

CONTROL POINT DATA

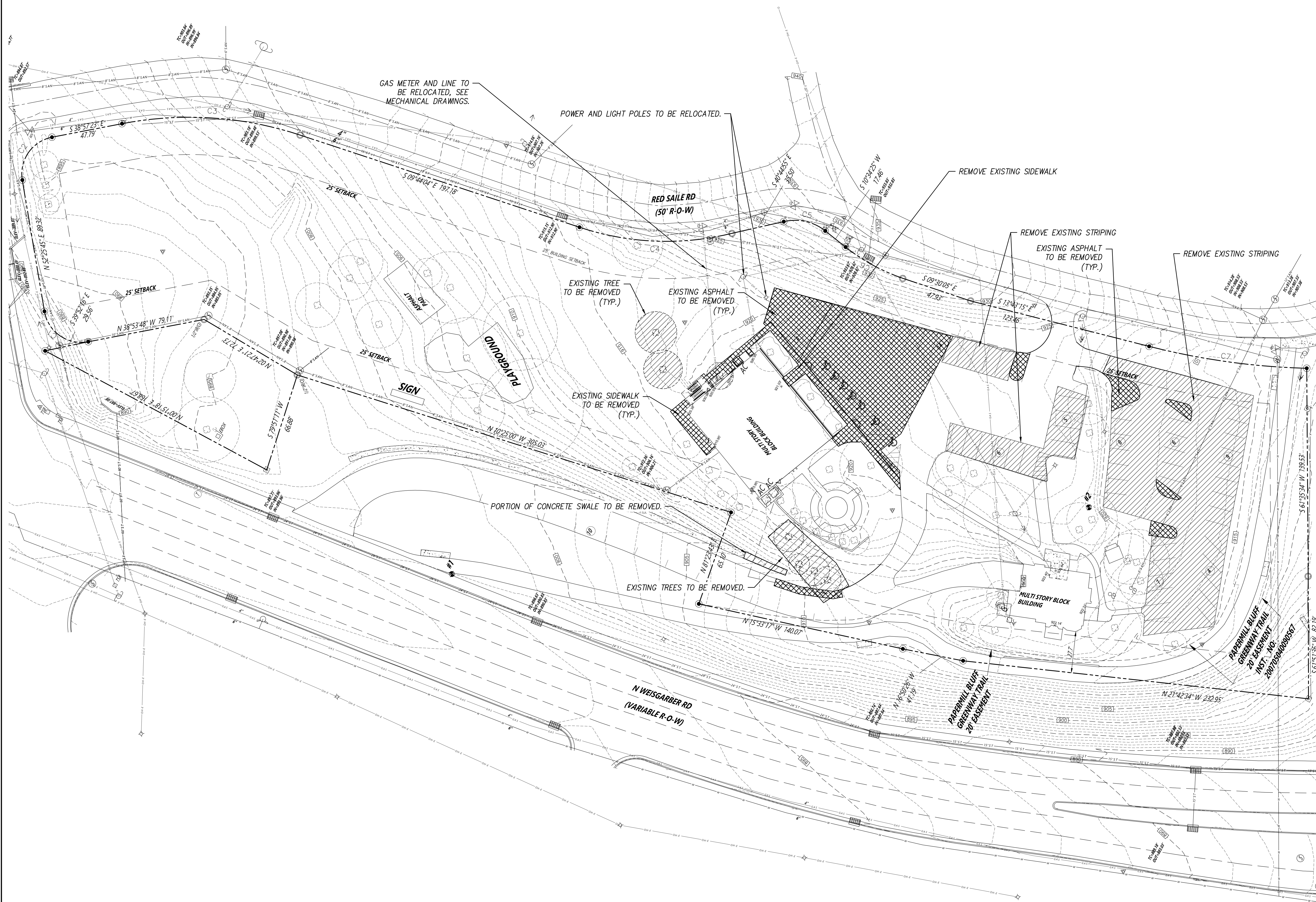
CONTROL PT#1 N 591273.88 E 2557374.76 EL. 897.99	CONTROL PT# 2 N 590917.82 E 2557614.72 EL. 922.82
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GRID NORTH
NAD 83/27
NAVD 88



SCALE: 1" = 30'



3-C-24-SU
2/20/2024

NOTES:
1. REFER TO SHEET C002 FOR GENERAL NOTES.

REVISIONS	DATE
CANNON & CANNON INC TEL 865.670.8555 10025 Investment Drive WWW.CANNON-CANNON.COM Suite 120 Knoxville, TN 37902	
CLIENT: CHURCH OF THE SAVIOR UCC 934 N WEISGARBER ROAD KNOXVILLE, TN 37909	
PROJECT: CHURCH OF THE SAVIOR UCC 934 N WEISGARBER ROAD KNOXVILLE, TN 37909	

EXISTING CONDITIONS/DEMOLITION PLAN	
PRELIMINARY FOR REVIEW ONLY	CCI PROJECT NO. 00269-0041
	DRAWING DATE JANUARY 30, 2024
	PROJECT MANAGER: AK
	DRAWN BY: CO
C003	

SITE DATA

COUNCIL DISTRICT: 2
 COUNCIL MEMBER: ANDREW ROBERTO
 PARCEL ID.: 107PA003
 SITE ADDRESS: 934 NORTH WEISGARBER ROAD
 KNOXVILLE, TN 37909
 3.811 AC. (166,019 FT²)
 EXISTING ZONING: RN-1 (SINGLE-FAMILY RESIDENTIAL)
 NEIGHBORHOOD:
 PROPOSED USE: CHURCH EXPANSION

IMPERVIOUS SURFACE AREA
 IMPERVIOUS ARE BEFORE 1997: 0.91 AC.
 UNPERMITTED IMPERVIOUS ADDITION (1998-2003): 0.29 AC.
 DEMOLISHED IMPERVIOUS AREA: 0.04 AC.
 FUTURE ADDITIONAL IMPERVIOUS AREA: 0.07 AC.
 TOTAL PROPOSED IMPERVIOUS AREA (INCLUDING FUTURE AREA): 1.27 AC.
 PROPOSED IMPERVIOUS INCREASE SINCE 1997: 0.36 AC.

PARKING SUMMARY
 PARKING REQUIRED:
 PLACE OF WORSHIP: 0.25 PER 1 SEAT IN ASSEMBLY (218 SEATS)
 55 SPACES REQUIRED (2 ADA)

PARKING PROVIDED:
 SURFACE: 62 SPACES (8 ADA)
 TOTAL: 62 SPACES PROVIDED

BICYCLE PARKING:
 REQUIRED: 8 SPACES
 PROVIDED: 8 SPACES

OWNER:
 ADDRESS: CHURCH OF THE SAVIOR UCC
 944 NORTH WEISGARBER ROAD
 KNOXVILLE, TN 37909
 (865)-584-7531
 PHONE NO.:
 CONTACT NAME: WENDY ROGERS
 CONTACT E-MAIL ADDRESS: wendywebbrogers@gmail.com

CIVIL ENGINEER:
 ADDRESS: CANNON & CANNON INC.
 10025 INVESTMENT DRIVE
 KNOXVILLE, TN 37932
 (865)870-8555


PHONE NO.:
 ENGINEER NAME: ADAM KOHNTOPP
 ENGINEER E-MAIL ADDRESS: AKOHNTOPP@CANNON-CANNON.COM

RECORDED DOCUMENTS: DEED BOOK 20020531 PAGE 0098656

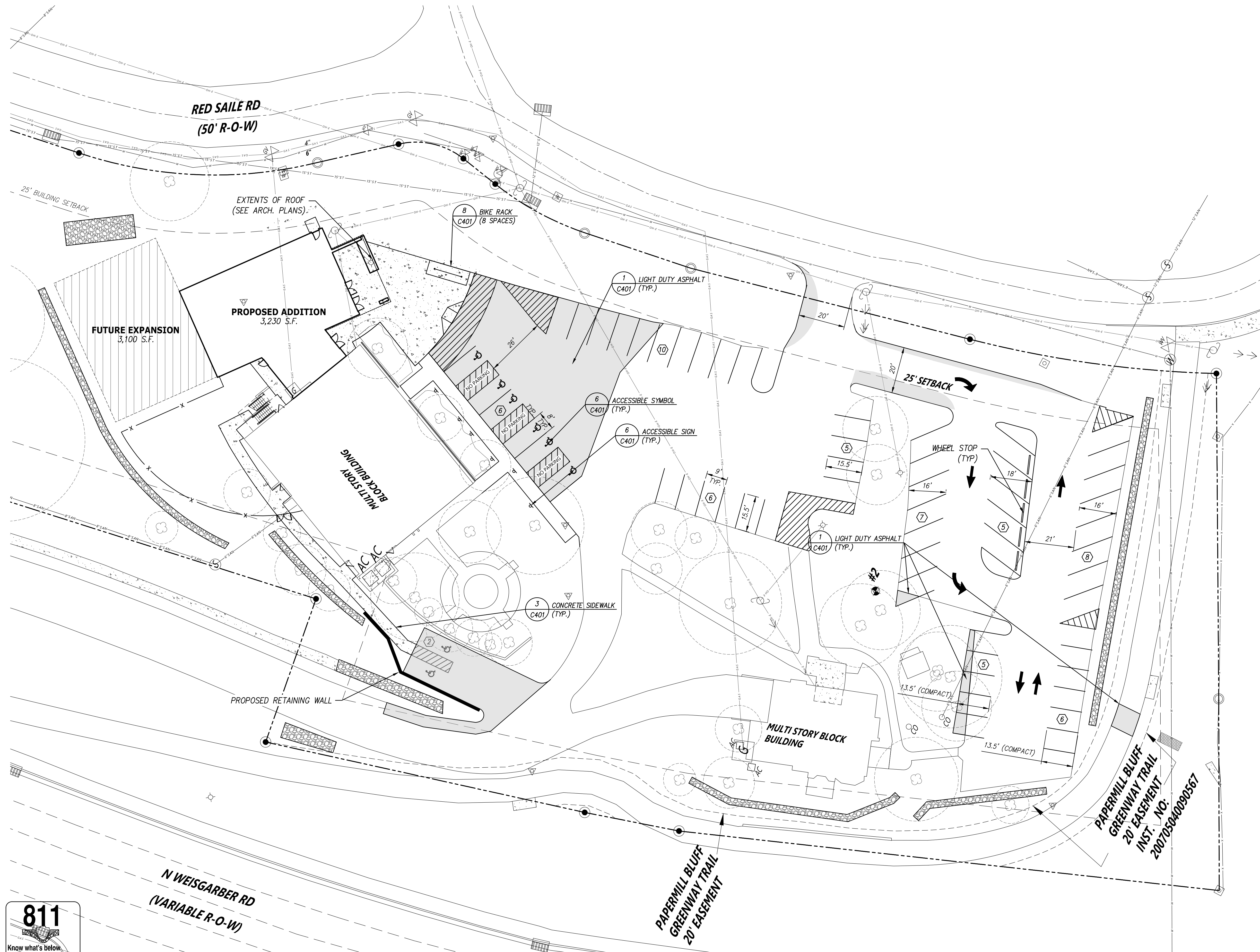
FEMA PANEL:
 THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE
 ACCORDING TO COMMUNITY PANEL NO. 47093C0259G, 08/05/2013. COMMUNITY NAME: CITY
 OF KNOXVILLE.

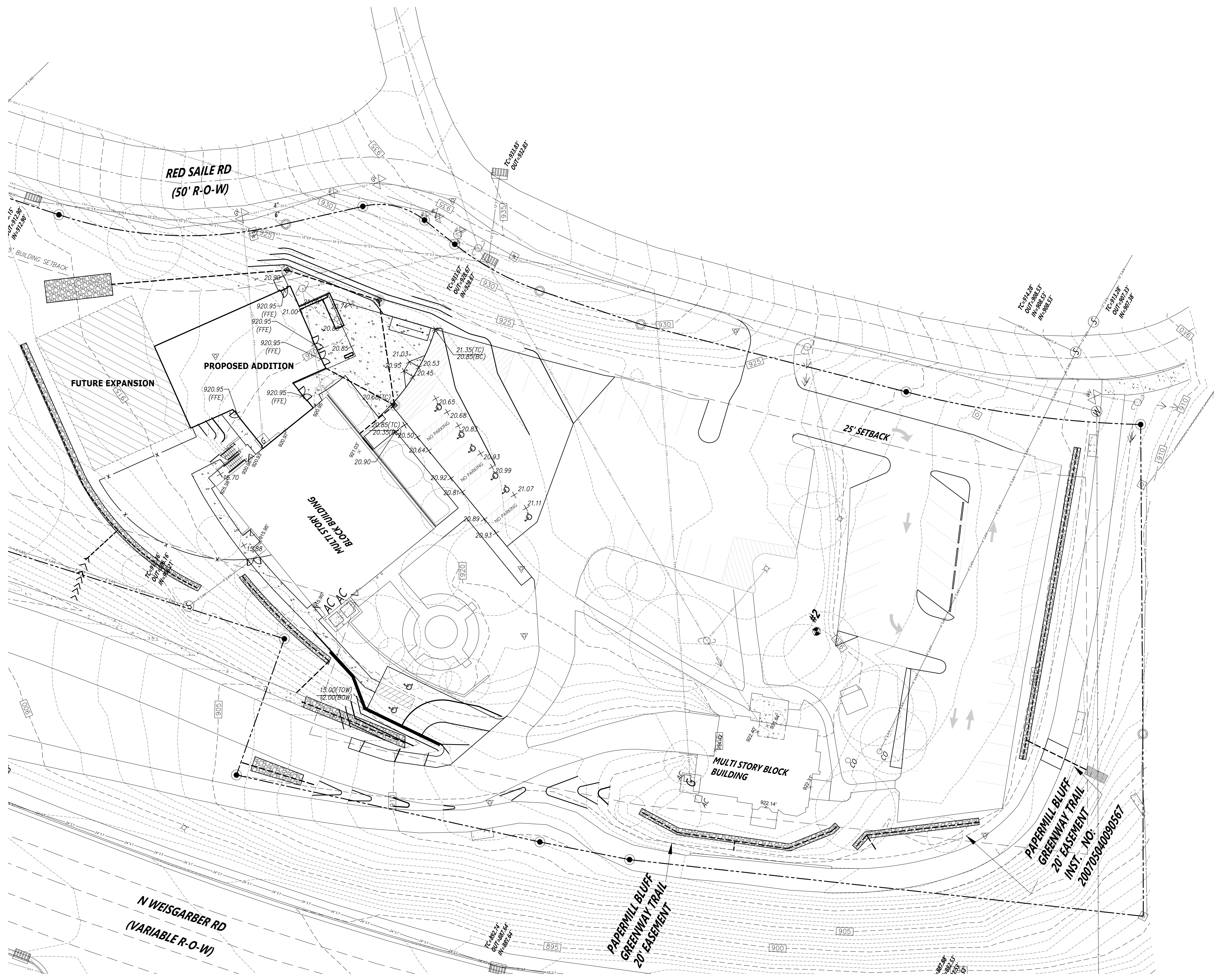
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PROJECT:	CHURCH OF THE SAVIOR UCC 934 N WEISGARBER ROAD KNOXVILLE, TN 37909

SITE LAYOUT PLAN	
CCI PROJECT NO.	00269-0041
DRAWING DATE	JANUARY 30, 2024
PROJECT MANAGER:	AK
DRAWN BY:	CO
C101	
01/30/24	





3-C-24-SU
2/20/2024

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CANNON & CANNON INC TEL 865.670.8555 10025 Investment Drive WWW.CANNON-CANNON.COM Suite 120 Knoxville, TN 37932	
CLIENT: CHURCH OF THE SAVIOR UCC 934 N WEISGARBER ROAD KNOXVILLE, TN 37909	
PROJECT: CHURCH OF THE SAVIOR UCC 934 N WEISGARBER ROAD KNOXVILLE, TN 37909	

SITE GRADING AND DRAINAGE PLAN

PRELIMINARY FOR REVIEW ONLY	CCI PROJECT NO. 00269-0041
	DRAWING DATE JANUARY 30, 2024
	PROJECT MANAGER: AK
	DRAWN BY: CO

C201



CHURCH of the SAVIOR

Renovation & Addition



CHEROKEE MILLS
111 N. CONCORD STREET
KNOXVILLE, TN 37919
865-525-2707
FAX 865-637-1532

Drawing Index

Site & Civil _____

REFER TO SEPARATE DOCUMENT SET ISSUED BY CANNON & CANNON, INC.

Architectural _____

Structural _____

Mechanical _____

Plumbing _____

Fire Protection _____

Electrical _____

Project Data

Owner _____

CHURCH OF THE SAVIOR UCC
934 N WEISGARBER ROAD
KNOXVILLE, TN 37909
(865) 584-7531

Codes and Standards _____

THE FOLLOWING CODES AND STANDARDS WERE USED IN THE PREPARATION OF THESE DRAWINGS:

- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE
- 2018 INTERNATIONAL FUEL GAS CODE
- 2018 INTERNATIONAL MECHANICAL CODE
- 2018 INTERNATIONAL PLUMBING CODE
- 2017 NATIONAL ELECTRICAL CODE
- 2009 ANSI A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES

Zoning _____

KNOXVILLE CITY ZONING ORDINANCE
ZONING: RN-1 SINGLE-FAMILY RESIDENTIAL NEIGHBORHOOD DISTRICT
PROPERTY DATA: _____ PARCEL ID: 107PA003
SURVEY: _____ S&ME, INC.
6515 NIGHTINGALE LANE, KNOXVILLE, TN 37909

Design Loads _____

Building Data - Construction and Occupancy _____

OCCUPANCY TYPE PER IBC _____ A-3
CONSTRUCTION TYPE PER IBC _____ TYPE VB - SPRINKLERED
NUMBER OF STORIES (SPLIT LEVEL) _____ TWO
MAXIMUM NUMBER OF STORIES PER IBC TABLE 504.4 _____ TWO
BUILDING HEIGHT PER IBC (TO AVERAGE HEIGHT OF HIGHEST ROOF) _____ 31 FEET
MAXIMUM ALLOWABLE HEIGHT PER IBC TABLE 504.3 _____ 60 FEET

BUILDING AREA PER IBC
A - EXISTING MAIN FLOOR & LOWER CLASSROOM FLOOR (SPLIT LEVEL) INCL. EXTERIOR STAIR 4,937 SF.
B - EXISTING UPPER FLOOR & UPPER CLASSROOM FLOOR (SPLIT LEVEL) INCL. EXTERIOR STAIR 3,036 SF.
C - ADDITION MAIN FLOOR INCL. COVERED ENTRY AREA 3,492 SF.
D - LARGEST FLOOR: MAIN FLOOR & LOWER CLASSROOM FLOOR (A+C) 8,429 SF.

TOTAL ALLOWABLE AREA PER FLOOR PER IBC TABLE 506.2 18,000 SF.
NO FRONTAGE INCREASE IS NECESSARY

OCCUPANT LOAD PER IBC TABLE 1004.5 _____ SEE SHEET A0.01

Abbreviations _____

- A.F.F. ABOVE FINISH FLOOR
- ALUM. ALUMINUM
- BD. BOARD
- BLDG. BUILDING
- B.O. BOTTOM OF
- BRG. BEARING
- C.J. CONTROL JOINT
- CLG. CEILING
- CLR. CLEARANCE
- CMU CONCRETE MASONRY UNIT
- CONC. CONCRETE
- DIA. DIAMETER
- D.S. DOWNSPOUT
- DWGS. DRAWINGS
- E.J. EXPANSION JOINT
- ELEC. ELECTRICAL
- EXT. EXTERIOR
- F.D. FLOOR DRAIN
- F.E.C. FIRE EXTINGUISHER CABINET
- F.F.E. FINISH FLOOR ELEVATION
- F.R.T. FIRE RETARDANT TREATED
- G.A. GAUGE
- GALV. GALVANIZED
- GYP. GYPSUM
- H.C. HANDICAPPED (ACCESSIBLE)
- HGT. HEIGHT
- HM. HOLLOW METAL
- INSUL. INSULATION
- INT. INTERIOR
- KDAT KILN DRIED AFTER TREATMENT
- L.W.R.G. LOW WALL RETURN GRILLE
- MFR. MANUFACTURER
- MAX. MAXIMUM
- MECH. MECHANICAL
- MIN. MINIMUM
- MR. MOISTURE RESISTANT
- N.I.C. NOT IN CONTRACT
- NOM. NOMINAL
- N.T.S. NOT TO SCALE
- O.C. ON CENTER
- O.H. OPPOSITE HAND
- P.L. PLASTIC LAMINATE
- P.T. PRESSURE TREATED
- REF. FOR REFERENCE ONLY; VERIFY
- R&S ROD AND SHELF
- SIM. SIMILAR
- SPEC. SPECIFICATION
- T.O. TOP OF
- TYP. TYPICAL
- U.G. UNDERGROUND
- U.L. UNDERWRITERS LABORATORIES INC.
- V.C.T. VINYL COMPOSITION TILE
- VERT. VERTICAL
- V.I.F. VERIFY IN FIELD

Consultants

STRUCTURAL
BENDER & ASSOCIATES STRUCTURAL ENGINEERS, LLC
110 FOREST COURT
KNOXVILLE, TN 37919
865-584-6532

**MECHANICAL, PLUMBING,
FIRE PROTECTION, ELECTRICAL**
FACILITY SYSTEMS CONSULTANTS, LLC
713 SOUTH CENTRAL STREET
SUITE 101
KNOXVILLE, TN 37902
865-246-0164

**DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION**

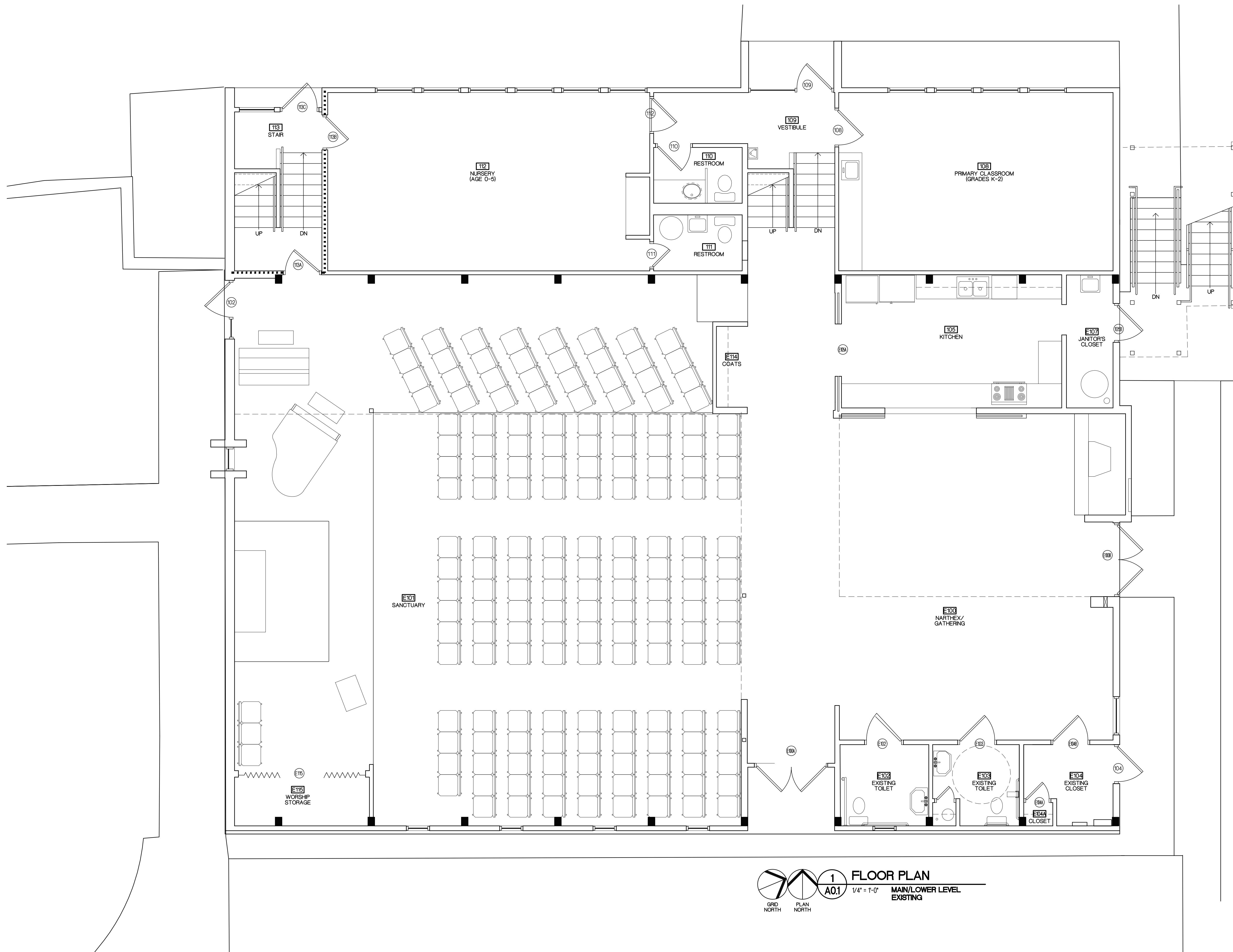
THESE DRAWINGS ARE INTENDED TO ILLUSTRATE GENERALLY THE PROPOSED SCOPE AND QUALITY OF THE PROJECT AND TO ASSIST IN OBTAINING A PRELIMINARY ESTIMATE OF CONSTRUCTION COST. THESE DOCUMENTS ARE NOT INTENDED FOR CONSTRUCTION, NOR ARE THEY INTENDED TO BE COMPLETE OR FULLY DETAILED. THEY CONTAIN A LEVEL OF INCONSISTENCY COMMON TO PROGRESS DRAWINGS AT THE DESIGN DEVELOPMENT STAGE. THE FINAL CONSTRUCTION DOCUMENTS WILL MODIFY SOME OF THE INFORMATION CONTAINED HEREIN BASED ON ARCHITECTURAL REQUIREMENTS, DEVELOPMENT OF BUILDING SYSTEMS, OWNER CHANGES, AND COORDINATION OF INFORMATION.

3-C-24-SU
1/19/2024

**PRELIMINARY
FOR REVIEW ONLY**

PROJECT NO. 2305
DATE: 12 JANUARY 2024

**RENOVATION
AND ADDITION**



1 FLOOR PLAN
A0.1 1/4" = 1'-0" MAIN/LOWER LEVEL EXISTING

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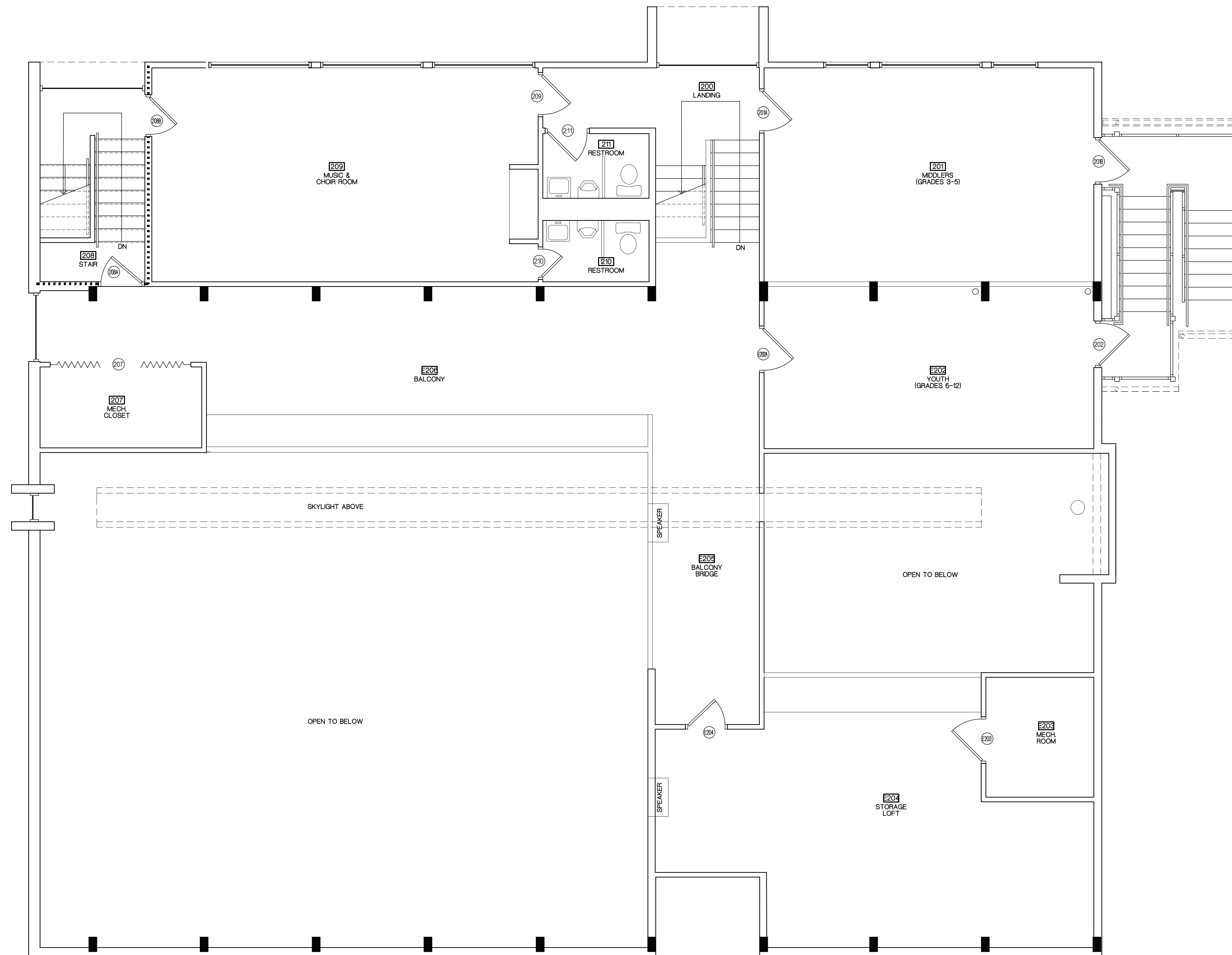
EXISTING

**MAIN/LOWER LEVEL
FLOOR PLAN**

**PRELIMINARY
- NOT FOR
CONSTRUCTION**

3-C-24-SU
1/19/2024

**RENOVATION
AND ADDITION**



1 FLOOR PLAN
A0.2 1/4" = 1'-0" UPPER/MID LEVEL
EXISTING

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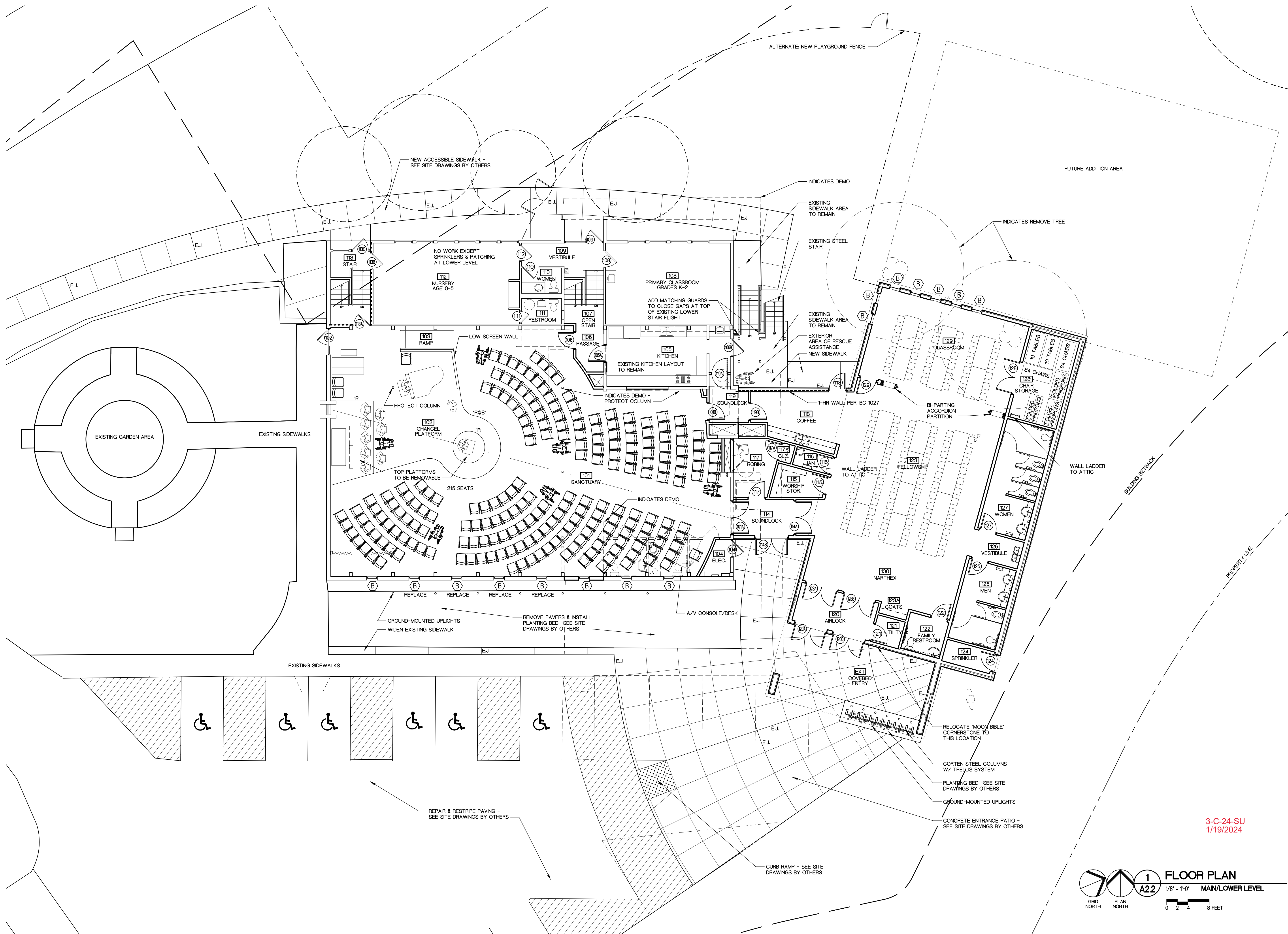
EXISTING

**UPPER/MID LEVEL
FLOOR PLAN**

**PRELIMINARY
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1/19/2024

**RENOVATION
AND ADDITION**



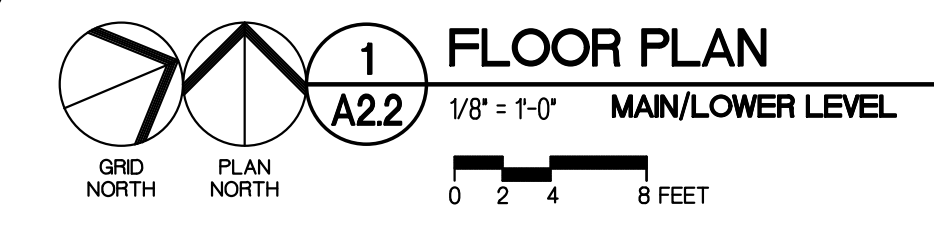
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**MAIN/LOWER LEVEL
FLOOR PLAN**

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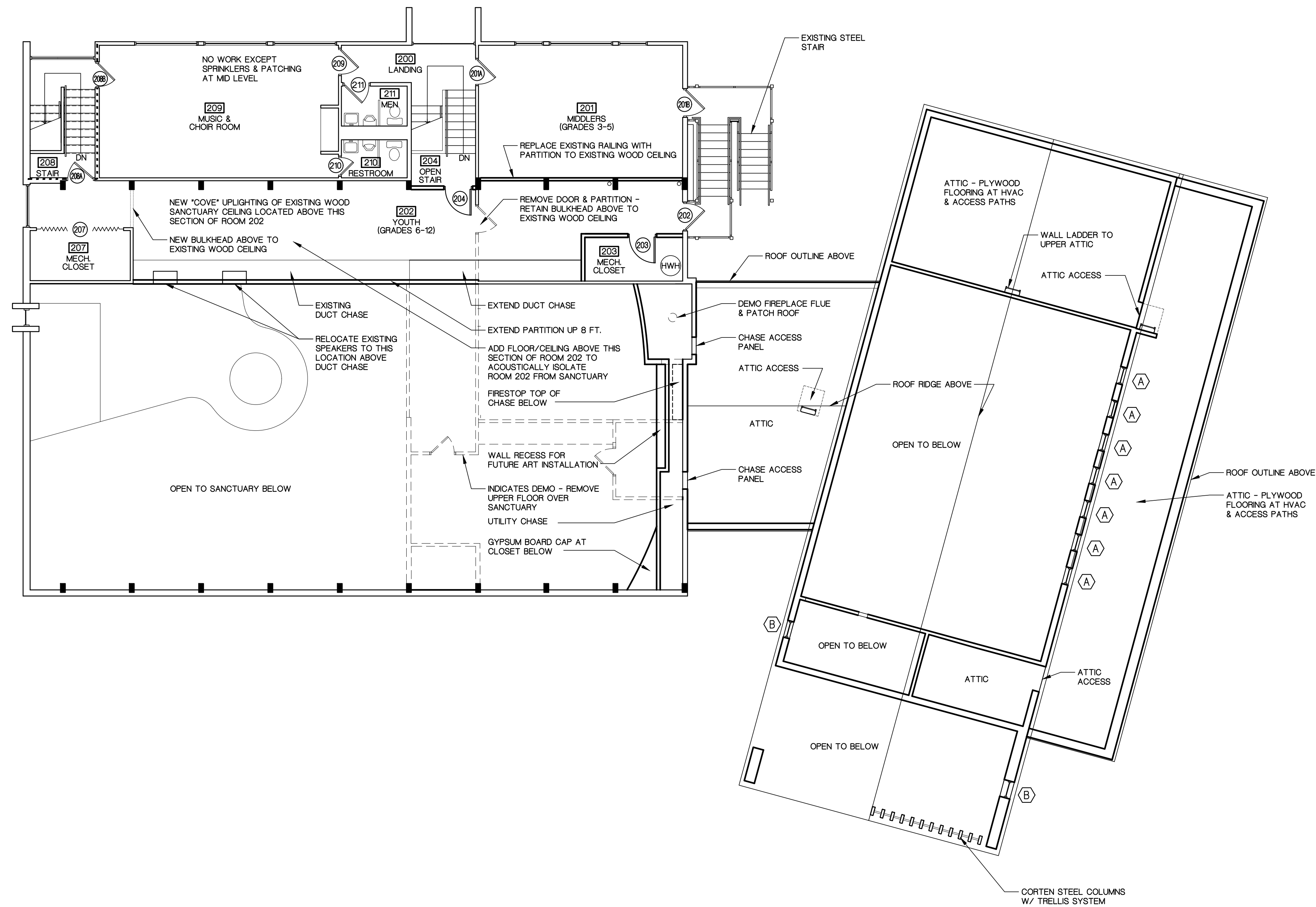
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1/19/2024

1 FLOOR PLAN
A2.2
1/8" = 1'-0" MAIN/LOWER LEVEL



0 2 4 8 FEET

**RENOVATION
AND ADDITION**



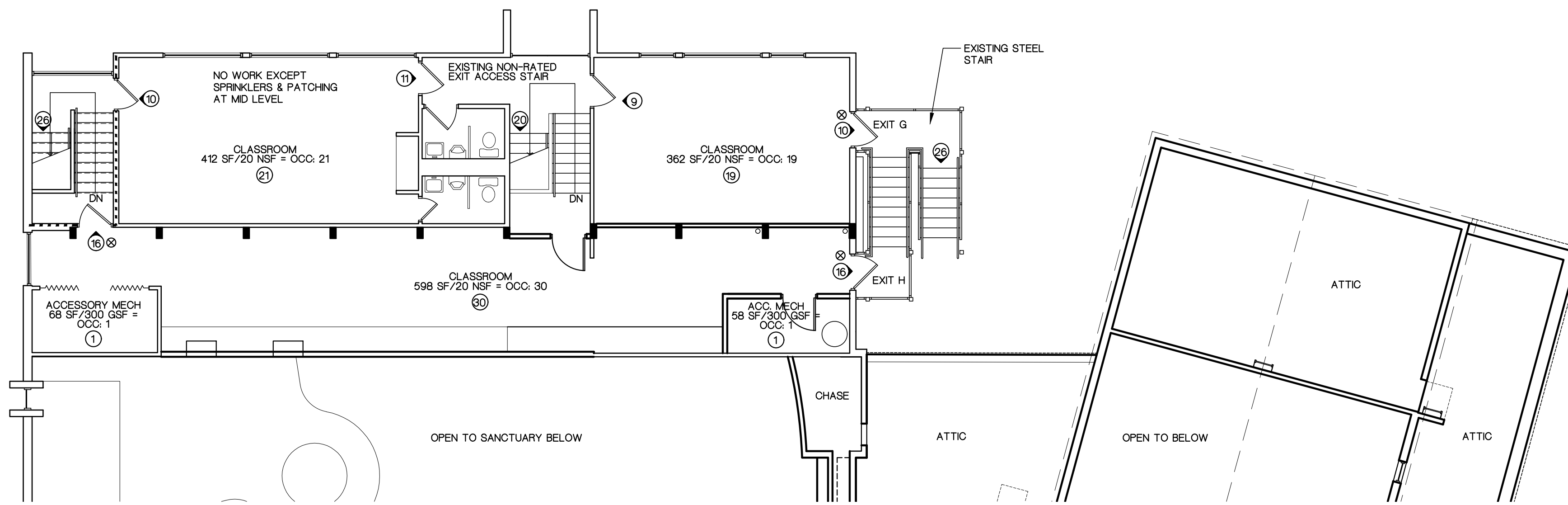
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1 FLOOR PLAN
A2.3 1/8" = 1'-0" UPPER/MID LEVEL

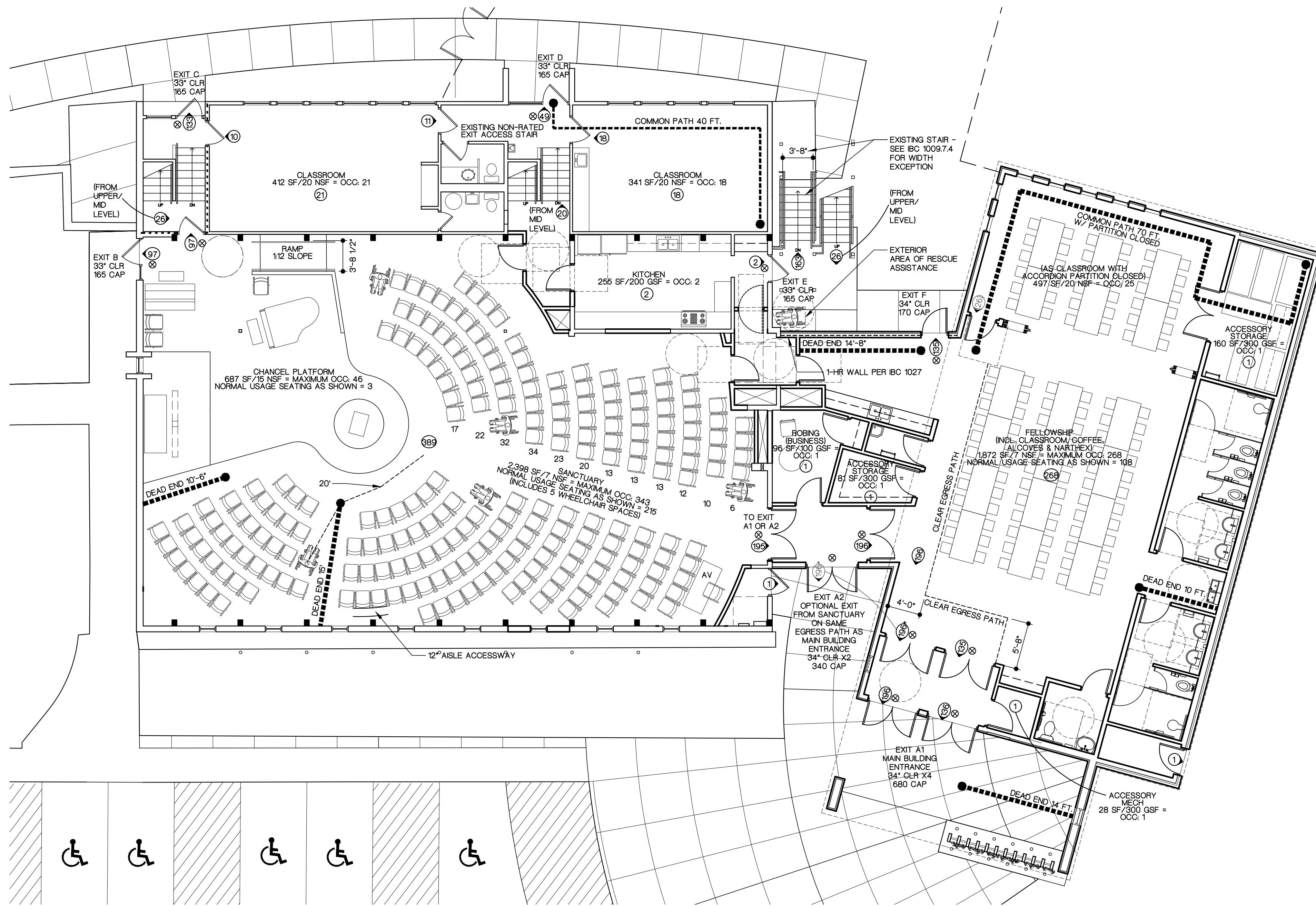
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**UPPER/MID LEVEL
FLOOR PLAN**

**PRELIMINARY
- NOT FOR
CONSTRUCTION**



1 LIFE SAFETY PLAN
LS11 1/8" = 1'-0" UPPER/MID LEVEL



2 LIFE SAFETY PLAN
LS11 1/8" = 1'-0" MAIN/LOWER LEVEL

**RENOVATION
AND ADDITION**

OCCUPANCY & EGRESS INFORMATION

TOTAL OCCUPANT LOAD	774
OCCUPANTS USING EXIT A1	(136*) 332+
OCCUPANTS USING ALTERNATE EXIT A2	(196*) 0+
OCCUPANTS USING EXIT B	97
OCCUPANTS USING EXIT C	133
OCCUPANTS USING EXIT D	49
OCCUPANTS USING EXIT E	2
OCCUPANTS USING EXIT F	135
OCCUPANTS USING EXIT G	10
OCCUPANTS USING EXIT H	16

* INDICATES CHOICE OF TWO EXIT OPTIONS FROM MAIN SANCTUARY EXIT ON SAME EGRESS PATH - SEE LIFE SAFETY PLAN - MAIN BUILDING ENTRANCE (EXIT A1) AND ALTERNATE EXIT A2 EACH ACCOMMODATE HALF OF OCCUPANT LOAD FROM MAIN ASSEMBLY SPACE (SANCTUARY & CHANCEL)

KEY

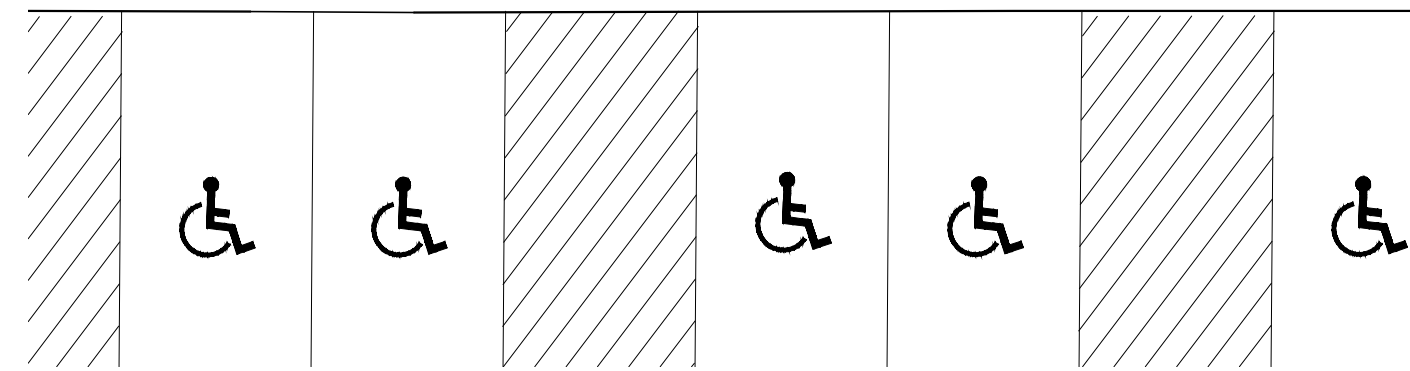
- EXIT A - DESIGNATION
- 34" CLR - CLEAR WIDTH (X2 = 2 DOOR LEAVES)
- 170 CAP - OCCUPANT CAPACITY
- Ⓢ - OCCUPANT LOAD FOR THIS SPACE
- Ⓣ - OCCUPANT LOAD EXITING THROUGH THIS LOCATION
- Ⓧ - EXIT SIGN

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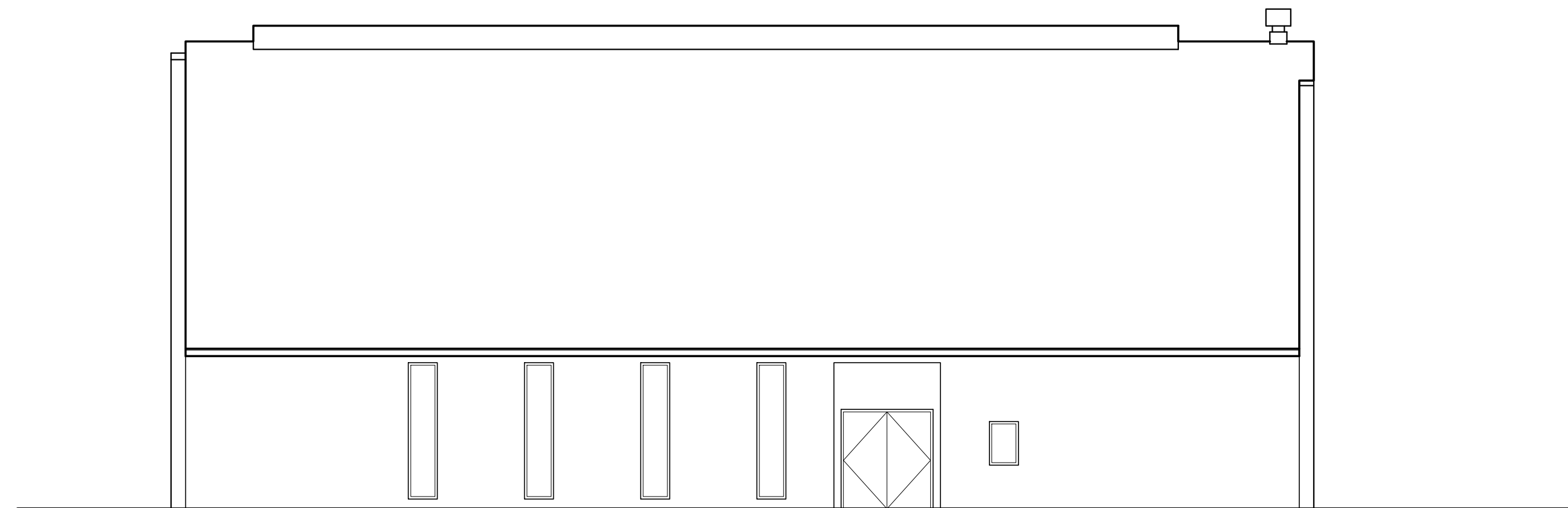
LIFE SAFETY PLANS

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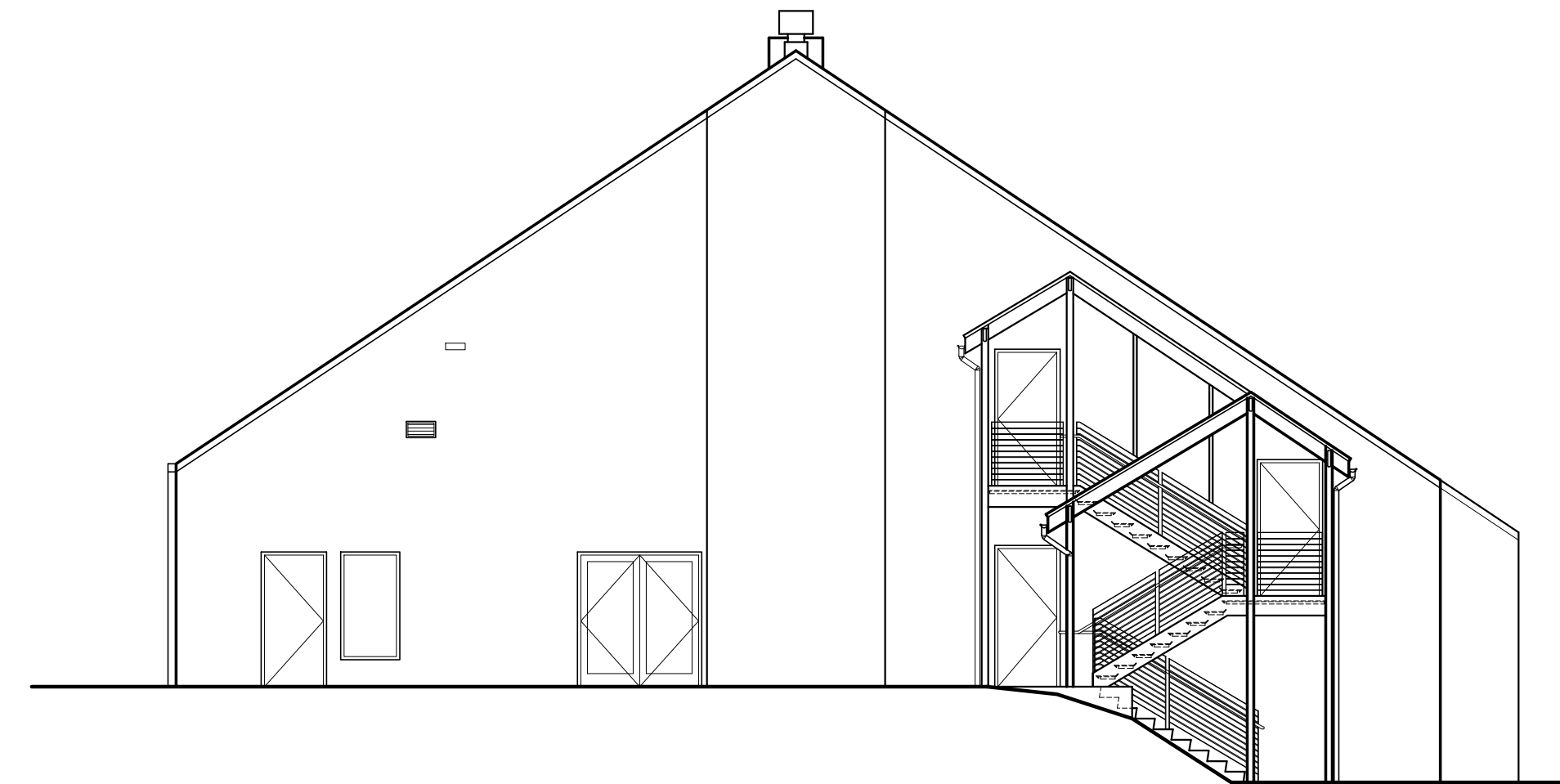


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1/19/2024

**RENOVATION
AND ADDITION**



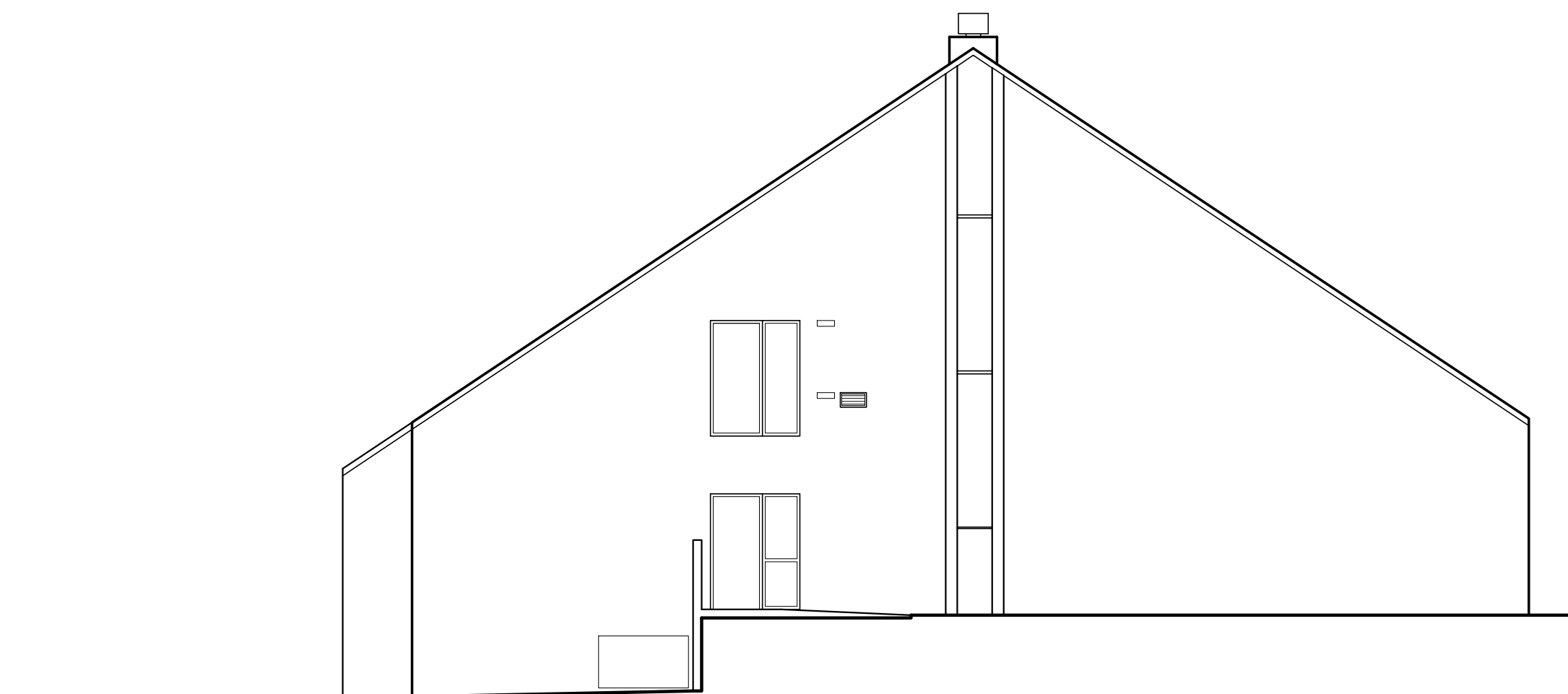
1 SOUTH ELEVATION
A31 1/8" = 1'-0" SANCTUARY



2 EAST ELEVATION
A31 1/8" = 1'-0" SANCTUARY



3 NORTH ELEVATION
A31 1/8" = 1'-0" SANCTUARY



4 WEST ELEVATION
A31 1/8" = 1'-0" SANCTUARY

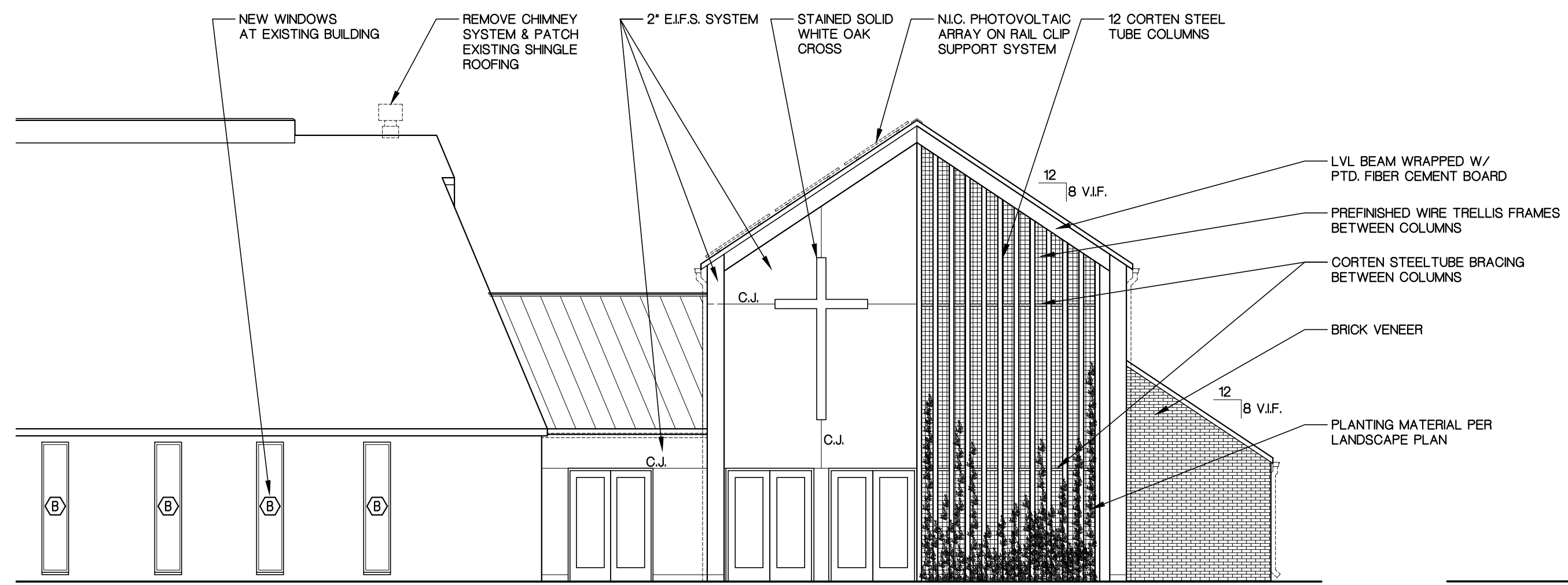
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**EXISTING
ELEVATIONS**

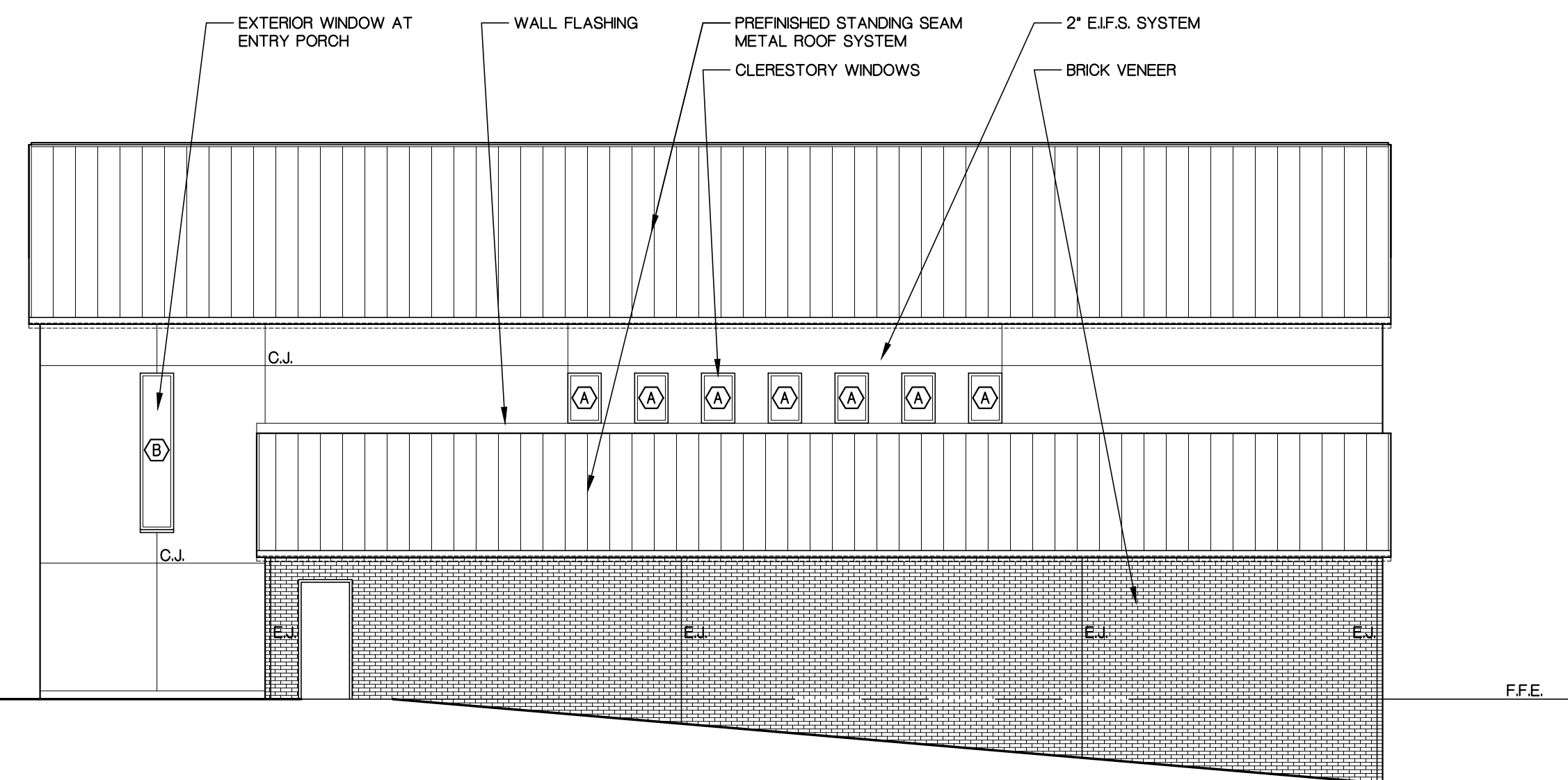
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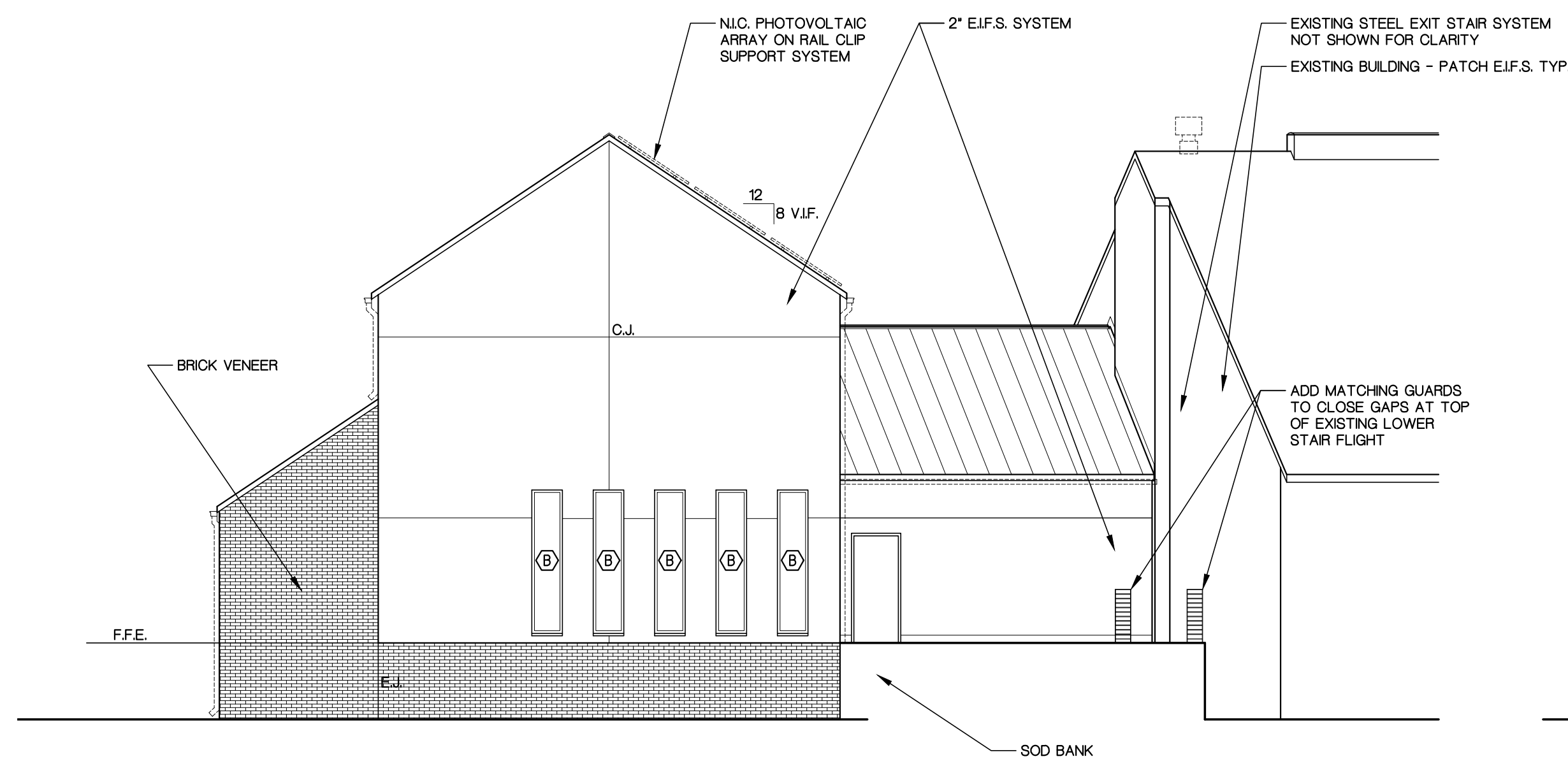
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AND ADDITION**



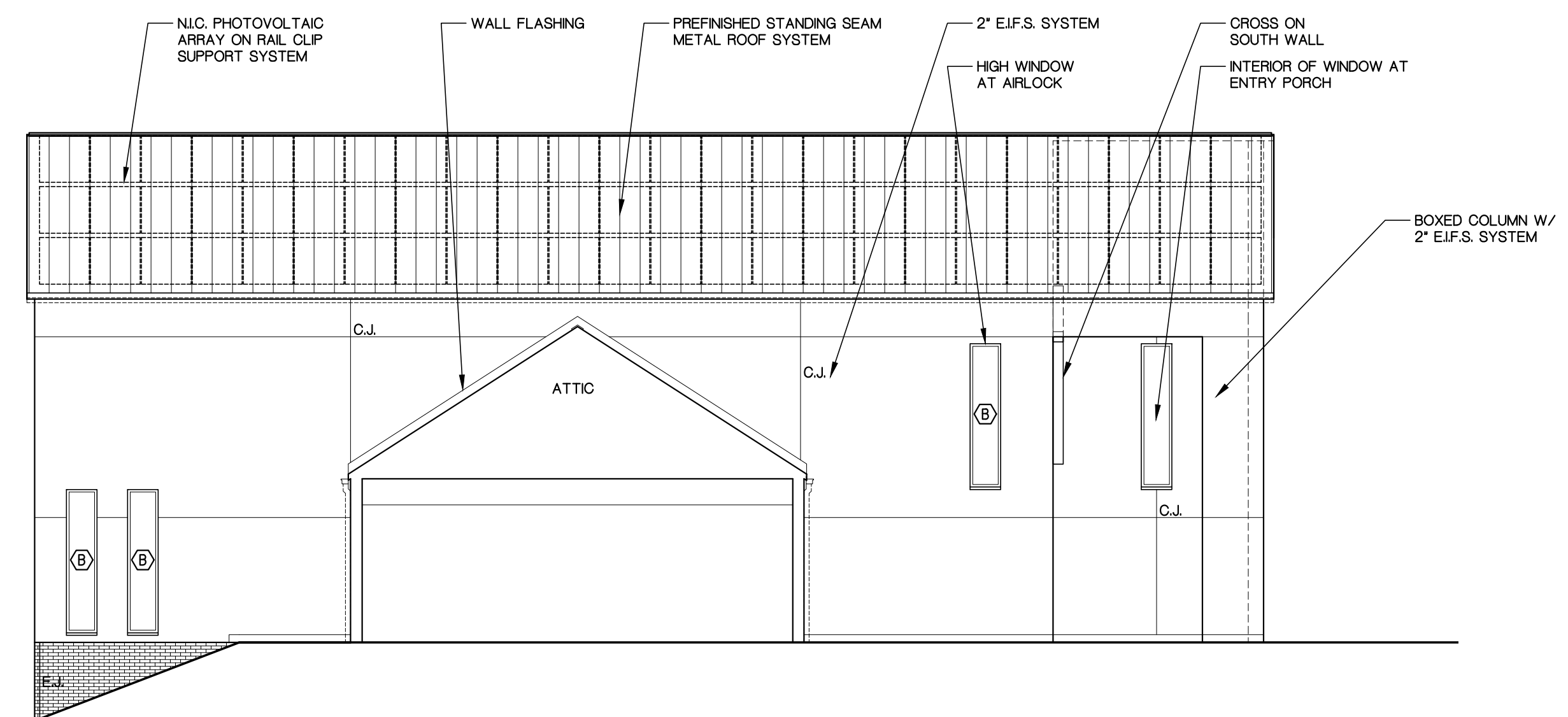
1 SOUTH ELEVATION
A3.2 1/8" = 1'-0"



2 EAST ELEVATION
A3.2 1/8" = 1'-0"



3 NORTH ELEVATION
A3.2 1/8" = 1'-0"



4 WEST ELEVATION
A3.2 1/8" = 1'-0"

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ELEVATIONS

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- NOT FOR
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3-C-24-SU
1/19/2024



3-C-24-SU
1/19/2024



3-C-24-SU
1/19/2024



3-C-24-SU
1/19/2024



3-C-34-SU
1/19/2024





3-C-24-SU
1/19/2024



