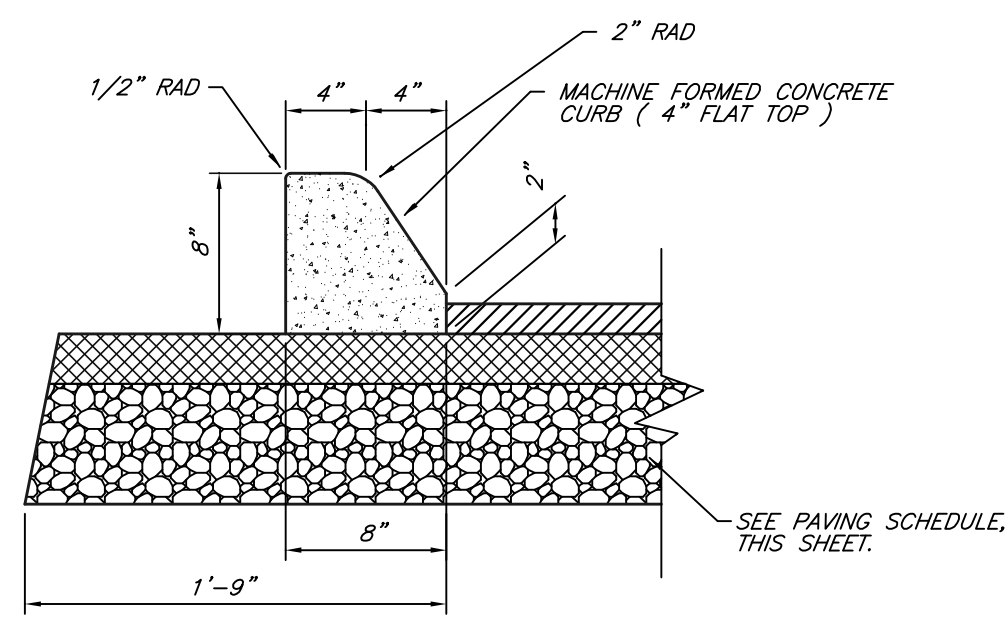
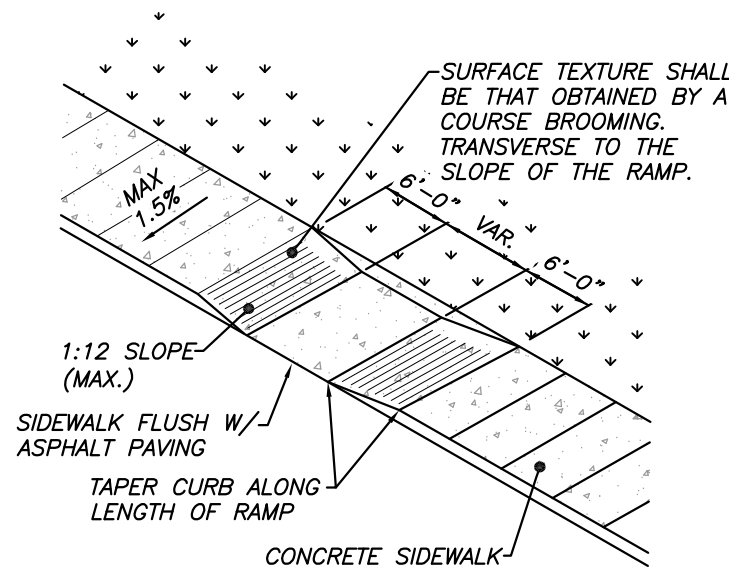


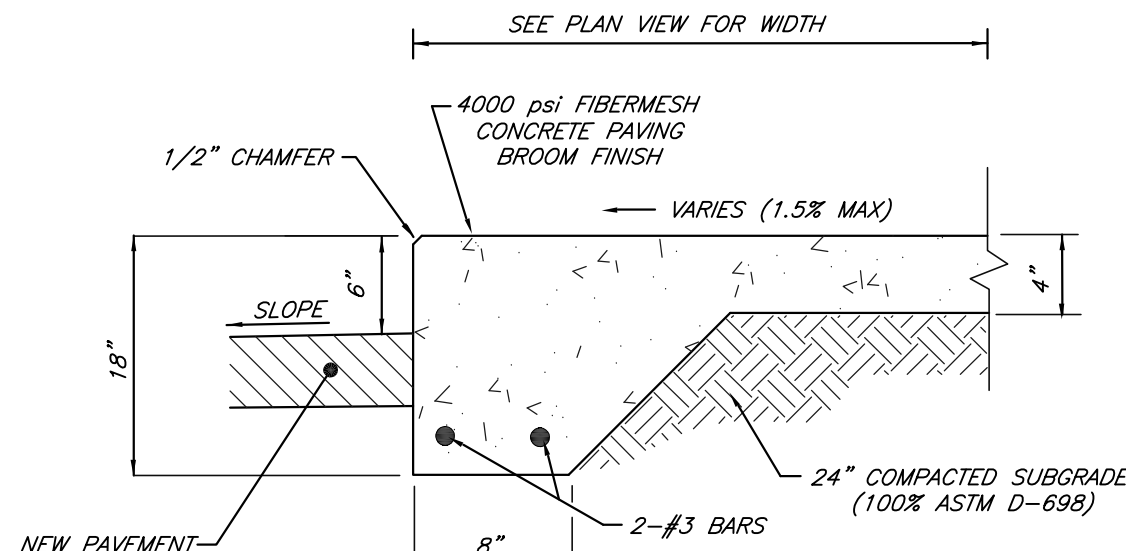
CONCRETE TIRE STOP
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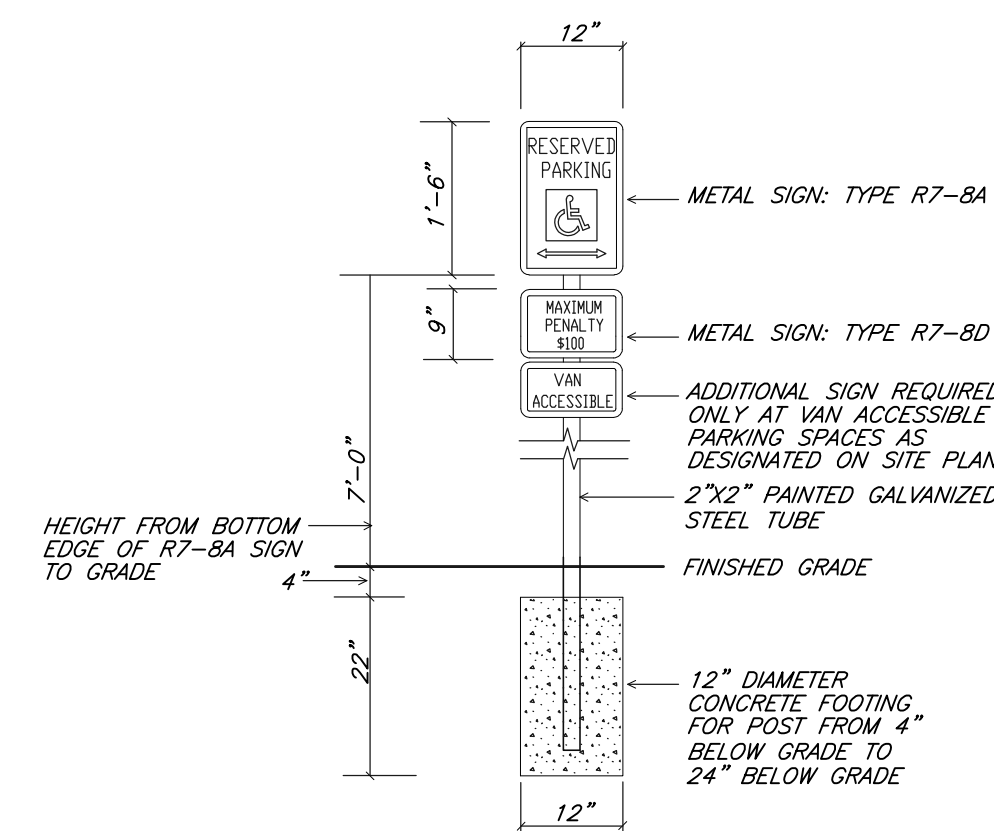
TYPE 'B' CURB AND PAVEMENT DETAIL
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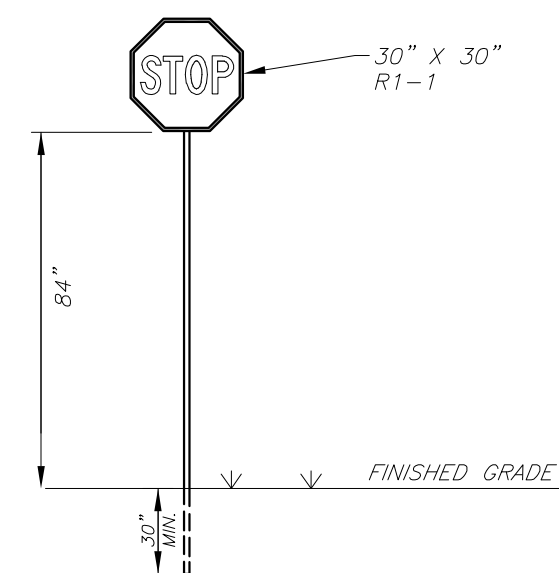
HANDICAPPED RAMP
N.T.S.



TURNDOWN SIDEWALK DETAIL
N.T.S.



HANDICAPPED SIGN DETAIL
N.T.S.



STOP SIGN DETAIL
N.T.S.



LOCATION MAP
N.T.S.

Tennessee 811

SITE PLAN NOTES:

1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.

2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.

3. PARKING SUMMARY - 1 PER 4 BEDS + 1 PER EACH EMPLOYEE OF LARGEST SHIFT.

(1/4) x (116) + 6 = 35 SPACES (INCLUDING 2-H.C.)

PROPOSED PARKING = 75 SPACES (INCLUDING 6-H.C.)

4. FIRST FLOOR SQUARE FOOTAGE: 59,644 S.F.

5. ALL LANDSCAPING SHALL CONFORM TO THE CITY OF KNOXVILLE'S TREE PROTECTION ORDINANCE.

6. TREE INSTALLATION / REPLACEMENT SUMMARY:

PER THE CITY OF KNOXVILLE ZONING ORDINANCE:

FOR EACH TEN THOUSAND (10,000) SQUARE FEET OF PARKING, OR FRACTION THEREOF, A MINIMUM OF FIVE HUNDRED (500) SQUARE FEET OF LANDSCAPING SHALL BE REQUIRED. FOR EACH FIVE THOUSAND (5,000) SQUARE FEET OF PARKING AREA, A TREE SHALL BE PROVIDED THAT WILL OBTAIN A MINIMUM HEIGHT OF THIRTY (30) FEET AT MATURITY.

PROPOSED PARKING AREA = 38,390 S.F.

REQUIRED LANDSCAPING = 1,920 S.F.

PROPOSED LANDSCAPING = 8,794 S.F.

REQUIRED TREES = 38,390 / 5,000 = 8

PER THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE:

TREES SHALL BE PROVIDED AT THE RATE OF EIGHT (8) TREES PER ACRE, WITH AT LEAST ONE HALF OF THE REQUIRED NUMBER BEING SPECIES CAPABLE OF ATTAINING A HEIGHT OF FIFTY (50) FEET OR MORE AT MATURITY.

TOTAL DISTURBED AREA = 4.95-ACRES.

REQUIRED TREES = 4.95 x 8 = 40 (20 CAPABLE OF REACHING 50')

EXISTING TREES TO REMAIN = 8

TOTAL NUMBER OF NEW TREES = 40-8=32 TREES, 8 OF WHICH ARE WITHIN OR ADJACENT TO PARKING AREAS AND 19 TREES CAPABLE OF REACHING 50' IN HEIGHT AT MATURITY.

7. OPEN SPACE REQUIREMENT (15% OF TOTAL AREA):

TOTAL AREA = 216,810 S.F.

REQUIRED OPEN SPACE = 0.15 x 216,810 = 32,521 S.F.

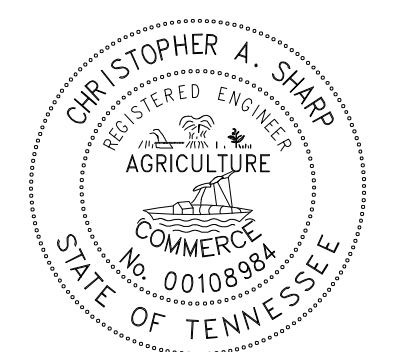
PROPOSED OPEN SPACE = 38,402 S.F.

8. DRIVEWAY AND CURB CUT VARIANCES WERE APPROVED BY THE CITY OF KNOXVILLE BZA ON 3/16/17.

9. FIRE LANES SHALL BE 3' WIDE WITH 1'-9" LETTERING AS SHOWN ON THE PLAN.

3-B-17-UR

Revised: 3/29/2017



SHEET C-1 (SHEET 2 OF 10)

SITE PLAN

PARKVIEW BROOME ROAD

SITE ADDRESS: 800 BROOME ROAD, KNOXVILLE, TN 37909

CITY OF KNOXVILLE KNOX CO., TN.

WARD NO. 46 CITY BLOCK NO. 46700

CLT MAP 106 PARCEL 40

SCALE: 1"=30' MARCH 20, 2017

DEVELOPER:

JOHN McBRIDE

P.O. BOX 50215

KNOXVILLE, TN 37950

(865) 330-0013



URBAN ENGINEERING, INC.

11852 KINGSTON PIKE

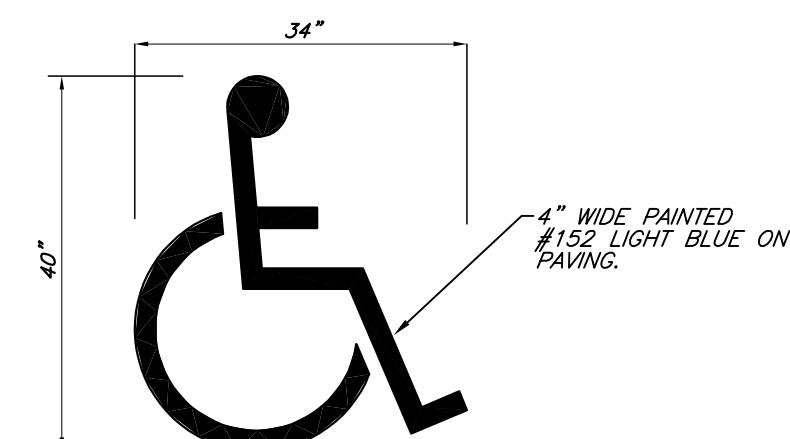
FARRAGUT, TENNESSEE 37922

(865) 966-1924

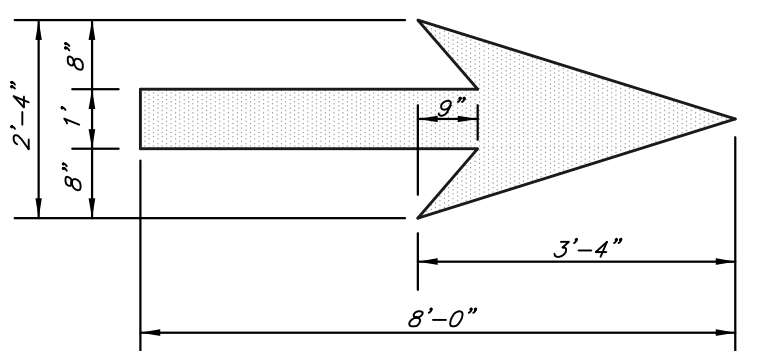
DWN: BDS CHK: CAS DWG. NO. 1612035

PAVING SCHEDULE		
N.T.S.		
DIMENSION	MEDIUM DUTY	HEAVY DUTY
A	1 1/2"	2"
B	2"	3"
C	6"	8"

PAVING SCHEDULE
N.T.S.



PAINTED HANDICAPPED SYMBOL
N.T.S.

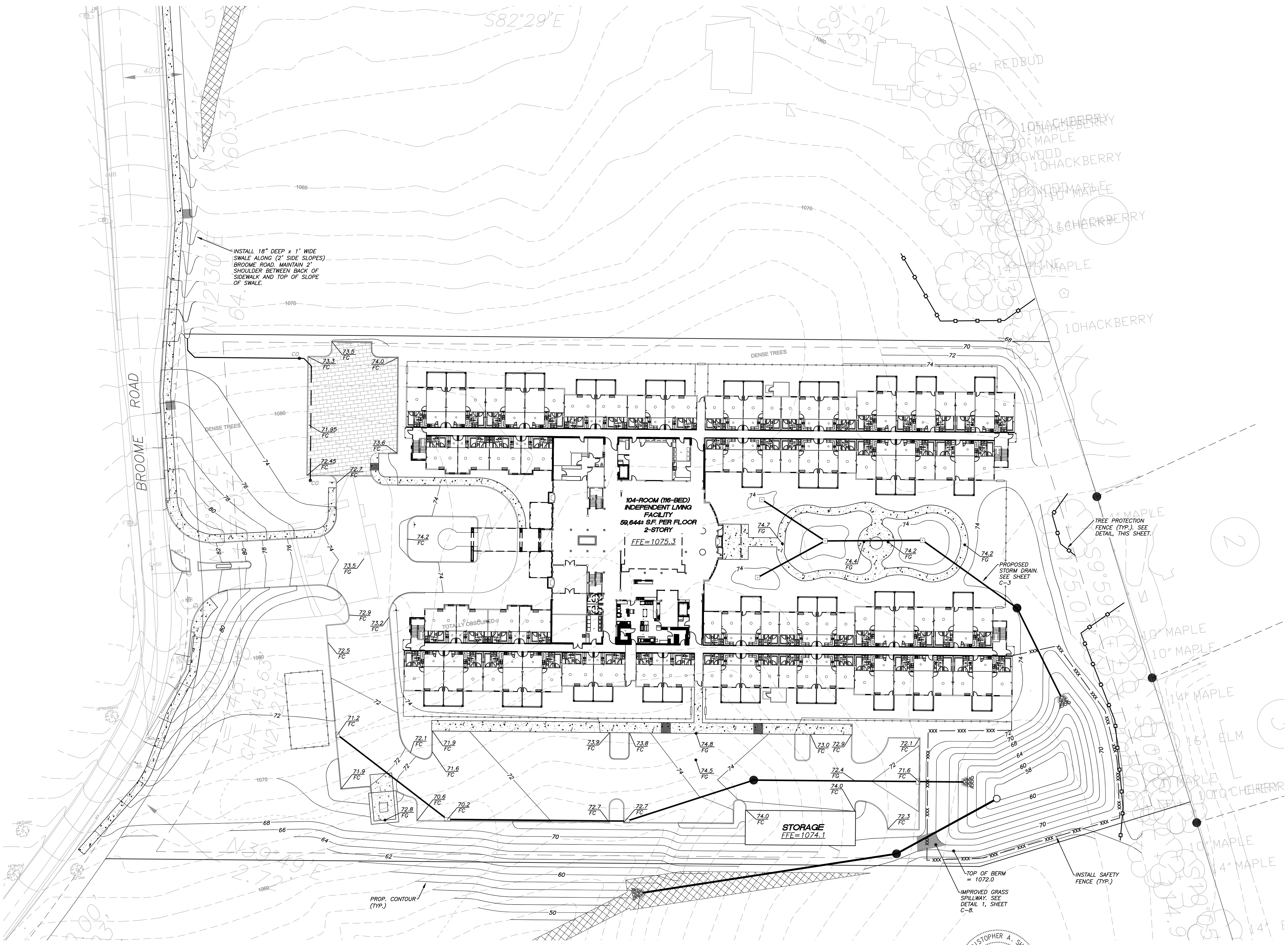


TRAFFIC ARROW DETAIL
N.T.S.

LOT COVERAGE SUMMARY	
CURRENT USE	RESIDENCE
PROPOSED USE	INDEPENDENT LIVING SENIOR APARTMENTS
ZONING	RP-1
TOTAL AREA	4.9-ACRES
MAIN BUILDING AREA	59,644 S.F. (1ST FLOOR)
ACCESSORY BUILDING AREA	1,647 S.F.
WALKS AND ASPHALT	56,852 S.F.
TOTAL IMPERVIOUS AREA	118,143 S.F.
PERCENT IMPERVIOUS	50%



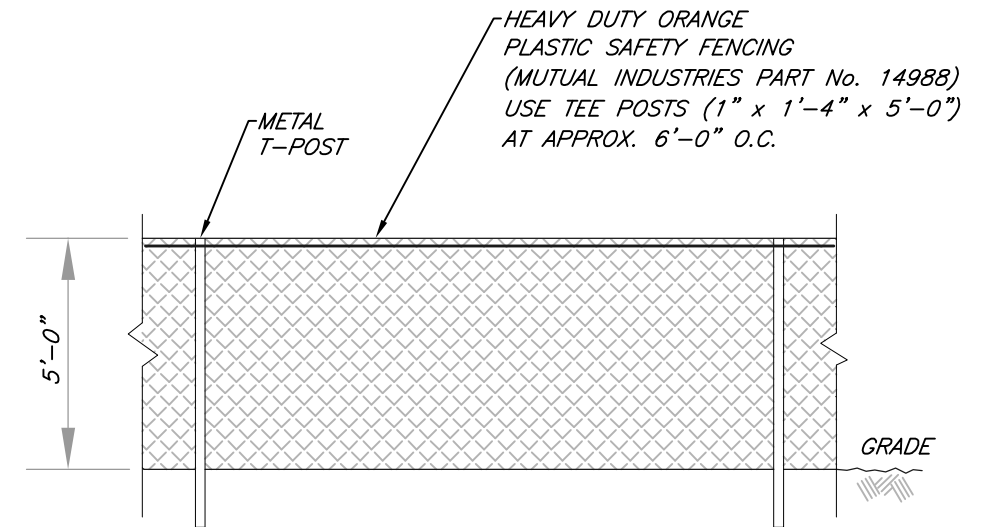
REVISION	DATE	DESCRIPTION	BY



RECORD NORTH

LOCATION MAP
N.T.S.

- GRADING PLAN NOTES:**
1. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTOR SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK, TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE'S SPECIFICATIONS FOR SITE DEVELOPMENT.
 3. ALL WORK SHALL BE SEQUENCED AND COMPLETED IN ACCORDANCE WITH THE SWPPP AND RELATED PERMITS ISSUED BY THE CITY OF KNOXVILLE.
 4. CLEAR AND GRUB PER SPECS. REMOVE TREES, BRUSH, DEBRIS, AND STUMPS FROM THE WORK AREA. REMOVE ALL BUILDINGS, DRIVES, CROSS FENCES, AND MISCELLANEOUS EQUIPMENT.
 5. STRIP AND STOCKPILE TOPSOIL NEEDED FOR RESPREADING AND SEEDING. SURROUND TOPSOIL PILE WITH SILT FENCE, STRAW BALES, TEMPORARY SEEDING OR ADDITIONAL MEASURES AS NEEDED TO PREVENT EROSION/SEDIMENTATION.
 6. AFTER STRIPPING AND REMOVAL, PROOF ROLL ENTIRE DISTURBED AREA WITH TANDEM TRUCK FULLY LOADED WITH EARTH. REMOVE ANY AREAS WHICH ARE SOFT OR YIELDING UNDER LOAD AND REPLACE WITH NEW MATERIAL MEETING PROJECT SPECIFICATIONS.
 7. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT WITH APPROVED MATERIAL FROM ONSITE OR APPROVED OFFSITE BORROW AREA. UNSUITABLE MATERIALS ARE THOSE CLASSIFIED AS MH, CH, OH, CL, AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM.
 8. COMPACTION REQUIREMENTS ARE SUMMARIZED AS FOLLOWS: (PLACE IN 8" LIFTS)
 - a. TOP 24 INCHES OF SUBGRADE UNDER PAVED AREAS 100 PERCENT STANDARD PROCTOR - LOWER THAN 24 INCHES BELOW PAVED AREA 95 PERCENT STANDARD PROCTOR.
 - b. AREAS WITHIN THE BUILDING ENVELOPE TO BE PREPARED IN ACCORDANCE WITH RECOMMENDATIONS IN REPORT OF GEOTECHNICAL INVESTIGATION AND/OR AS DIRECTED BY THE SOILS ENGINEER.
 9. ALL FINISHED YARD AREAS SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL. YARD FINISHED GRADES SHOWN ARE AFTER PLACEMENT OF 4 INCHES OF TOPSOIL. ALL FINISHED YARD SURFACES SHALL BE SMOOTHLY AND UNIFORMLY GRADED, FREE FROM IRREGULARITIES AND SHALL BE FULLY FUNCTIONAL TO PROVIDE POSITIVE DRAINAGE AT ALL LOCATIONS.
 10. THE TOTAL AREA DISTURBED AS PART OF THIS PROJECT (4.95± ACRES).
 11. PROPOSED SPOT ELEVATIONS AND PROPOSED CONTOURS ARE AFTER THE INSTALLATION OF TOPSOIL IN GRASSED AREAS, PAVING WITHIN DRIVES AND FLATWORK.
 12. A FINAL PLAT SHALL BE REQUIRED TO CREATE TRAVERSABLE ACCESS, STORM WATER DETENTION AND WATER QUALITY EASEMENTS, AS SHOWN.
 13. IT IS THE RESPONSIBILITY OF THE OWNER TO OBTAIN PERMISSION FROM THE NEIGHBOR TO WORK ON HIS OR HER PROPERTY.
 14. SLOPE POND BOTTOMS AT 2% (MIN) TOWARD LOW FLOW ORIFICES.



FOR PROTECTION OF TREES AND OTHER SPECIFIED SITE FEATURES
TREE PROTECTION FENCE
N.T.S.

SHEET C-2 (SHEET 3 OF 10)

GRADING PLAN

PARKVIEW BROOME ROAD

SITE ADDRESS: 800 BROOME ROAD, KNOXVILLE, TN 37909

CITY OF KNOXVILLE

KNOX CO., TN.

WARD NO. 46

CITY BLOCK NO. 46700

CLT MAP 106

PARCEL 40

SCALE: 1"=30'

MARCH 20, 2017

DEVELOPER:

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REVISION	DATE	DESCRIPTION	BY

3-B-17-UR
Revised: 3/29/2017

