTALLING.
2. BOX TO BE LAID FLAT. WHEN ITEM IS UPRIGHT, BOX MAY TIP OVER AND CAUSE INJURY.
3. WALL MOUNT OPENING SHOULD BE SQUARE AND OF HIGH QUALITY TO ENSURE UNIT FUNCTIONS PROPERLY AND IS SECURE.
4. UNIT MUST BE FULLY FRAMED WITH 2x4's.
5. 2x4 FRAME MUST BE FASTENED TO FLOOR.
6. 1/2" THICK MAXIMUM DRYWALL OR SHEETROCK.
7. CENTER OF THE UPPER MOST PATRON LOCK MUST BE NO MORE THAN 67" FROM FLOOR.
8. TOP SURFACE OF BOTTOM SHELF MUST BE NO LESS THAN 15" FROM FLOOR.
9. WITH THE MASTER DOOR OPEN AND THE HOLD-OPEN DEVICE ENGAGED, MOUNT THE UNIT TO THE PREPARED FRAME USING THE #10 x 1-1/4" SHEET METAL SCREWS PROVIDED. THE MOUNTING HOLES ARE LOCATED ON ALL FOUR SIDES OF THE UNIT JUST BEHIND THE PERIMETER TRIM.

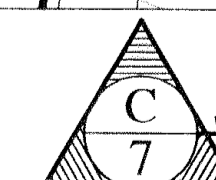
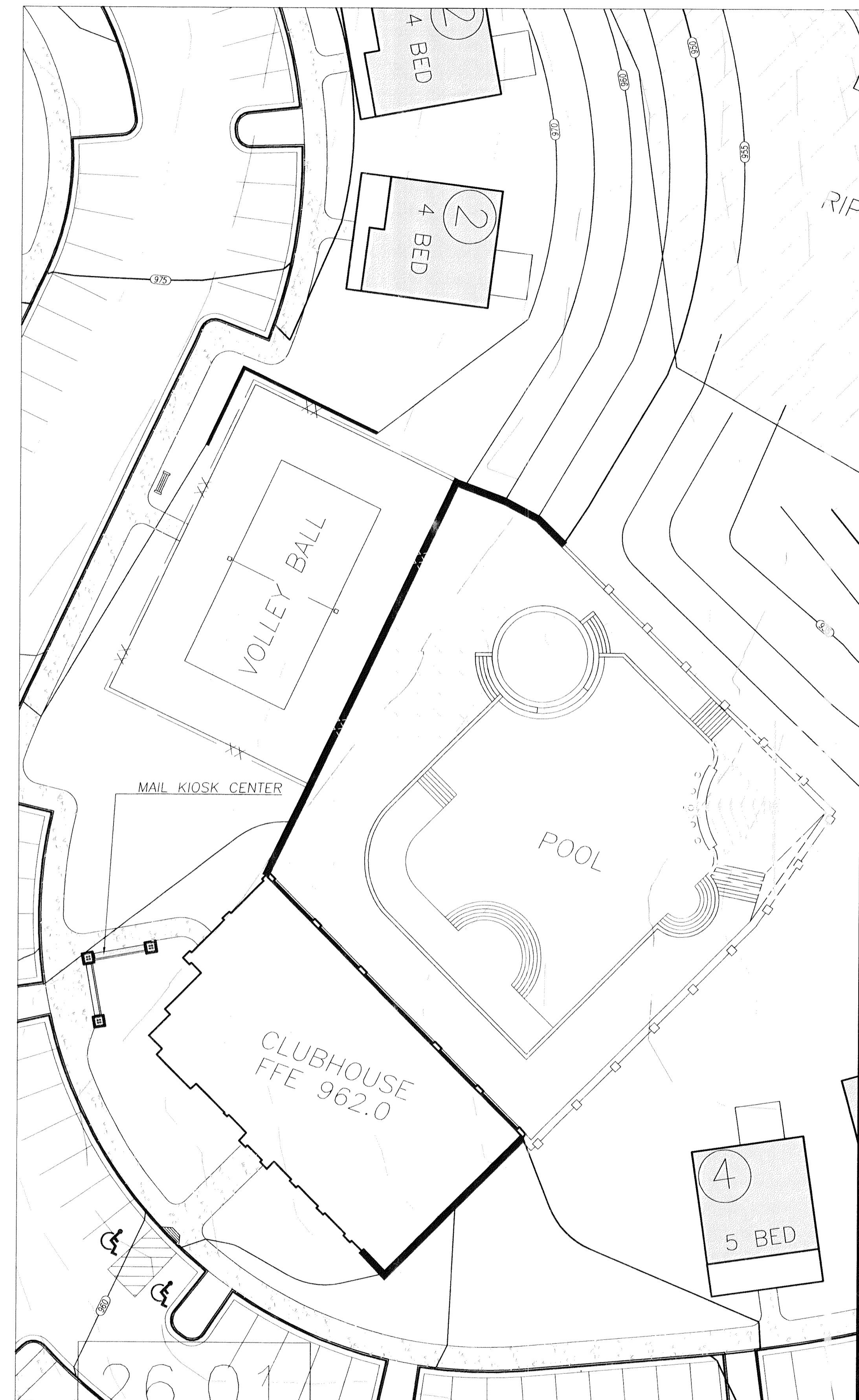
NOTE:  
MAIL KIOSK COLUMNS SHALL FEATURE LIGHTING FIXTURES. SEE AMENITY, ENTRANCE AND LIGHTING SHEETS FOR SPECIFIC LOCATIONS.

NOTE:  
DIMENSIONS SHOWN FOR MAIL BOXES ARE SHOWN AS ROUGH OPENINGS FOR EACH UNIT. THE INSTALLER IS TO FOLLOW SPECIFIC DIRECTIONS FROM MANUFACTURER AND EXACT DIMENSIONS AND DETAILS OF CONSTRUCTION SHALL BE VERIFIED IN THE FIELD AT THE TIME OF INSTALLATION.

NOTE:  
CONTRACTOR AND OWNER TO DETERMINE TECHNIQUE FOR INSTALLATION OF PHASE II MAIL UNITS. IF PHASE II IS NOT INSTALLED AT THE SAME TIME AS PHASE I, THEN A TEMPORARY PLACE HOLDER, SUCH AS A MESSAGE BOARD, IS TO BE USED UNTIL PHASE II MAIL UNITS CAN BE INSTALLED IN THE SAME MANNER AS PHASE I.

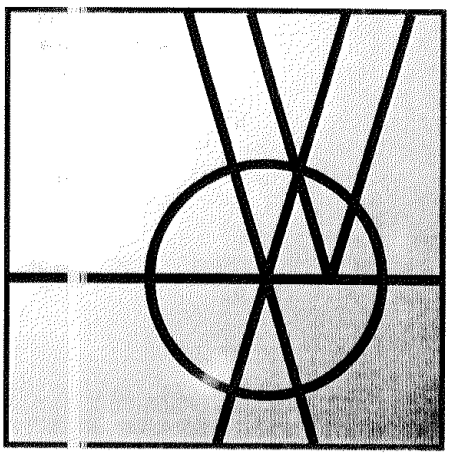
NOTE:  
MATERIALS SUCH AS CAPSTONES AND COLUMN FACADES TO BE COORDINATED WITH OWNER AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

NOTE:  
ALL COLUMNS SHALL BE STAKED IN THE FIELD BY A LICENSED SURVEYOR.



**SIGN & DUMPSTER LOCATION**  
SCALE: 1"=20'

3-B-09-012  
**REVISED**  
2-26-09



**Williams & Associates**

ENGINEERING CONSULTANTS,  
LANDSCAPE ARCHITECTS &  
PLANNERS

2470 Daniells Bridge Rd. Suite 101  
Athens, Georgia 30606  
P. 706.310.0400  
F. 706.310.0411

www.gaplaning.com

THE RETREAT AT KNOXVILLE

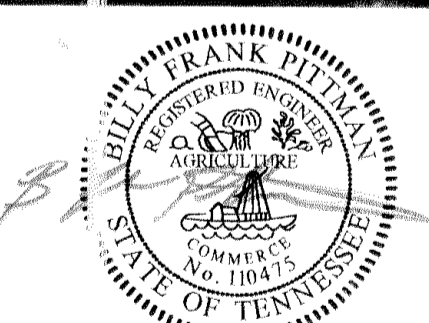
KNOXVILLE, TENNESSEE

22.73 ACRES

DATE: 12/22/2008

**REVISIONS**

DATE	COMMENT
12/22/08	

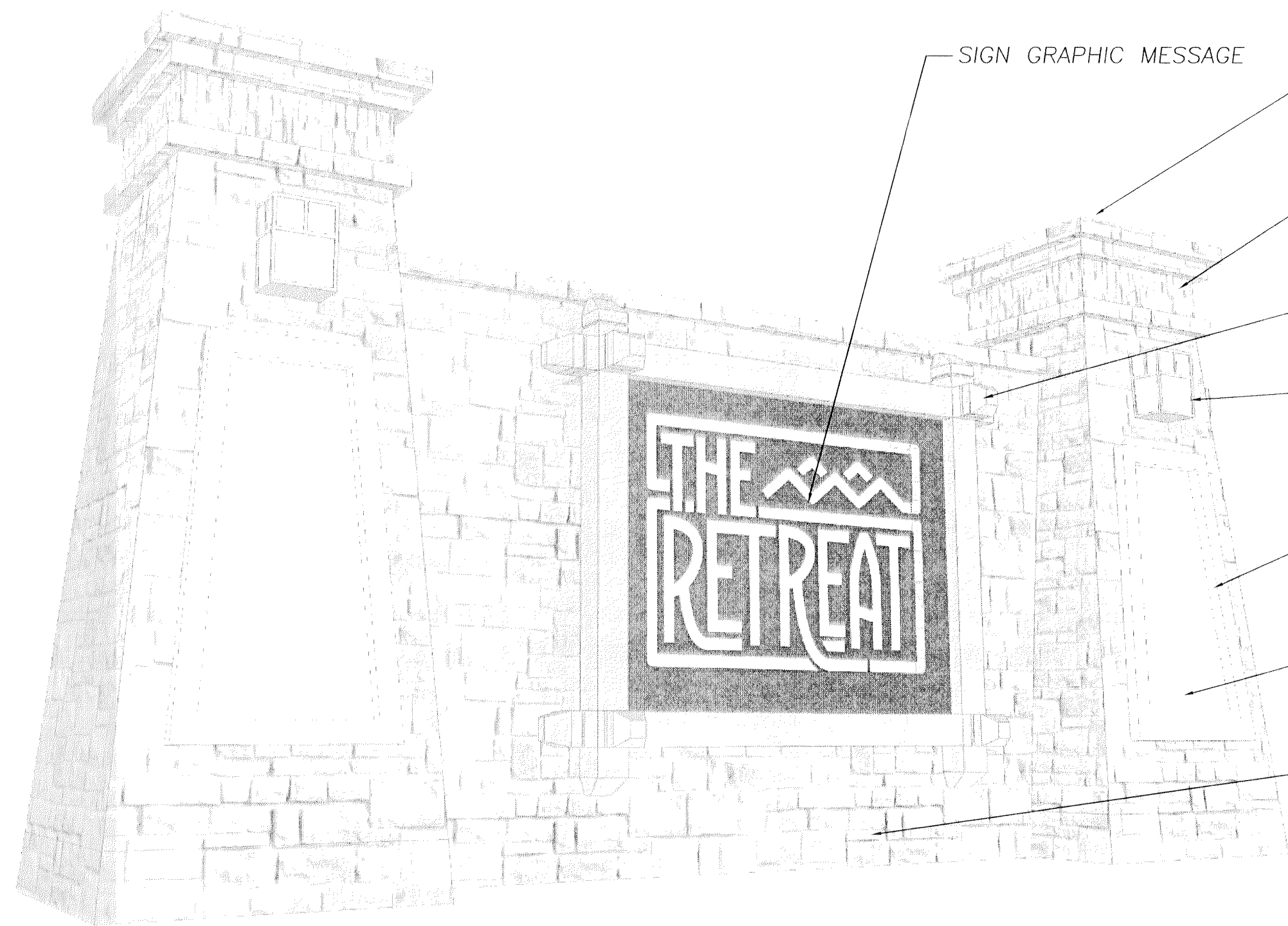


ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

080710

AMENITIES PLAN &  
MAIL KIOSK DETAILS

07



SIGN GRAPHIC MESSAGE

CAPSTONES AND SIL STONES TO BE CULTURED STONE, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

UPPER BAND INLAY TO BE CULTURED STONE, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

POSTS TO BE ROUGH CUT CEDAR, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

SEE LIGHTING SHEET FOR LAMP DETAILS. LAMPS ON TYPE 'C' COLUMNS TO BE LARGER THAN THOSE ON TYPE 'A'.

COFFER TRIM TO BE EXTRUDED 2" AND MADE OF CULTURED STONE, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

COFFER INLAY TO BE CULTURED STONE, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

STONE FACADE TO BE CULTURED STONE, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION



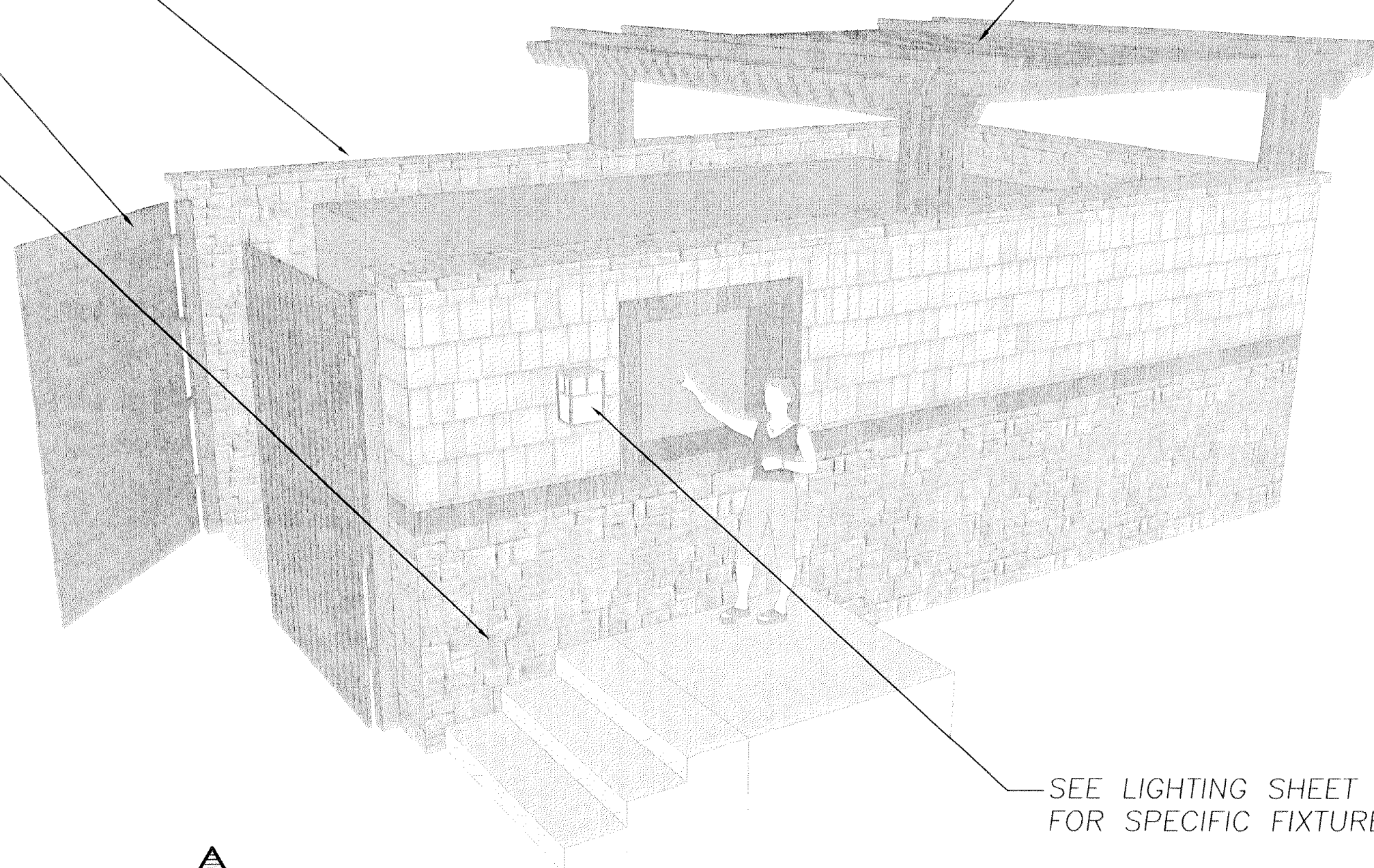
SIGN PERSPECTIVE  
SCALE: N.T.S.

CAPSTONES AND SIL STONES TO BE CULTURED STONE, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

GATES TO BE WOOD, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

CORAL TO BE STONE, SHAKE, AND CEDAR, TO MATCH CLUBHOUSE, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION

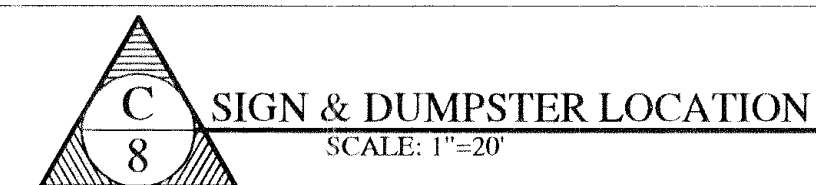
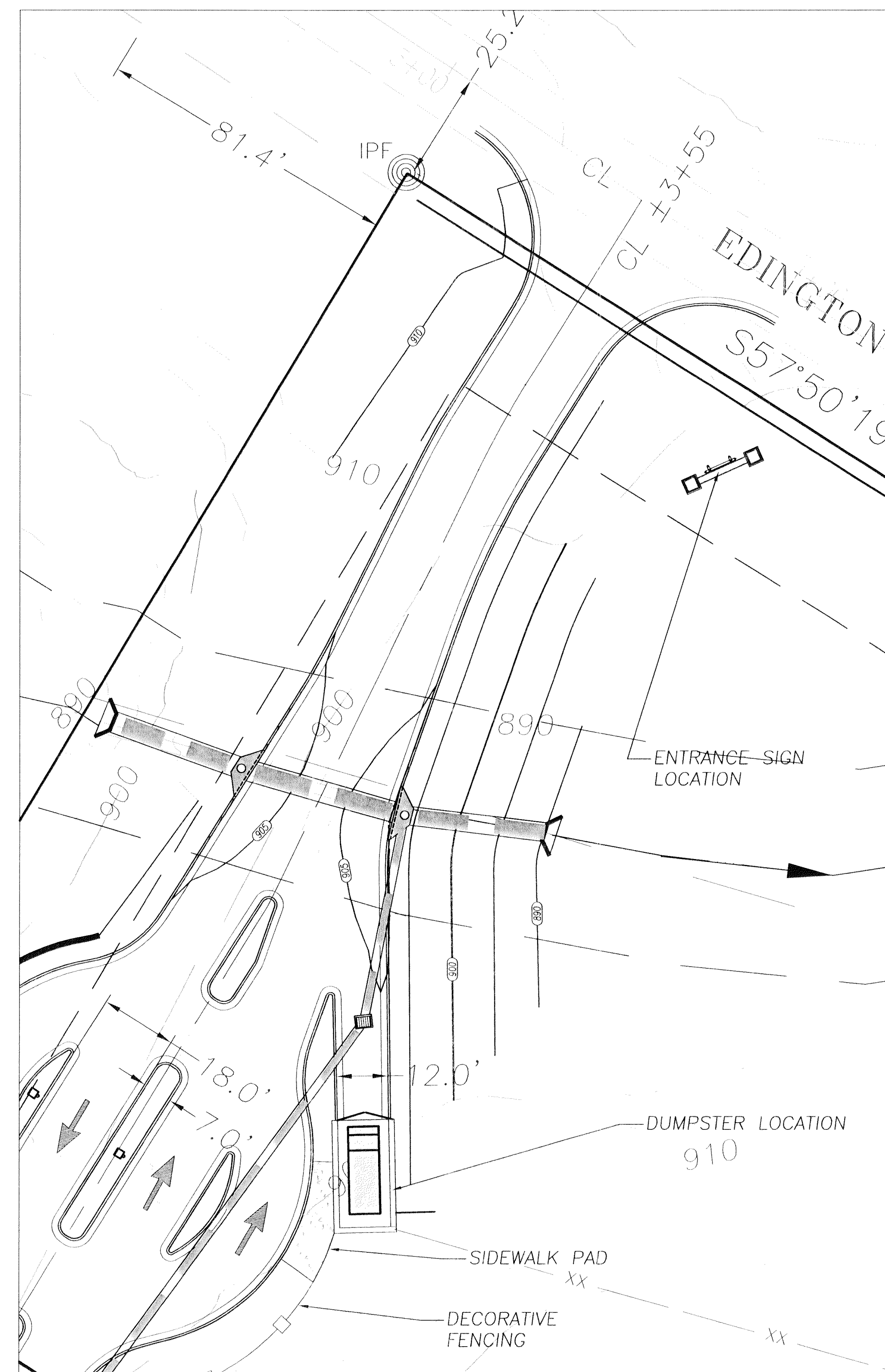
ARBOR TO BE ROUGH CUT CEDAR, SPECIFIC TYPE TO BE COORDINATED WITH OWNER PRIOR TO INSTALLATION



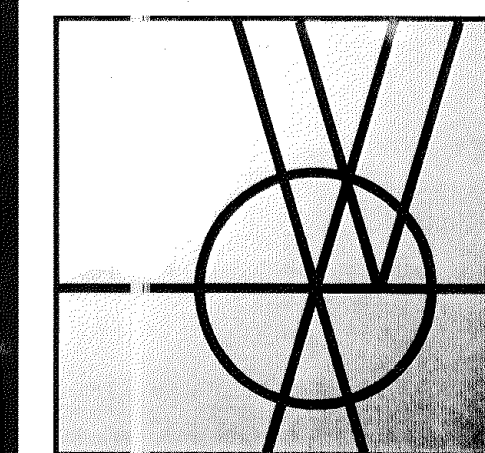
SEE LIGHTING SHEET FOR SPECIFIC FIXTURE



DUMPSTER CORAL PERSPECTIVE  
SCALE: N.T.S.



SIGN & DUMPSTER LOCATION  
SCALE: 1"=20'



**Williams & Associates**

ENGINEERING CONSULTANTS,  
LANDSCAPE ARCHITECTS &  
PLANNERS

2470 Daniels Bridge Rd., Suite 161  
Athens, Georgia 30606  
P. 706.310.0400  
F. 706.310.0411

www.gaplaning.com

THE RETREAT AT KNOXVILLE

KNOXVILLE, TENNESSEE

22.73 ACRES

DATE: 12/22/2008

REVISIONS

DATE COMMENT

11/11

ALL DRAWINGS SHALL REMAIN THE PROPERTY OF WILLIAMS & ASSOCIATES. THESE INSTRUMENTS OF SERVICE ARE TO BE USED SOLELY FOR THIS SPECIFIC PROJECT. WILLIAMS & ASSOCIATES SHALL RETAIN ALL LEGAL RIGHTS TO THE USE OF THE INSTRUMENTS OF SERVICE AND SHALL RETAIN FULL PROTECTION UNDER UNITED STATES COPYRIGHT LAW.

080710

SIGNAGE & DUMPSTER  
DETAILS

08

3-B-69-0K  
REVISED  
2-2609