

NOTE:
CURB CUT MUST BE AT LEAST 15' WIDE AND MAY EXTEND INTO THE NEIGHBOR'S FRONTAGE WITHOUT THEIR WRITTEN PERMISSION.

SITE NOTES:
 INDICATES NOTES APPLICABLE TO THIS PLAN ONLY WHEN REFERENCED.
 1. PROPOSED LOCATION OF 2-STORY DUPLEX.
 2. PORCH.
 3. DECK.
 4. PROPOSED LOCATION OF ASPHALT DRIVEWAY.
 5. PROPOSED LOCATION OF CONCRETE SIDEWALK.
 6. PROPOSED LOCATION OF LANDSCAPING.
 7. PROPOSED LOCATION OF REQUIRED ASPHALT PARKING.
 8. PROPOSED LOCATION OF REQUIRED GRAVEL PARKING.
 9. ELEVATIONS.

PROJECT DATA:
IMPERVIOUS SURFACE TABLE
 ASPHALT DRIVE: 1502 SQ.FT.
 CONCRETE SIDEWALK: 42 SQ.FT.
 DUPLEX FOOTPRINT: 2,068 SQ.FT.
 TOTAL: 3612 SQ.FT.

NOTE:
 PLANNING FILE #3-D-26-5U

OWNER:
 CALEB & AMANDA COVER
 2261 WATERSTONE BLVD.
 KNOXVILLE, TN 37932

LEGAL DESCRIPTION:
 FORREST PARK ADD RESUB.
 LOT NO. 10-13
 3311 JOHNSON ST.
 KNOXVILLE, TN 37921
 PARID: 081HC043

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BUILDING DATA:
 ZONING: RN-2
 TYPE OF CONSTRUCTION: V-B
 FIRE SPRINKLERS: NO
 STORIES: 2
 OCCUPANCY LOAD: 110
 REQUIRED EXITS: 1 PER UNIT

WORK SCOPE:
 CONSTRUCTION OF A NEW 2 UNIT
 2-STORY DUPLEX TO INCLUDE
 ELECTRICAL, HVAC, AND PLUMBING.

CODE DATA:
 2024 INTERNATIONAL RESIDENTIAL CODE
 2024 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2024 INTERNATIONAL PLUMBING CODE
 2024 INTERNATIONAL MECHANICAL CODE
 2024 INTERNATIONAL FUEL GAS CODE
 2024 INTERNATIONAL PROPERTY MAINTENANCE CODE
 2024 NATIONAL ELECTRIC CODE WITH LOCAL AMENDMENTS
 2024 INTERNATIONAL GREEN CONSTRUCTION CODE
 2011 ICC ANSI A117.1 ACCESSIBILITY CODE

GENERAL NOTES:

- THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE OWNER AND/OR ARCHITECT WHOSE SIGNATURE APPEARS HEREON.
- THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS, AND ON-SITE CONDITIONS PRIOR TO STARTING ANY WORK. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
- DIMENSIONS, AS INDICATED ARE THE DIMENSIONS THAT SHALL BE USED FOR CONSTRUCTION. DO NOT SCALE DRAWINGS. NOTES & DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES. ALL DIMENSIONS ARE TAKEN TO THE ROUGH (M.O.N. ON PLANS).
- THE DRAWINGS & SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR. THE ARCHITECT HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER. THE CONTRACTOR AND/OR SUBCONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE AFORESAID MATERIALS.
- GRADING & DRAINAGE: ALL PAVING, FLAT WORK AND PLANTERS NEXT TO THE BUILDING SHALL BE PROPERLY GRADED TO CARRY WATER AWAY FROM THE BUILDING. OBSERVATION VISITS TO THE JOB SITE BY THE ARCHITECT DO NOT INCLUDE INSPECTION OF CONSTRUCTION PROCEDURES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS AND FOR SAFETY CONDITIONS AT THE WORK SITE. THESE VISITS SHALL NOT BE CONSIDERED AS CONTINUOUS AND DETAILED INSPECTIONS.

GENERAL REQUIREMENTS:

- SCOPE:** ALL TRADERS SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS, AND PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB.
- PERMITS:** THE GENERAL BUILDING PERMIT & PLAN CHECK FEES SHALL BE SECURED AND PAID FOR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.
- INTENTION:** THE INTENTION OF THIS DOCUMENT IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR A COMPLETE AND PROPER EXECUTION OF THE WORK DESCRIBED.
- CHANGES:** THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE WORK. THE CONTRACT SUM SHALL BE ADJUSTED ACCORDINGLY.
- CUTTING & PATCHING:** ALL TRADERS SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC. TO MAKE THE SEVERAL PARTS COME TOGETHER PROPERLY AND FIT IT TO RECEIVE OR BE RECEIVED BY THE WORK OF OTHER TRADERS.
- CLEANUP:** ALL TRADERS SHALL, AT ALL TIMES, KEEP THE SITE FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THEIR WORK.

GENERAL:

- ALL CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO CURRENT E.C. CODES AS NOTED ON COVER SHEET OF PLANS.
- DESIGN MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ARCHITECT AND APPLICABLE GOVERNING AGENCIES. REFERENCES TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
- THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN, OR ABOUT THE JOB SITE METHODS OF PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE CONTRACTOR OR SUBCONTRACTOR'S WORK.

Revisions:
 PLANNING REVIEW 02/17/25
 PLANNING REVIEW 02/17/25

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 3795 PARKER HARRISON WAY, KNOXVILLE TN, 37924

Project and Location:
COVER DUPLEX
 3311 JOHNSON ST.
 KNOXVILLE, TN 37921
 PARID: 081HC043

Drawn by SP
 Checked by
 Date 09/19/25
 Job No. TN25-104

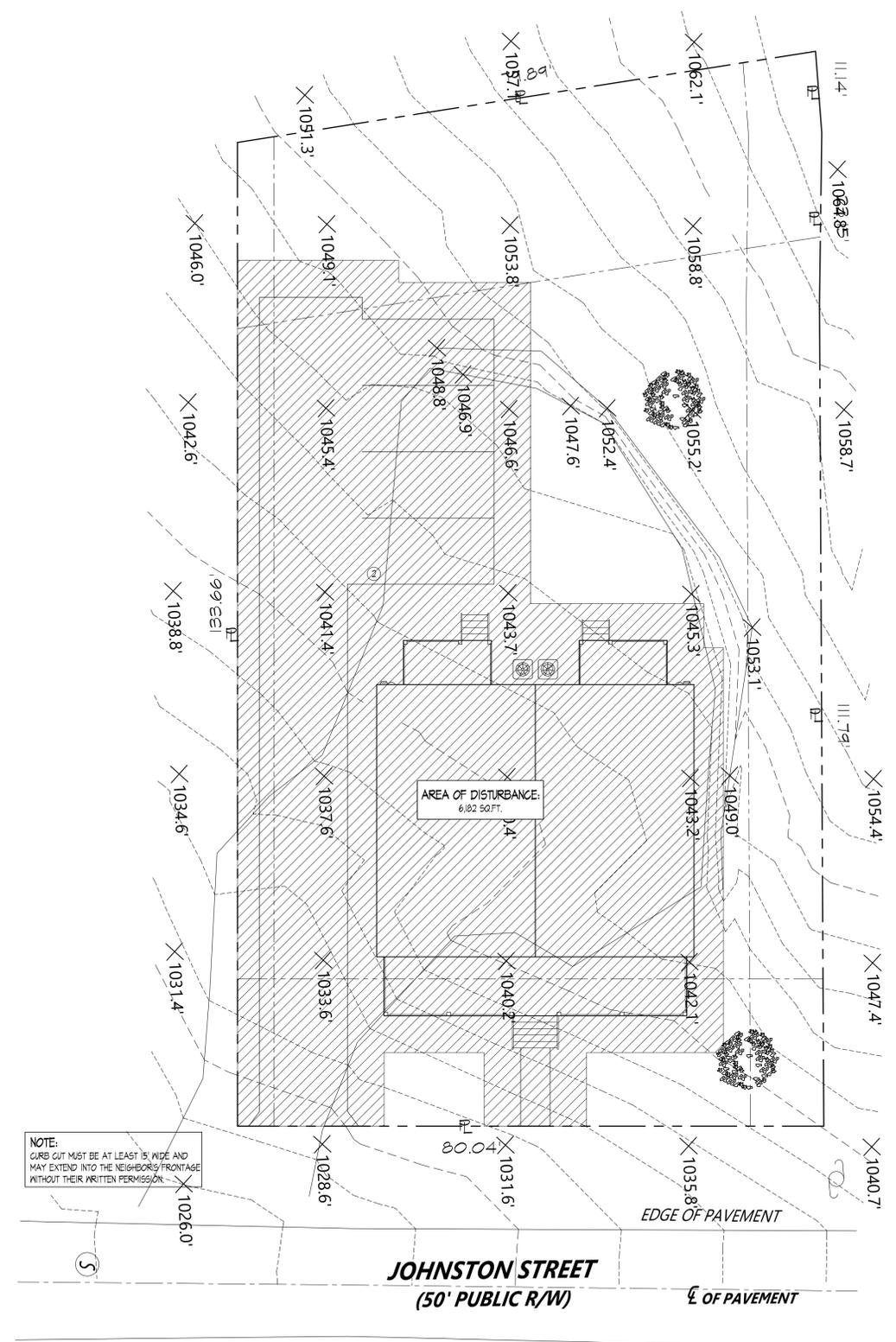
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ALL SETBACKS, ELEVATIONS, AND DIMENSIONS SHOWN ON THESE PLANS ARE BASED UPON THE PROPERTY CORNER MARKERS AND THE SURVEY DATA PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS CONDUCTED A VISUAL VERIFICATION OF THE PROPERTY CORNER MARKERS AND THE SURVEY DATA PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE PROPERTY CORNER MARKERS AND THE SURVEY DATA PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE PROPERTY CORNER MARKERS AND THE SURVEY DATA PROVIDED TO THE ARCHITECT. THE ARCHITECT HAS NOT CONDUCTED A SURVEY OF THE PROPERTY CORNER MARKERS AND THE SURVEY DATA PROVIDED TO THE ARCHITECT.



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JOHNSTON STREET
(50' PUBLIC R/W)

EDGE OF PAVEMENT

PROJECT DATA:

IMPERVIOUS SURFACE TABLE	
ASPHALT DRIVE:	1502.50 FT.
CONCRETE SIDEWALK:	42.50 FT.
DUPLEX FOOTPRINT:	2,068.50 FT.
TOTAL:	3,612.50 FT.

NOTE:
PLANNING FILE #3-D-26-50

GENERAL NOTES:

1. THESE NOTES SHALL BE USED IN CONJUNCTION WITH THE PLANS AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. NO CHANGES SHALL BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF THE OWNER AND/OR ARCHITECT WHOSE SIGNATURE APPEARS HEREON.
2. THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL CHECK ALL DIMENSIONS, FRAMING CONDITIONS, AND ON-SITE CONDITIONS, PRIOR TO STARTING ANY WORK. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND/OR SUBCONTRACTOR. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES, ERRORS OR OMISSIONS.
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 2. **PERMITS:** THE GENERAL BUILDING PERMIT & PLAN CHECK FEES SHALL BE SECURED AND PAID FOR BY THE SUB-CONTRACTOR DIRECTLY RESPONSIBLE.
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- GENERAL:**
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 - C. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED, SAFETY IN OR ABOUT THE JOB SITE METHODS OF PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE CONTRACTOR OR SUBCONTRACTOR'S WORK.

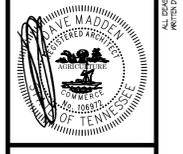
Revisions:

PLANNING REVISION	SP
02/17/25	

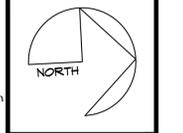
DMA
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DISTURBANCE PLAN

Project and Location:
COVER DUPLEX
8817 JOHNSTON ST.
KNOXVILLE TN 37921
PARID: 081HC043



Drawn by SP
Checked by
Date 09/19/25
Job No. TN25-104



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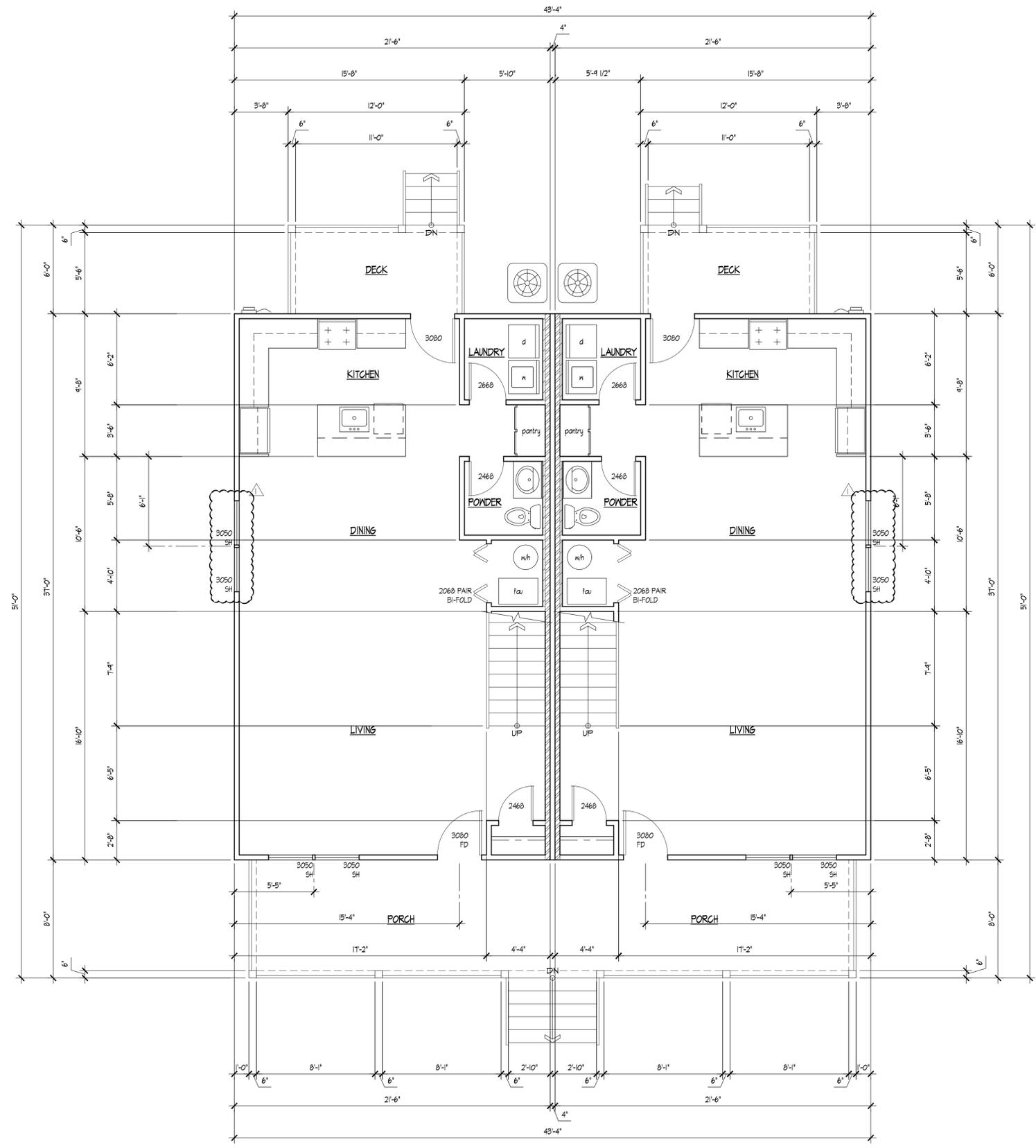
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NOTE:
PLANNING FILE #3-D-26-5U

SQUARE FOOTAGE:

UNIT A LOWER FLOOR PLAN:	LIVING: 736 SQ.FT.
	PORCH: 168 SQ.FT.
	DECK: 12 SQ.FT.
UNIT A UPPER FLOOR PLAN:	LIVING: 796 SQ.FT.
	TOTAL LIVING: 1532 SQ.FT.
	TOTAL AREA: 1830 SQ.FT.
UNIT B LOWER FLOOR PLAN:	LIVING: 736 SQ.FT.
	PORCH: 168 SQ.FT.
	DECK: 12 SQ.FT.
UNIT B UPPER FLOOR PLAN:	LIVING: 796 SQ.FT.
	TOTAL LIVING: 1532 SQ.FT.
	TOTAL AREA: 1830 SQ.FT.
UNIT A & UNIT B TOTALS:	TOTAL LIVING: 3064 SQ.FT.
	TOTAL AREA: 3660 SQ.FT.

- FLOOR PLAN NOTES**
- CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY AND COMPARE ALL DRAWINGS, DATA, DIMENSIONS, SPEC'S, AND CONDITIONS BEFORE PROCEEDING WITH ANY WORK. REPORT AT ONCE TO THE ARCHITECT ANY ERROR, INCONSISTENCY OR OMISSION THAT IS DISCOVERED.
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LOWER LEVEL FLOOR PLANS - A & B

WALL LEGEND

	2x4 WALLS
	2x6 PLUMBING WALLS
	2x4 DEMISING WALLS, SEE PROVIDED DETAIL

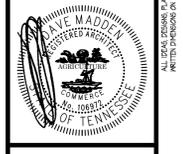
Revisions:

PLANNING REVIEW	SP	12/22/25
PLANNING REVIEW	SP	02/17/26

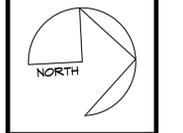
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3735 Parker Harrison Way, Knoxville, TN 37924

Title:
FLOOR PLAN - LOWER LEVELS

Project and Location:
COVER DUPLEX - 3317 JOHNSTON ST. KNOXVILLE, TN 37921
PARID: 081HC043



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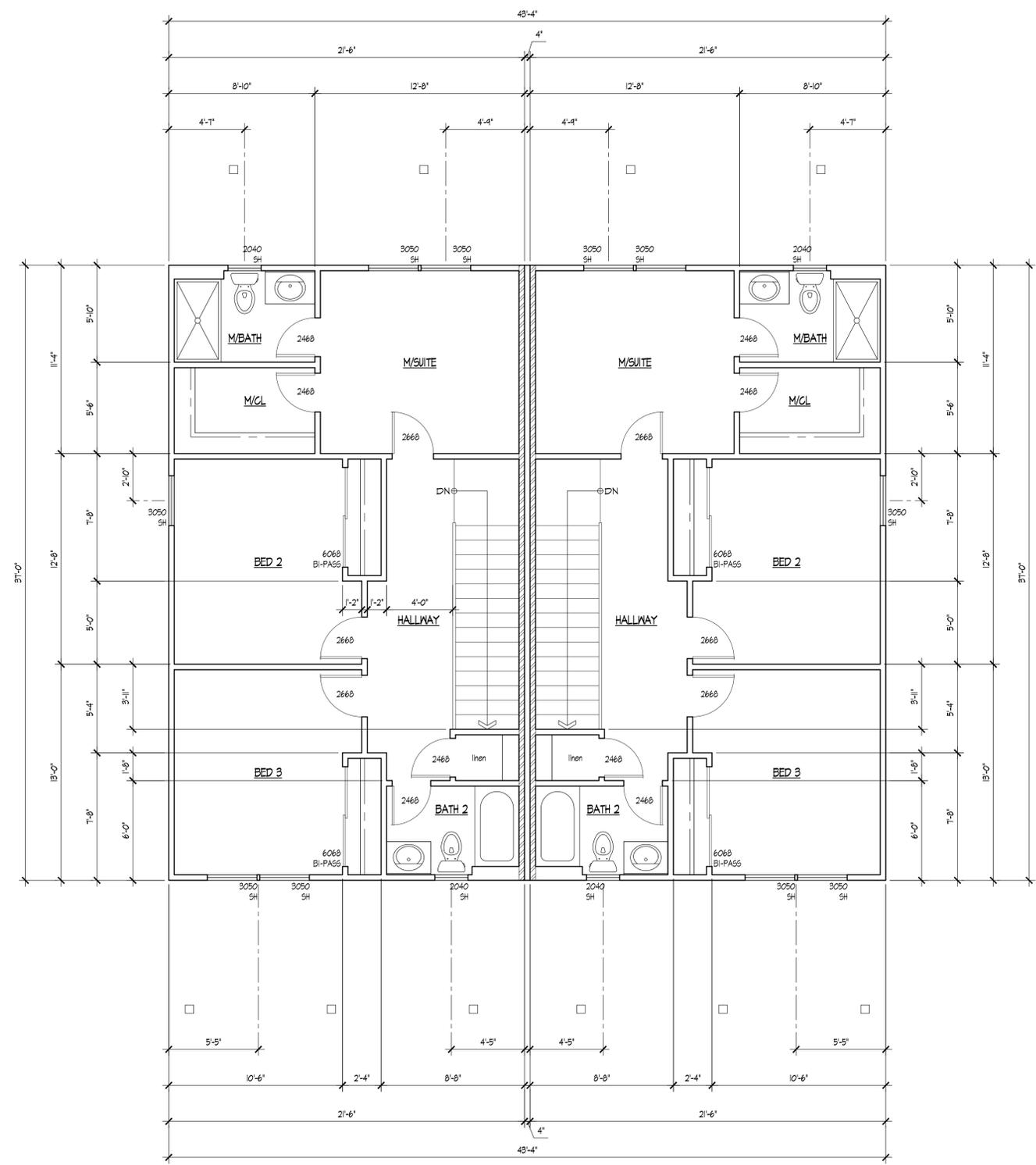
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NOTE:
PLANNING FILE #3-D-26-5U

SQUARE FOOTAGE:

UNIT A LOWER FLOOR PLAN: LIVING: 736 SQ.FT. PORCH: 168 SQ.FT. DECK: 12 SQ.FT.
UNIT A UPPER FLOOR PLAN: LIVING: 796 SQ.FT. TOTAL LIVING: 1532 SQ.FT. TOTAL AREA: 1830 SQ.FT.
UNIT B LOWER FLOOR PLAN: LIVING: 736 SQ.FT. PORCH: 168 SQ.FT. DECK: 12 SQ.FT.
UNIT B UPPER FLOOR PLAN: LIVING: 796 SQ.FT. TOTAL LIVING: 1532 SQ.FT. TOTAL AREA: 1830 SQ.FT.
UNIT A & UNIT B TOTALS: TOTAL LIVING: 3164 SQ.FT. TOTAL AREA: 6860 SQ.FT.

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UPPER LEVEL FLOOR PLANS - A & B

WALL LEGEND

	2x4 WALLS
	2x6 PLUMBING WALLS
	2x4 DEMISING WALLS, SEE PROVIDED DETAIL

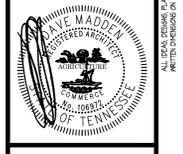
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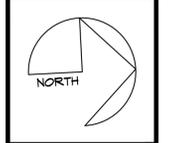
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Title:
FLOOR PLAN - UPPER LEVELS

Project and Location:
COVER DUPLEX - 3317 JOHNSTON ST. KNOXVILLE, TN 37921
PARID: 081HC043



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NOTE:
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EXTERIOR FINISHES

COMPOSITION SHINGLE

SHAKE SIDING

SMOOTH LAP SIDING

BRICK VENEER

Revisions:

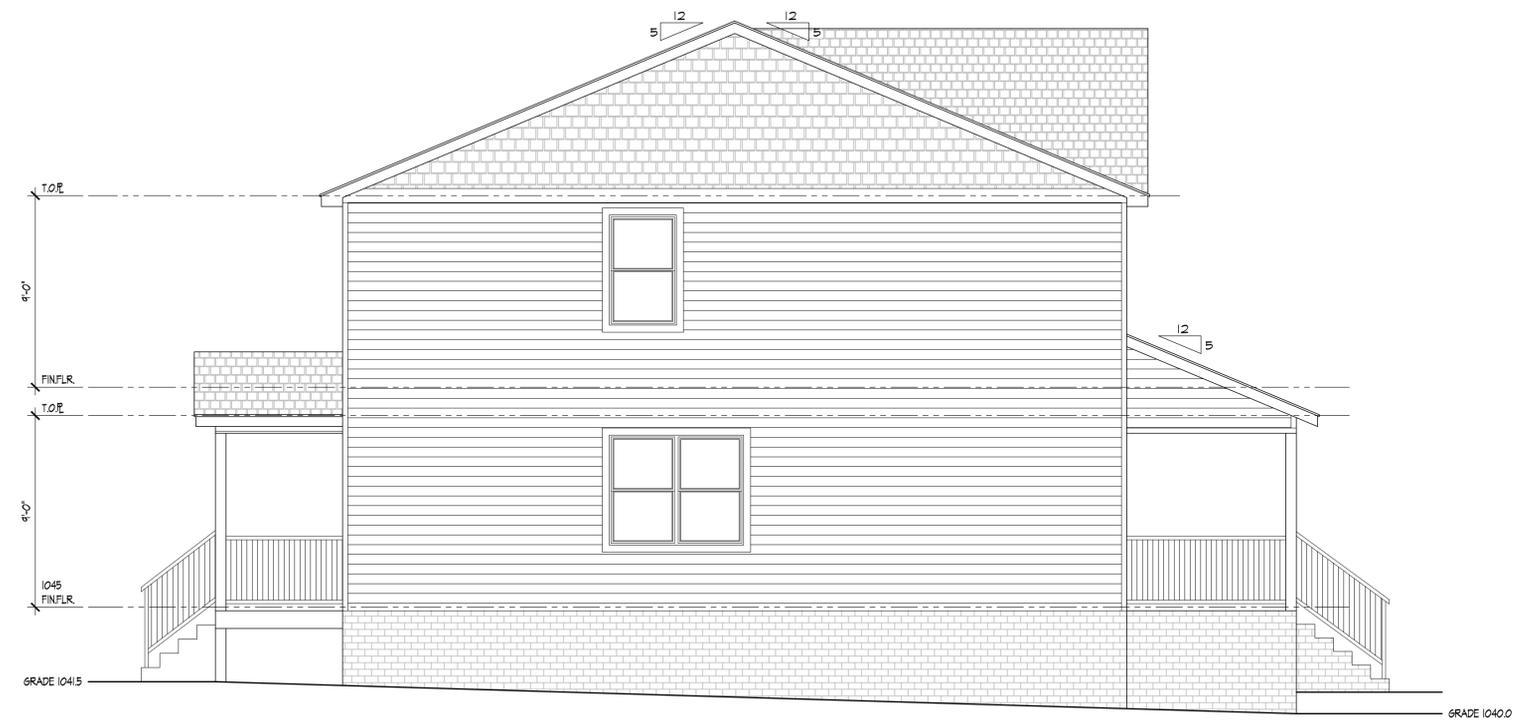
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FRONT FACADE TRANSPARENCY

ENTIRE AREA OF FRONT ELEVATION = 1600 SQ. FT.
 3080 WINDOW AREA = 15 50 FT. X 8 WINDOWS = 120 50 FT.
 2040 WINDOW AREA = 8 50 FT. X 2 WINDOWS = 16 50 FT.
 3080 FRENCH DOOR (1/2 LITE) = 12 50 FT. X 2 DOORS = 24 50 FT.
 RECESSED PORCH OPENING = 85 50 FT. X 4 OPENINGS = 340 50 FT.
 TOTAL TRANSPARENCY PROVIDED = 500 50 FT.
 20% OF 1600 REQUIRED = 251.2 = 320



FRONT ELEVATION



LEFT ELEVATION

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ELEVATIONS

Project and Location:
COVER DUPLEX
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 KNOXVILLE, TN 37921
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NOTE:
PLANNING FILE #3-D-26-5U

EXTERIOR FINISHES

COMPOSITION SHINGLE

SHAKE SIDING

SMOOTH LAP SIDING

BRICK VENEER

Revisions:

PLANNING REVIEW	SP
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PLANNING REVISION	SP
02/17/26	

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Title:
ELEVATIONS

Project and Location:
**COVER DUPLEX
3317 JOHNSTON ST.
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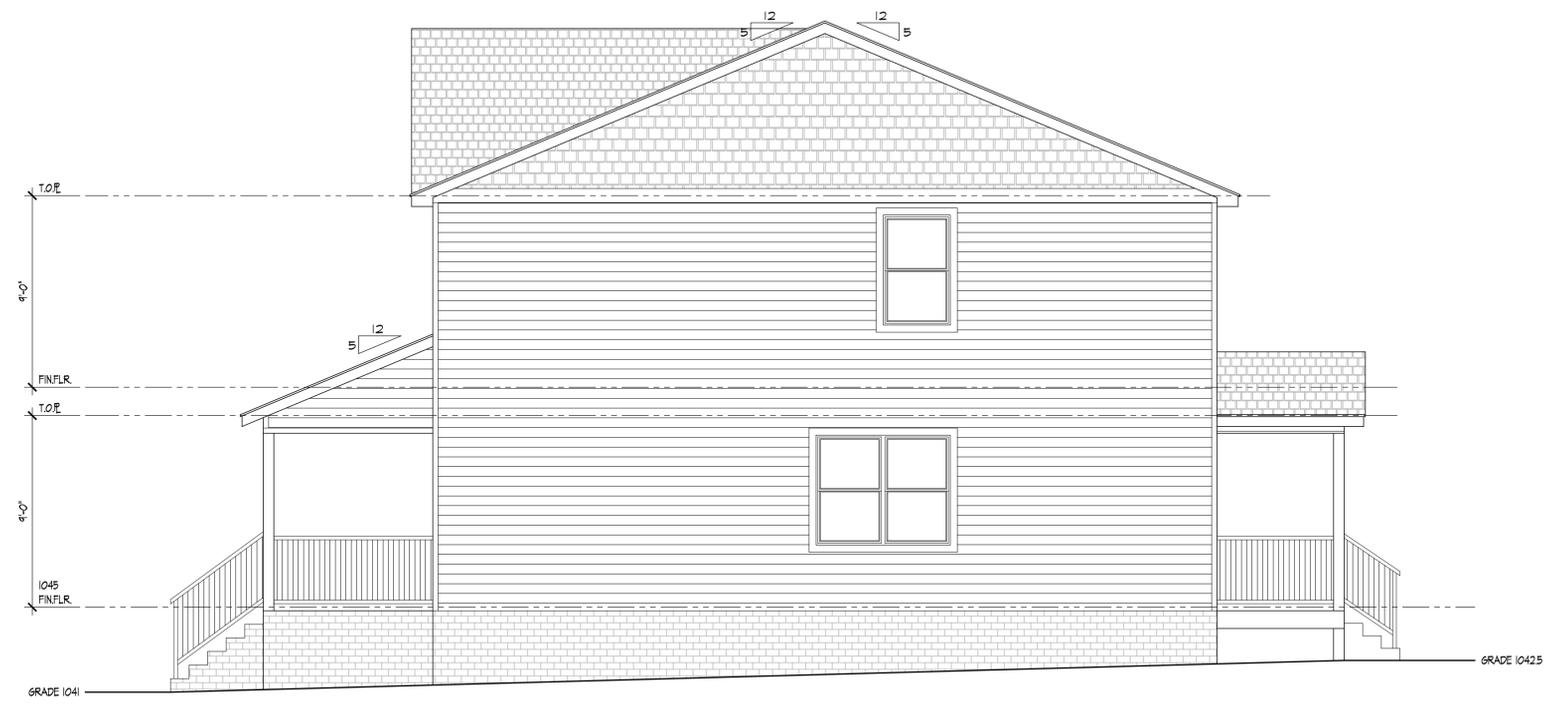
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REAR ELEVATION



RIGHT ELEVATION

TN25-104-ELEV-02-00.dwg