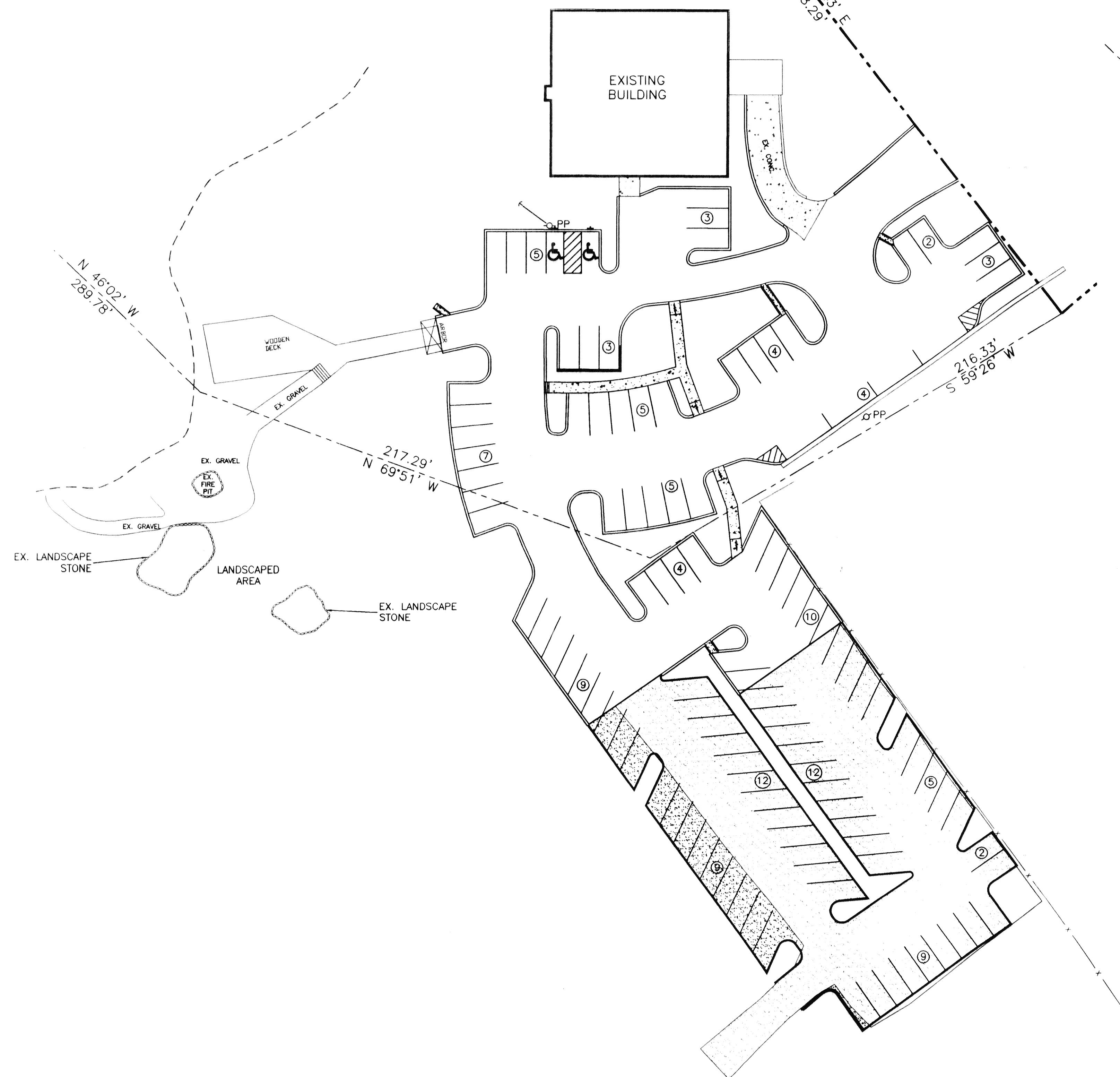
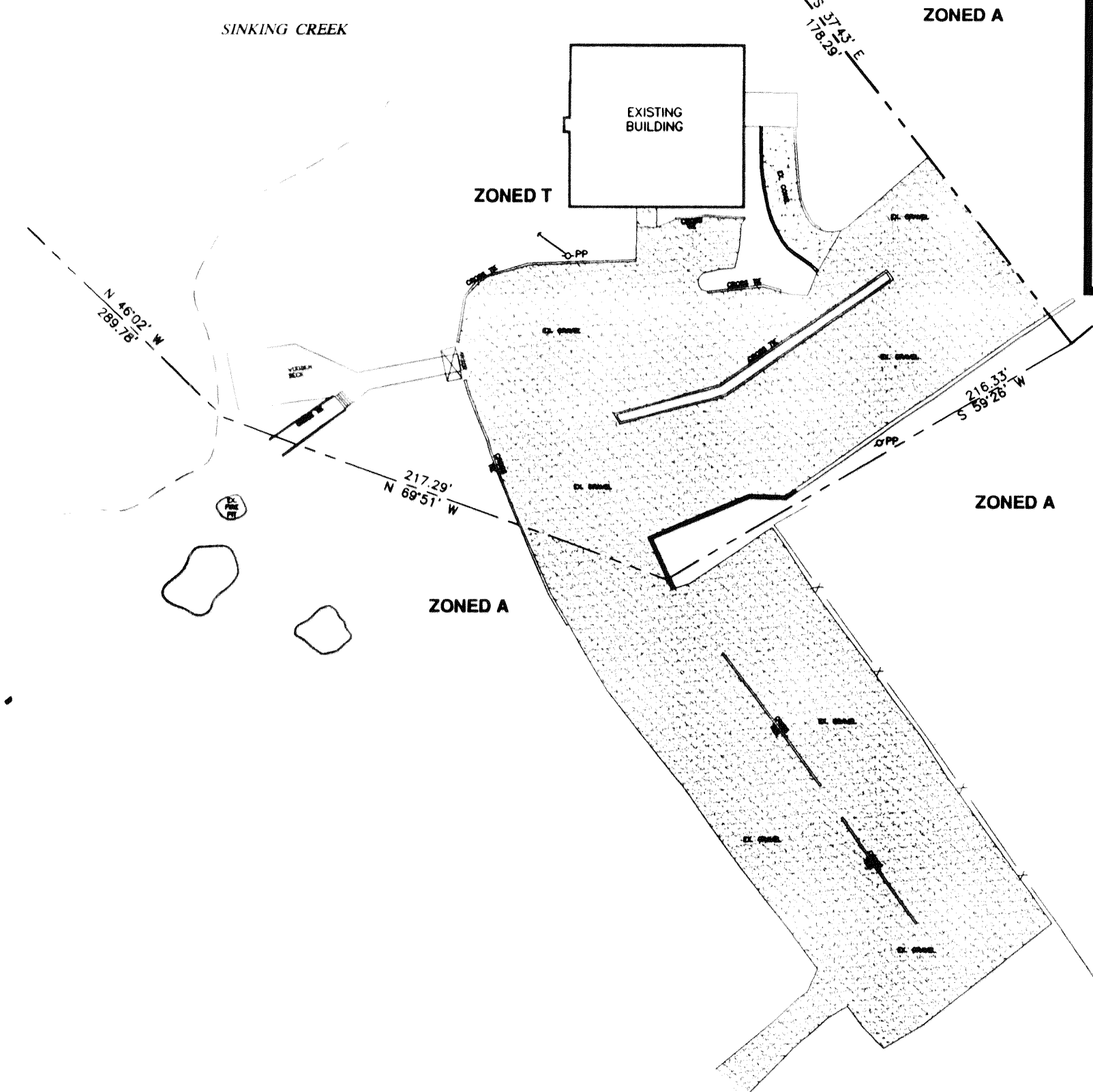


SITE ANALYSIS

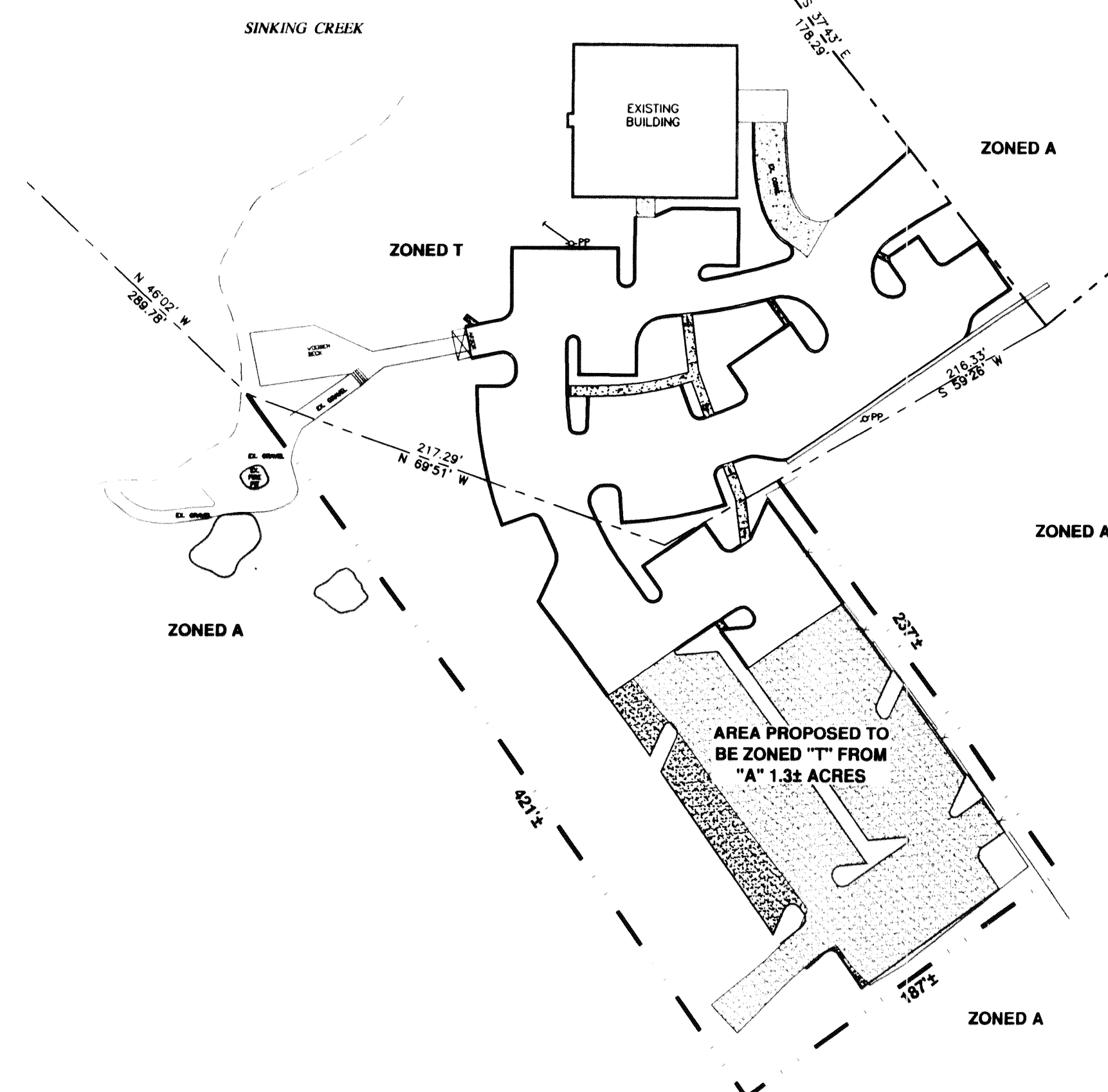
SITE ADDRESS: 9107 HUNTER VALLEY LANE
 DEED BOOK & PAGE NUMBER: D.B. 2271, PG. 1170
 PARCEL ID: 155 044.06
 TOTAL SITE AREA: 51.16± ACRES
 SITE ZONED: A & T
 PROPOSED PARKING SPACES: 111 SPACES
 PROPOSED HANDICAP SPACES: 2 SPACES
 TOTAL PROPOSED PARKING SPACES: 113 SPACES



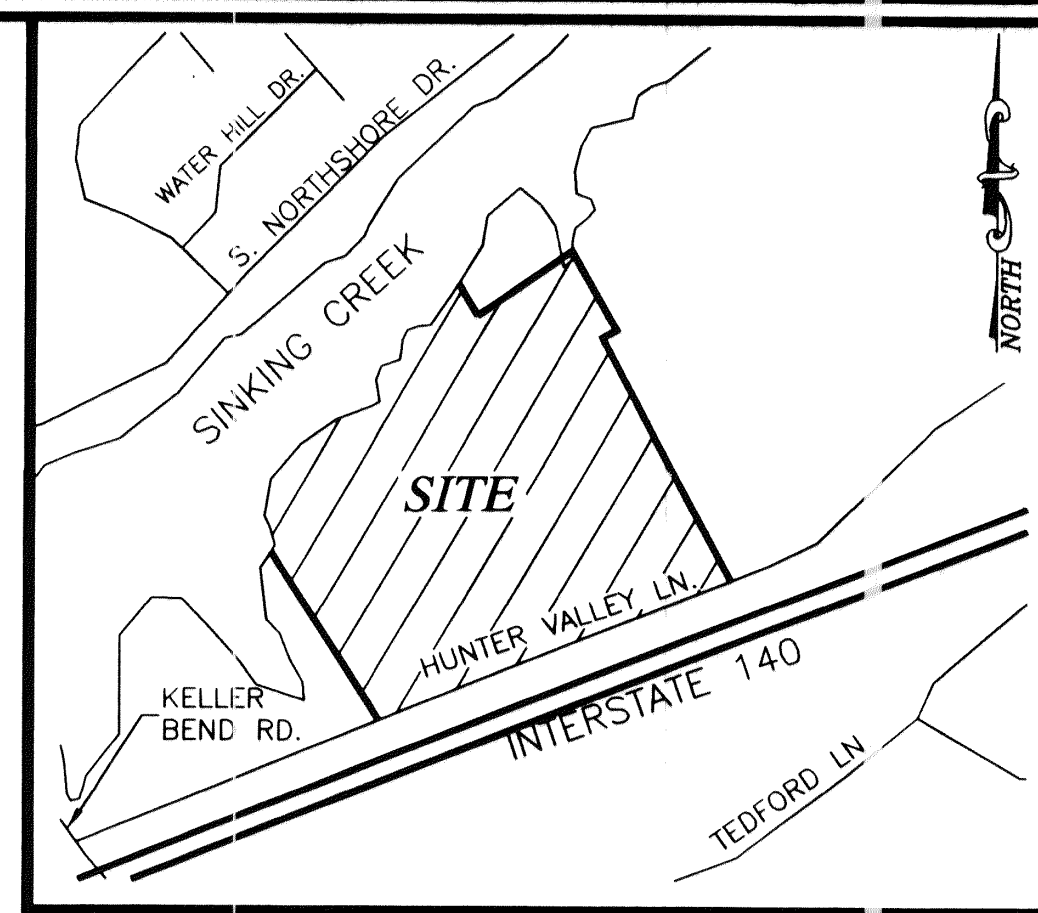
Site Plan
 SCALE: 1" = 30'



Existing Site Zoning Plan
 SCALE: 1" = 60'



Proposed Site Zoning Plan
 SCALE: 1" = 60'



Vicinity Map
 N.T.S.

PRELIMINARY NOT FOR CONSTRUCTION

Tel: (423) 855-5554
 Fax: (423) 855-5110
 7380 Applegate Lane
 Chattanooga, TN 37421

MAP ENGINEERS L.L.C.
 GRAPHIC SCALE
 30' 15' 0' 30' 60' 90'

HUNTER VALLEY FARMS
 FOR:
JAMES M. SPLAWN ARCHITECTS
 1509 SOUTH SMITH STREET, SUITE C
 CHATTANOOGA, TN 37412

SITE/ZONING PLAN

REVISIONS	
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DATE: 01/27/10
 DRAWN BY: DAB
 CHECKED BY: MAP
 PROJ. NUMBER: 09-153
 SHEET NUMBER: **Z-1**

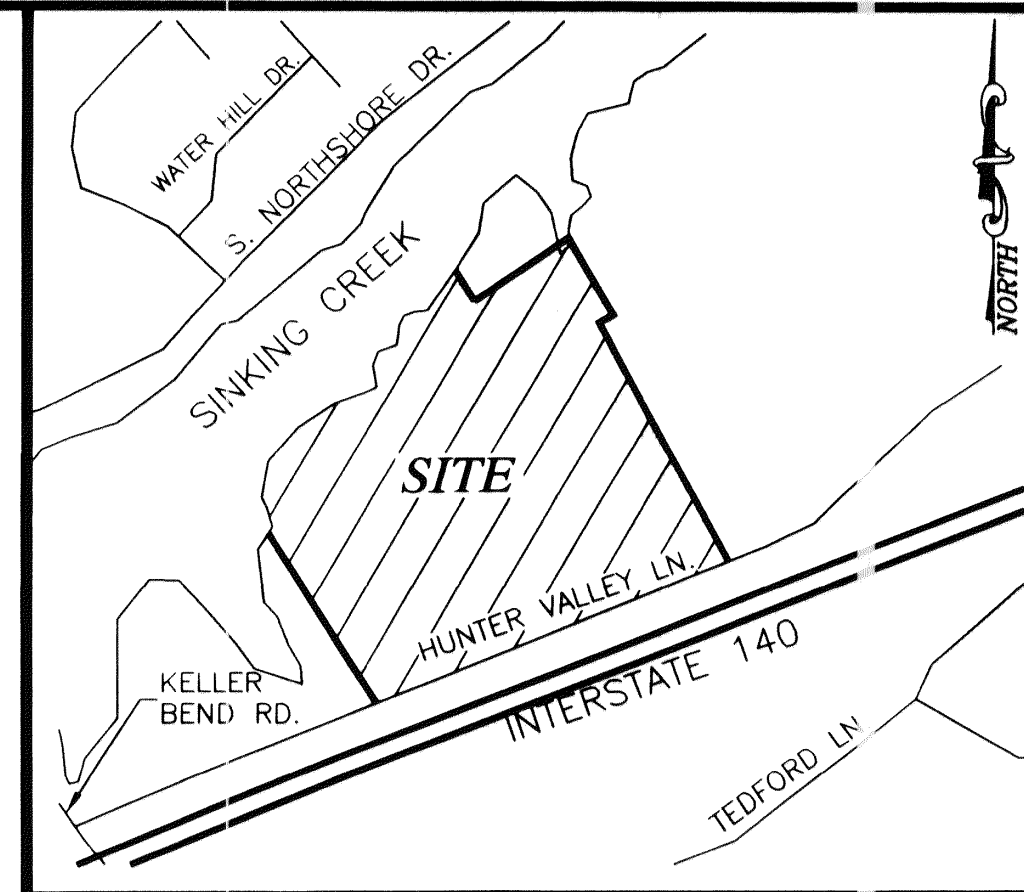
GENERAL NOTES:

- ALL UTILITY LOCATIONS TO BE FIELD VERIFIED BY PROPER AGENCIES BEFORE BEGINNING CONSTRUCTION. UNDERGROUND UTILITIES ARE NOT FIELD LOCATED NOR ARE ALL PURPORTED TO BE SHOWN. INFORMATION SHOWN SHOULD BE CONSIDERED APPROXIMATE. CONTRACTOR TO CONTACT ALL UTILITY COMPANIES TO HAVE UTILITIES FIELD LOCATED BEFORE EXCAVATION OR DEMOLITION WORK BEGINS.
- ALL WORK AND MATERIALS SHALL COMPLY WITH KNOX COUNTY REGULATIONS AND CODES OF O.S.H.A. STANDARDS.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
- NECESSARY AND SUFFICIENT BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL MEASURES AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- THE LOCATIONS OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR MAP ENGINEERS, LLC. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UNDERGROUND AND OVERHEAD UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND AND OVERHEAD UTILITIES.
- ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS NOTED OTHERWISE.
- FOR EXACT BUILDING DIMENSIONS SEE ARCHITECTURAL PLANS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- BOUNDARY SURVEY BY: HINDS SURVEYING CO. DATED: 12/02/08. TOPOGRAPHIC SURVEY BY: HINDS SURVEYING CO. DATED: 12/09/09, REVISED: 12/21/09.
- EROSION CONTROL MEASURES ARE TO BE MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- THIS PROPERTY LIES WITHIN THE 100 YEAR FLOOD BOUNDARY PER THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 47093C0385F, DATED MAY 07, 2007. 100-YR FLOODPLAIN ELEVATION = 817.02.
- THE CONTRACTOR SHALL REFER TO THE PLUMBING/MECHANICAL PLANS FOR LOCATION AND SIZE OF ROOF DRAINAGE, GAS, ELECTRICAL, SANITARY SEWER AND WATER SYSTEM SERVICE LINE CONNECTIONS. MOST SERVICE CONNECTIONS BEGIN 5' FROM BUILDING FACE.
- A MINIMUM CLEARANCE OF TWO FEET SHALL BE MAINTAINED

- BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGNAL OR LIGHT POLE.
- THE CONTRACTOR SHALL COORDINATE INSTALLATION OF ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITH OTHER CONTRACTORS ON SIGN OR LIGHT POLE.
- THE CONTRACTOR SHALL SAW-CUT TO PROVIDE SMOOTH TRANSITIONS AT TIE-INS TO EXISTING EDGES OF PAVEMENT.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINT TOOL.
- THE CONTRACTOR SHALL SAW-CUT TIE-INS AT EXISTING CURBS AS NECESSARY TO ENSURE SMOOTH TRANSITIONS. THE CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY THE INSPECTOR TO ENSURE POSITIVE DRAINAGE (TYPICAL AT ALL INTERSECTIONS).
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- DIMENSIONS ON BUILDINGS ARE FOR GRADING PURPOSES ONLY AND ARE NOT TO BE USED TO LAYOUT FOOTINGS. REFER TO THE STRUCTURAL DRAWINGS FOR FOUNDATION INFORMATION.
- NO WORK SHALL OCCUR OFFSITE ON PROPERTY OWNED BY OTHERS WITHOUT OWNER OR CONTRACTOR OBTAINING WRITTEN PERMISSION TO DO SO.**
- UTILITY COMPANY INFORMATION:**
ELECTRICAL: LENOIR CITY UTILITIES BOARD (865) 986-6591
SANITARY SEWER: FIRST UTILITY DISTRICT (865) 966-9741
TELEPHONE: TIM MANLY @ AT&T SOUTHEAST (423) 792-9181
CABLE: COMCAST (865) 637-5411
WATER: FIRST UTILITY DISTRICT (865) 966-9741

SITE ANALYSIS

SITE ADDRESS: 9107 HUNTER VALLEY LANE
DEED BOOK & PAGE NUMBER: D.B. 2271, PG. 1170
PARCEL ID: 155 044.06
SITE ZONED: ZONED-A
PROPOSED PARKING SPACES: 111 SPACES
PROPOSED HANDICAP SPACES: 2 SPACES
TOTAL PROPOSED PARKING SPACES: 113 SPACES

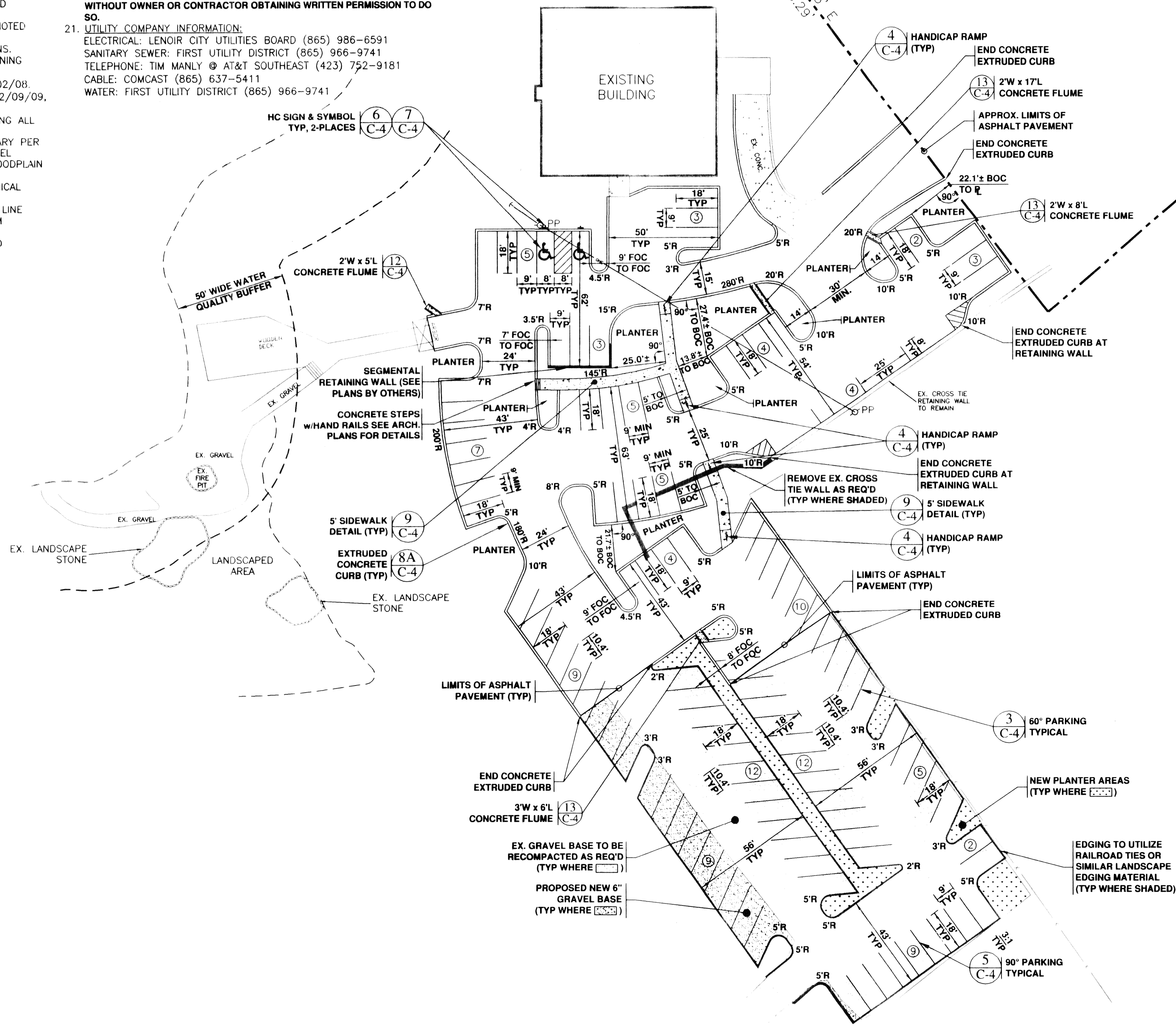


Vicinity Map

N.T.S.

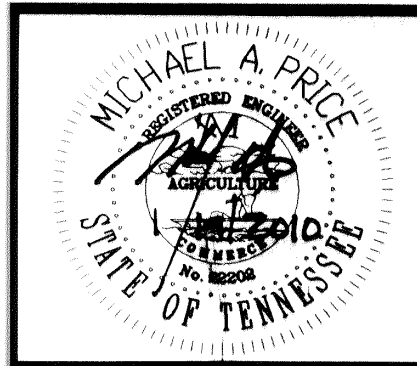
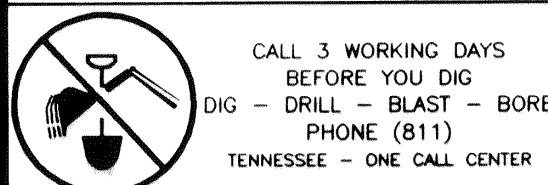
SHEET INDEX

SITE PLAN	C-1
EXISTING CONDITIONS PLAN	C-1A
GRADING PLAN	C-2
EROSION CONTROL PLAN	C-3
SITE DETAILS	C-4



Site Plan

SCALE: 1" = 30'



7300 Appleton Lane
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MAP ENGINEERS
L.L.C.

HUNTER VALLEY FARMS
FOR:
JAMES M. SPLAWN ARCHITECTS
1509 SOUTH SMITH STREET, SUITE C
CHATTANOOGA, TN 37412

SITE PLAN

REVISIONS

NO.	DESCRIPTION	DATE
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DATE: 01/19/10
DRAWN BY: DAB
CHECKED BY: MAP
PROJ. NUMBER: 09-153
SHEET NUMBER: C-1

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EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR IS TO ADHERE TO THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK; AND THE BEST MANAGEMENT PRACTICES MANUAL OF THE STORM WATER MANAGEMENT DEPARTMENT OF PUBLIC WORKS FOR KNOX COUNTY.
- SEDIMENT AND EROSION CONTROL FACILITIES, AND STORM DRAINAGE FACILITIES SHALL BE CONSTRUCTED PRIOR TO ANY OTHER CONSTRUCTION.
- ALL GRADED AREAS SHALL BE STABILIZED WITH A TEMPORARY FAST GROWING COVER AND/OR MULCH, IMMEDIATELY AFTER EARTH DISTURBING ACTIVITY ENDS IN THOSE AREAS WHERE GRADING ACTIVITY HAS CEASED AND FINE GRADING WILL NOT TAKE PLACE FOR AT LEAST 15 DAYS.
- CONTRACTOR SHALL BE RESPONSIBLE DURING CONSTRUCTION FOR THE CONTINUOUS MAINTENANCE OF SEDIMENT AND EROSION CONTROL MEASURES AS CALLED FOR ON THE DRAWINGS AND PER NOTE 1 OF THIS SECTION.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE LEFT IN PLACE AFTER THIS CONTRACT EXPIRES.
- ADDITIONAL EROSION CONTROL DEVICES SHALL BE USED AS REQUIRED.
- SILT FENCE AND/OR HAY BALES SHALL BE CLEANED OR REPLACED WHEN SILT BUILDS UP TO WITHIN ONE FOOT OF TOP OF SILT FENCE AND/OR HAY BALES OR CAPACITY IS REDUCED BY 50%.
- MAXIMUM EMBANKMENT SLOPES TO BE AS FOLLOWS: CUT AREA 3:1; FILL AREAS 3:1 (UNLESS NOTED OTHERWISE).
- EXISTING DRAINAGE STRUCTURES TO BE INSPECTED, REPAIRED AS NEEDED AND CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- SEEDING AND FERTILIZING RATES FOR TEMPORARY AND PERMANENT STANDS OF GRASS SHALL BE PER THE BEST MANAGEMENT PRACTICES MANUAL OF THE STORM WATER DEPARTMENT OF PUBLIC WORKS FOR KNOX COUNTY.
- IF FINES OR PENALTIES ARE LEVIED AGAINST THE PROPERTY OR PROPERTY OWNER BECAUSE OF LACK OF EROSION AND/OR SEDIMENT CONTROL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF SUCH FINES OR PENALTIES OR THE COSTS OF ANY FINES OR PENALTIES SHALL BE DEDUCTED FROM THE CONTRACT AMOUNT.
- ALL SIDE DITCHES TO BE CLEANED AND/OR REGRADED TO PROVIDE PROPER DRAINAGE.
- TOPSOIL IS TO BE SPREAD OVER LAWN AREAS AT COMPLETION OF CONTRACT (PROVIDE 4" MINIMUM SPREAD).
- NEW FINISHED CONTOURS SHOWN ARE TOP OF PAVEMENT AND TOP OF TOPSOIL AREAS TO BE SEED.
- GRADING CONTRACTOR SHALL COOPERATE AND WORK WITH ALL OTHER CONTRACTORS PERFORMING WORK ON THIS PROJECT TO INSURE PROPER AND TIMELY COMPLETION OF THIS PROJECT.
- THE GRADING CONTRACTOR SHALL USE WHATEVER MEASURES ARE REQUIRED TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM FLOWING OUT ADJACENT PROPERTIES. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL EROSION, CONSERVATION AND SILTATION ORDINANCES. THE CONTRACTOR SHALL REMOVE ALL TEMPORARY EROSION CONTROL STRUCTURES UPON COMPLETION OF PERMANENT DRAINAGE FACILITIES AND NOT BEFORE ALL AREAS DRAINING INTO THESE STRUCTURES ARE SUFFICIENTLY STABILIZED.
- THE GRADING CONTRACTOR SHALL TAKE ALL AVAILABLE PRECAUTIONS TO CONTROL DUST. THE CONTRACTOR SHALL CONTROL DUST BY SPRINKLING, OR BY OTHER METHODS AS DIRECTED BY THE ENGINEER AND/OR OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST TO OWNER.
- IN NO CASE SHALL ANY PAVED AREAS BE LESS THAN 1.00% UNLESS OTHERWISE NOTED.
- IT IS THE INTENT OF THIS PROJECT FOR THE CONTRACTOR TO VERIFY AND MATCH EXISTING CONDITIONS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/ARCHITECT OF ANY ITEMS THAT DO NOT EXIST AS SHOWN.
- THE CONTRACTOR SHALL REPAIR OR REPLACE IN-KIND ANY DAMAGE THAT OCCURS AS RESULT OF HIS WORK.
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- ALL AREAS DISTURBED BY SITE GRADING CONTRACTOR THAT ARE NOT COVERED BY BUILDINGS OR PAVEMENT SHALL BE GRASSED PER REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- NO WORK SHALL OCCUR OFFSITE ON PROPERTY OWNED BY OTHERS WITHOUT OWNER AND/OR CONTRACTOR OBTAINING WRITTEN PERMISSION TO DO SO.
- IF ONSITE SEDIMENT BYPASSES THE INSTALLED EROSION CONTROL MEASURES AND ACCUMULATES OFFSITE ON ADJACENT PROPERTIES, THE CONTRACTOR MUST CONTACT MAP ENGINEERS FOR INSTRUCTIONS CONCERNING THE APPROPRIATE METHODS FOR REMOVAL AND DISPOSAL OF THE SEDIMENT. THE CONTRACTOR MUST ALSO CONTACT THE AFFECTED ADJACENT PROPERTY OWNERS AND OBTAIN THEIR PERMISSION TO PERFORM THE REQUIRED OFFSITE WORK TO PROPERLY REMOVE AND DISPOSE OF THE SEDIMENT.
- CONTRACTOR SHALL UTILIZE PROPER DEWATERING PRACTICES FROM THE ONSITE WORK AREA WHEN DEWATERING ANY AREAS SO AS TO MINIMIZE THE ESCAPE OF SEDIMENT ONSITE. CONTRACTOR SHALL PROVIDE THE NECESSARY DETAILS AND INFORMATION TO DEC SHOULD THIS WORK BE REQUIRED. THE CONTRACTOR MUST ALSO PROPERLY FILTER THE DISCHARGED WATER TO MINIMIZE THE ESCAPE OF SEDIMENT THROUGH USE OF FILTER SOCKS, OR OTHER APPROVED METHODS.
- ALL EROSION CONTROL AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED, AND IF NECESSARY REPAIRED, AT LEAST TWICE EVERY SEVEN CALENDAR DAYS, BUT AT LEAST 72 HOURS APART AND WITHIN 24 HOURS BEFORE AND AFTER EACH RAINFALL EVENT GREATER OR EQUAL TO 0.5-INCH.
- UPON COMPLETION OF THE PROJECT, "RECORD" DRAWINGS OF THE EXISTING AND NEW DRAINAGE SYSTEM MUST BE SUBMITTED TO THE KNOX COUNTY ENGINEERING OFFICE WITHIN 30 DAYS.
- THIS PROPERTY LIES WITHIN THE 100 YEAR FLOOD BOUNDARY PER THE F.E.M.A. FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 47093C0385F, DATED MAY 07, 2007. 100-YR FLOODPLAIN ELEVATION=817.0±

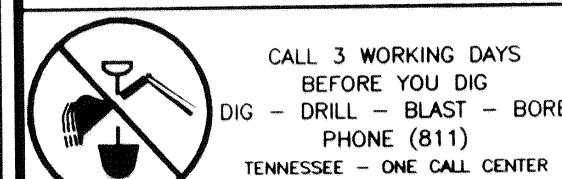
COMPACTION REQUIREMENT NOTES:

- REMOVE SURFACE VEGETATION, TOPSOIL, FOUNDATIONS, SLABS, PAVEMENTS, ROOT SYSTEMS, ORGANIC MATERIAL, EXISTING FILL, AND SOFT OR OTHERWISE UNSUITABLE MATERIAL FROM THE BUILDING AND PAVEMENT AREA. ALL AREAS TO RECEIVE FILL OR CUT TO GRADE SHALL BE PROOFROLLED IN THE PRESENCE OF THE GEOTECHNICAL ENGINEER. THE CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER FOR ALL PROOFROLLING. REMOVE AND REPLACE UNSUITABLE AREAS WITH SUITABLE MATERIAL. FILL MATERIAL SHALL BE FREE OF ORGANIC, AND OTHER DELETERIOUS MATERIALS AND ROCK FRAGMENTS LARGER THAN 3 INCHES AND BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO FILLING.
- PLACE FILL MATERIAL IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS. ADJUST MOISTURE CONTENT TO BE WITHIN OPTIMUM AND 3 PERCENT ABOVE THE OPTIMUM VALUE, AND COMPACT TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) PER A REGISTERED GEOTECHNICAL ENGINEER'S REQUIREMENTS. ALL FILL SHALL BE UNIFORMLY SPREAD AND WELL COMPACTED.
- SOILS ENGINEER SHALL CERTIFY THAT ALL FILL AREAS ARE COMPACTED TO GEOTECHNICAL ENGINEER'S SPECIFICATIONS AND REQUIREMENTS.

MATERIAL NOTES

- PRECAST STRUCTURES MAY BE USED AT THE CONTRACTORS OPTION.
- ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 P.S.I.
- STORM SEWER SHALL BE AS FOLLOWS: ULTRAFLO® GALVANIZED STEEL (16 GA. MINIMUM) PER ASTM A929; SWP-SMOOTH WALL POLYETHYLENE PIPE WITH WATER TIGHT SEALS.
- NO SUBSTITUTIONS OF PROPOSED PIPING MATERIAL IS ALLOWED UNLESS APPROVED IN WRITING BY M.A.P. ENGINEERS, LLC.

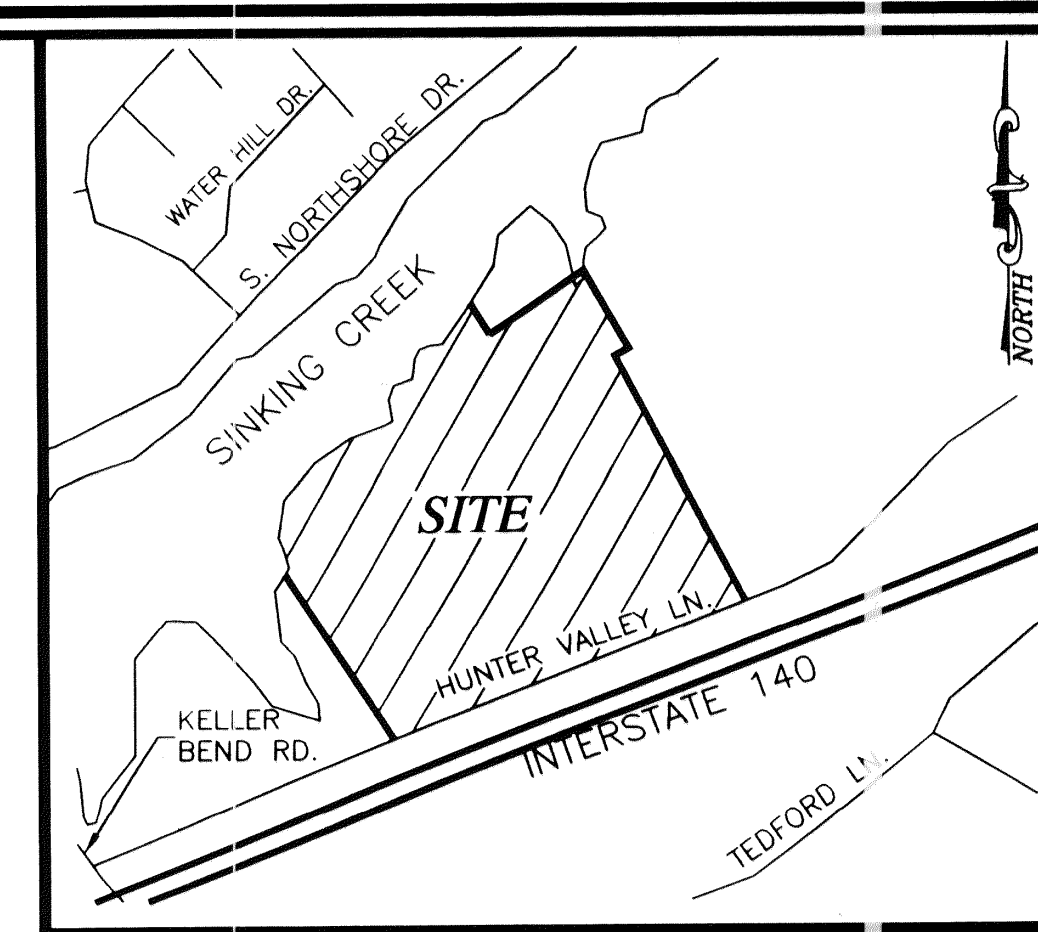
DISTURBED ACREAGE = 0.9± ACRES
PRECONSTRUCTION IMPERVIOUS ACREAGE = 1.47± ACRES
POSTCONSTRUCTION IMPERVIOUS ACREAGE = 1.46± ACRES
TOTAL SITE ACREAGE = 51.16± ACRES
NUMBER OF OIL SKIMMERS = 1



NOTE: 50' WIDE WATER QUALITY BUFFER WILL BE WELL MAINTAINED AND MANICURED AS REQUIRED.

NOTE: ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE GRADING PERMITEE.

OWNER/DEVELOPER & CONTACT INFORMATION
BECKY THORNTON
9111 HUNTER VALLEY LANE
KNOXVILLE, TN 37922
(865) 691-8225



Vicinity Map

N.T.S.

LAND DISTURBING ACTIVITY NOTES:

VEGETATION, TOP SOIL WILL BE SALVAGED, STOCK PILED AND SPREAD ON AREAS TO BE VEGETATED. TREES OUTSIDE OF THE CLEARING LINE WILL BE PROTECTED FROM DAMAGE BY APPROPRIATE MARKINGS. SUPPLEMENTAL VEGETATION WILL BE ESTABLISHED.

EROSION CONTROL: EROSION CONTROL MEASURES SHALL BE APPLIED TO APPLICABLE IMMEDIATELY AREAS AFTER GRADING IS COMPLETED. LAND DISTURBING WILL BE EMPLOYED TO PREVENT EROSION IN AREAS OF CONCENTRATED WATER FLOWS. EROSION AT THE EXITS OF ALL STORM WATER STRUCTURES WILL BE PREVENTED BY THE INSTALLATION OF STORM DRAIN OUTLET PROTECTION DEVICES.

SEDIMENT CONTROL PROGRAM: ACCOMPLISHED BY THE INSTALLATION OF SEDIMENT BASINS, SEDIMENT FENCES AND ADDITIONAL MEASURES AS REQUIRED. INVERSIONS AND DIKES WILL BE INSTALLED TO DIVERT SEDIMENT LOADED RUNOFF INTO THE SEDIMENT BASINS AND TO PROTECT CUT AND FILL SLOPES FROM EROSION WATER FLOWS. A TEMPORARY CONSTRUCTION EXIT WILL BE EMPLOYED TO PREVENT THE TRANSPORT OF SEDIMENT FROM SITE BY VEHICULAR TRAFFIC.

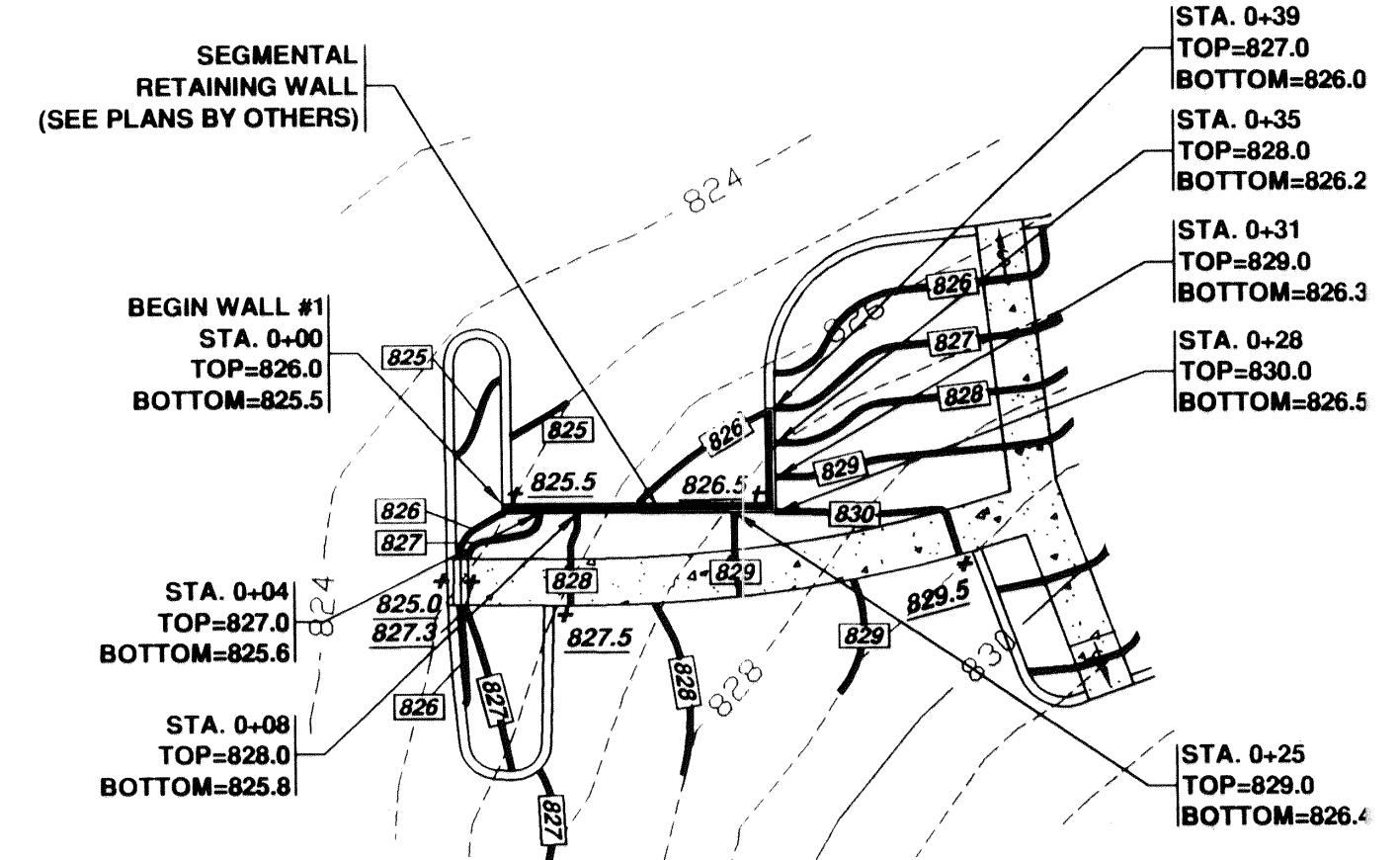
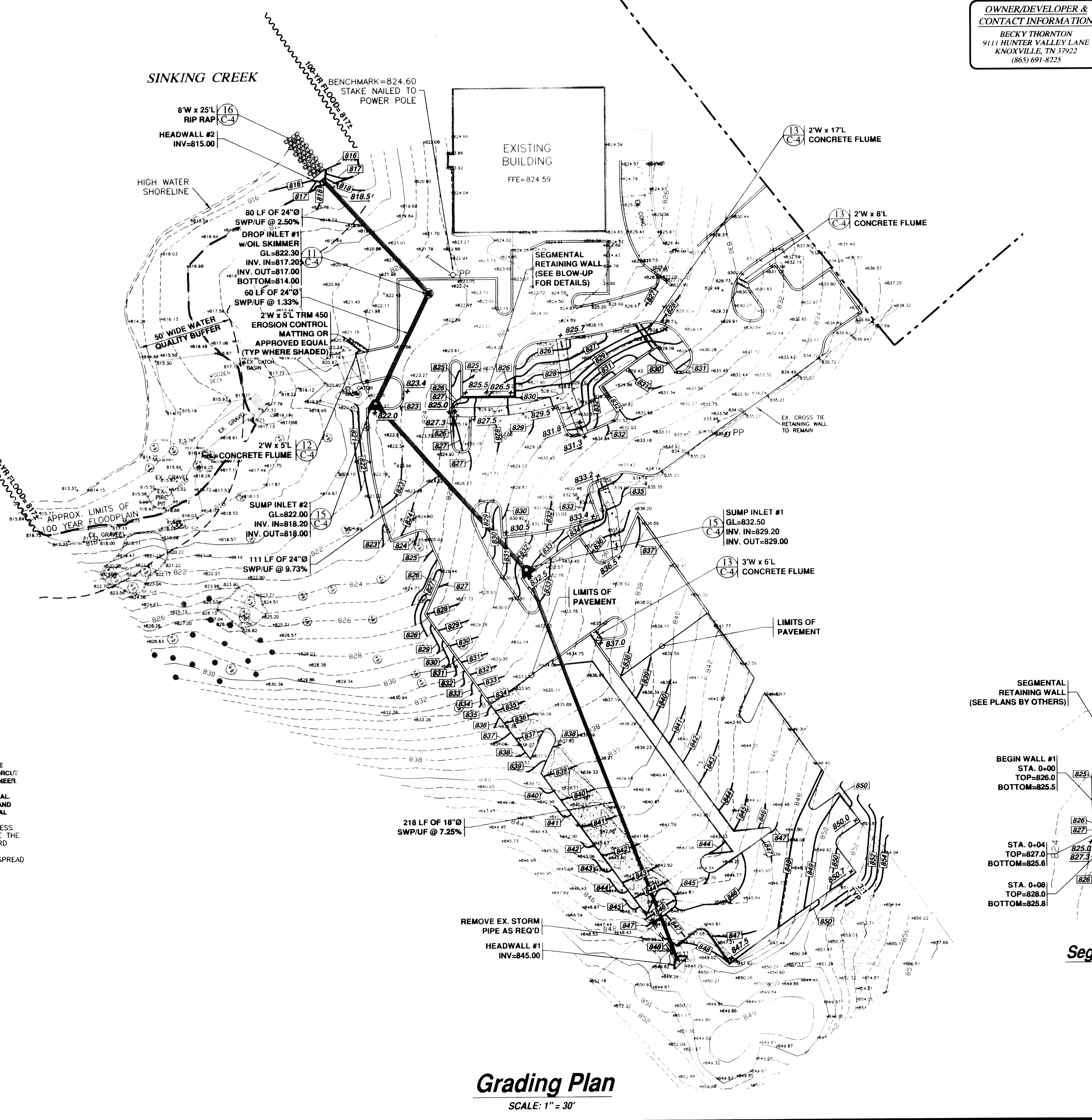
STANDARDS AND SPECIFICATIONS: AND ALL WORK WILL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE PUBLICATION ENTITLED "MANUAL FOR EROSION AND SEDIMENT CONTROL IN TENNESSEE" SAFETY PROTECTION: CONSTRUCTION ACTIVITIES WILL BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE LAWS, RULES AND REGULATIONS. PERMANENT STORM WATER DETENTION STRUCTURES WILL BE POSTED AND FENCED TO EXCLUDE CHILDREN.

MAINTENANCE PROGRAM: MEASURES WILL BE INSPECTED DAILY. ANY DAMAGES OBSERVED WILL BE REPAIRED BY THE END OF THAT DAY. CLEAN OUT OF SEDIMENT CONTROL STRUCTURES WILL BE ACCOMPLISHED IN ACCORDANCE WITH THE SPECIFICATIONS AND SEDIMENT DISPOSAL ACCOMPLISHED BY SPREADING ON THE SITE. SEDIMENT BASINS AND BARRIERS WILL REMAIN IN PLACE UNTIL SEDIMENT CONTRIBUTING AREAS ARE STABILIZED. SEDIMENT BASINS, SEDIMENT FENCES, AND THE BARRIERS WILL THEN BE REMOVED AND THE AREAS OCCUPIED BY THESE STRUCTURES VEGETATED. GUIDELINES FOR THE MAINTENANCE OF ESTABLISHED VEGETATION WILL BE PROVIDED TO THE OWNER WHEN ALL DISTURBED AREAS ARE STABILIZED.

NOTE: EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EROSION CONTROL. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

THE OWNERS REPRESENTATIVE FOR EROSION CONTROL MEASURES ONSITE IS: JOE WALLEN (865) 679-4481

ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CHECKED, AND IF NECESSARY REPAIRED, AT LEAST TWICE EVERY SEVEN CALENDAR DAYS, BUT AT LEAST 72 HOURS APART AND WITHIN 24 HOURS BEFORE AND AFTER EACH RAINFALL EVENT GREATER OR EQUAL TO 0.5-INCH.



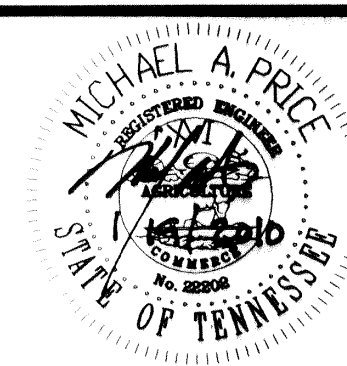
Segmental Retaining Wall Blow-Up

SCALE: 1" = 20'

3-E-10-UR
3-A-10-OB

Grading Plan

SCALE: 1" = 30'



Tel: (423) 855-6554
Fax: (423) 485-5110
7380 Applegate Lane
Chattanooga, TN 37421

MAP ENGINEERS L.L.C.

HUNTER VALLEY FARMS
FOR:
JAMES M. SPLAWN ARCHITECTS
1509 SOUTH SMITH STREET, SUITE C
CHATTANOOGA, TN 37412

GRADING PLAN

REVISIONS

NO.	DESCRIPTION
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FILE: 09153C02.DWG

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DATE: 01/19/10
DRAWN BY: DAB
CHECKED BY: MAP
PROJ. NUMBER: 09-153
SHEET NUMBER: C-2

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