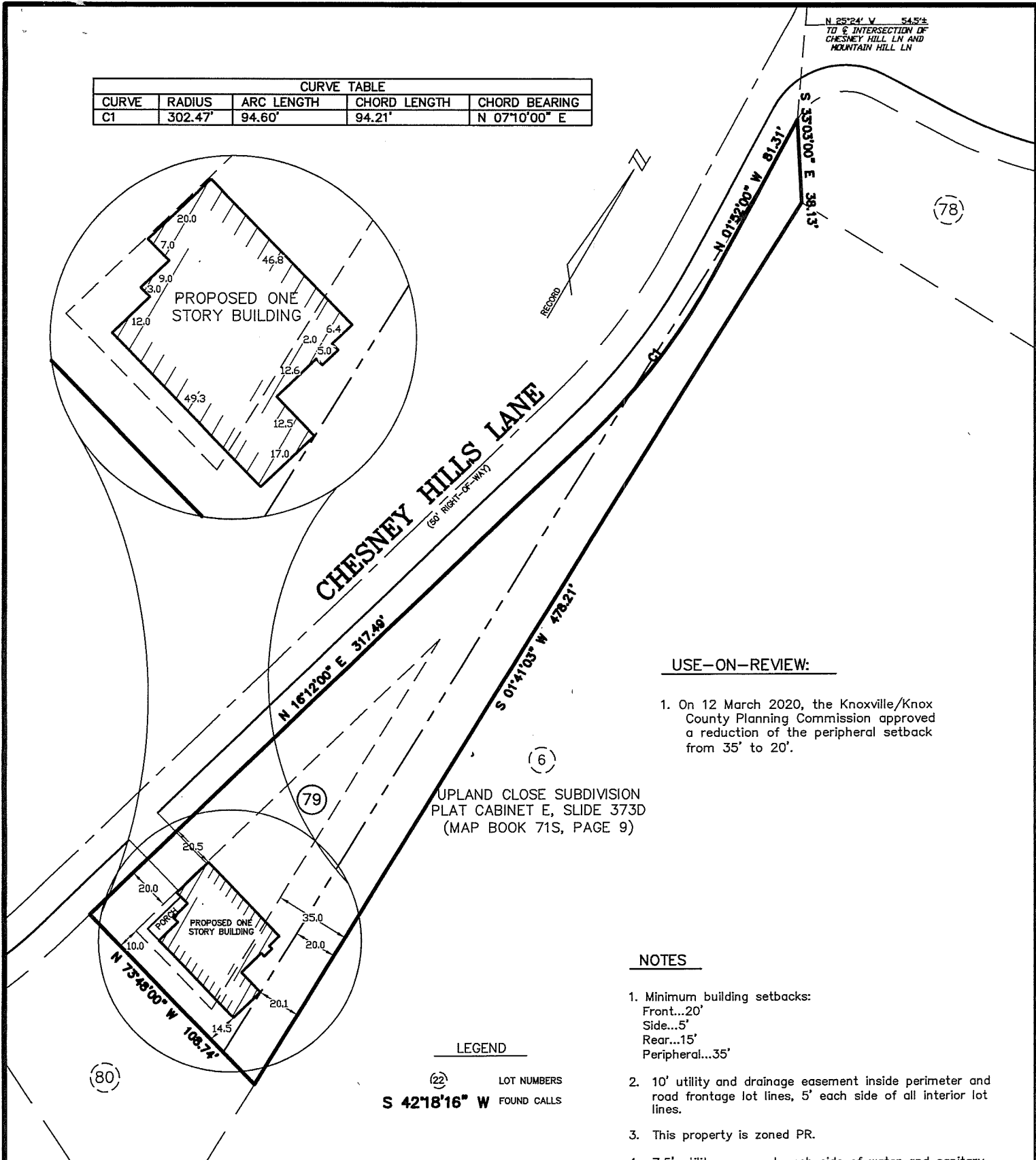


1072

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	302.47'	94.60'	94.21'	N 07°10'00" E



BENCHMARK ASSOCIATES, INC.

3-D-20-UR
1/26/20

10308 Hardin Valley Road
Knoxville, Tennessee 37923

Member:
Tennessee Association
of Professional Surveyors

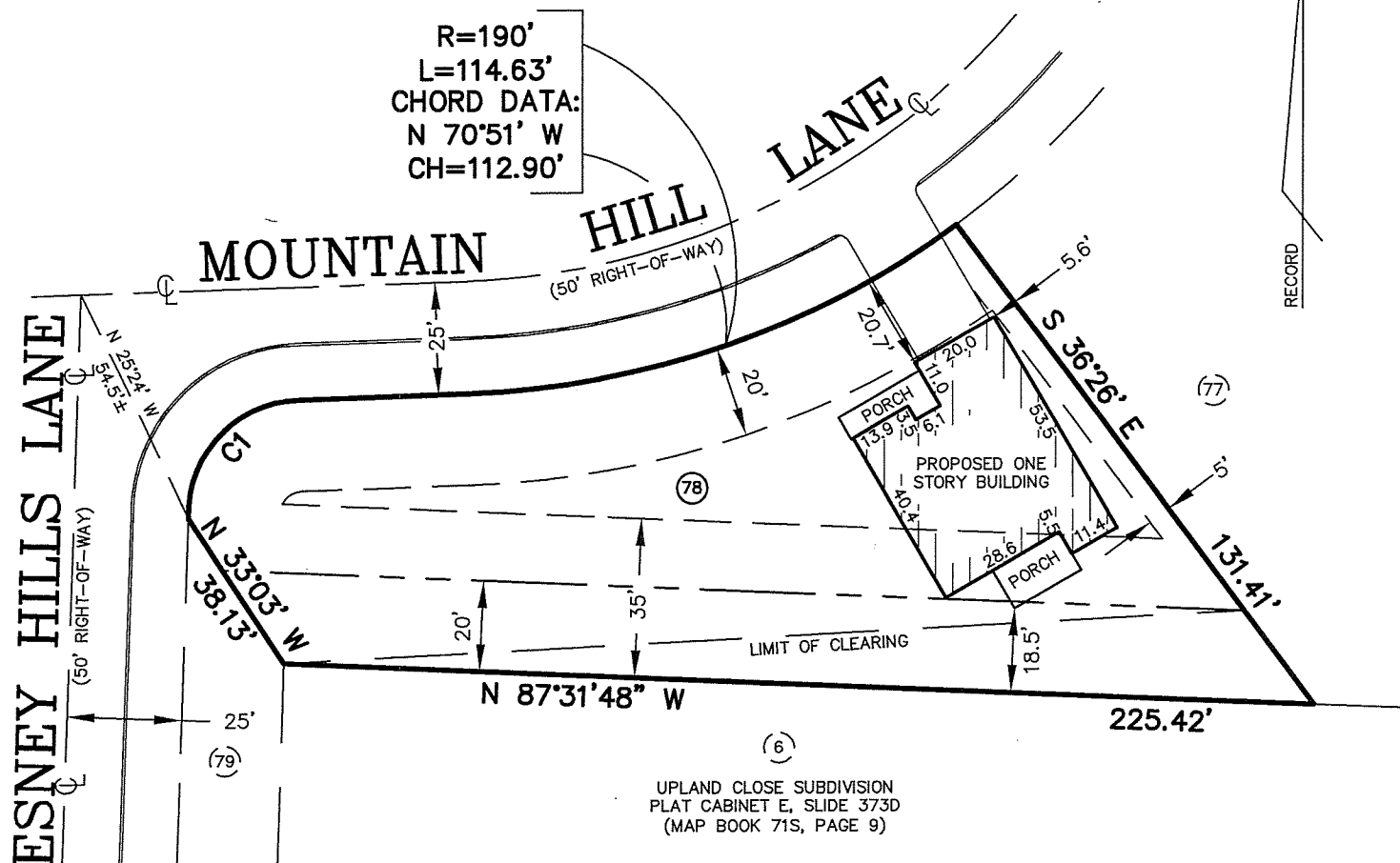
Land Planners



Land Surveyors

Phone (865) 692-4090
Facsimile (865) 692-4091

CHESNEY HILLS LANE



PROPERTY CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	25'	39.27'	35.36'	N 43°08' E

LEGEND

(22) LOT NUMBERS
S 42°18'16" W FOUND CALLS

NOTES

1. Minimum building setbacks:
Front...20'
Side...5'
Rear...15'
Peripheral...35'
2. 10' utility and drainage easement inside perimeter and road frontage lot lines, 5' each side of all interior lot lines.
3. This property is zoned PR.
4. 7.5' utility easement each side of water and sanitary sewer lines as installed.
5. All lots to have vehicular access to internal streets only.
6. Property recorded in Instrument #200606190106476 and Instrument #200610090031021.
7. Platted property lines do not define the exact location of gas line easement.
8. Maintenance Agreements for detention facilities recorded in Instrument #200711010036386.
9. For approved subdivision variances and conditions of approval of the Concept Plan and Use-On-Review, refer to the Metropolitan Planning Commission's files 5-SH-06-C and 5-M-06-UR.
10. Property is subject to Restrictive Covenants, being of record in Instrument #201307290007375 of the Register's Office of Knox County, Tennessee.
11. Record North references the subdivision plat of record referenced in Instrument. #200711070037947 of record in the Register's Office of Knox County, Tennessee.

EXHIBIT DRAWING

SURVEY FOR HUGHSTON HOMES OF TENNESSEE, LLC

LOCATION 1510 MOUNTAIN HILL LANE , KNOXVILLE,TN 37931
SIXTH CIVIL DISTRICT OF KNOX COUNTY, TN

SUBDIVISION CHESNEY HILLS

LOT NUMBER 78 SCALE 1"=40'

BM# 20-009-site4UOR DATE 16 JANUARY 2020

RECORD INSTRUMENT# 201912270043402, R.O.K.C., TN. (DEED)

**BENCHMARK ASSOCIATES, INC.**

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Knoxville, Tennessee 37923

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