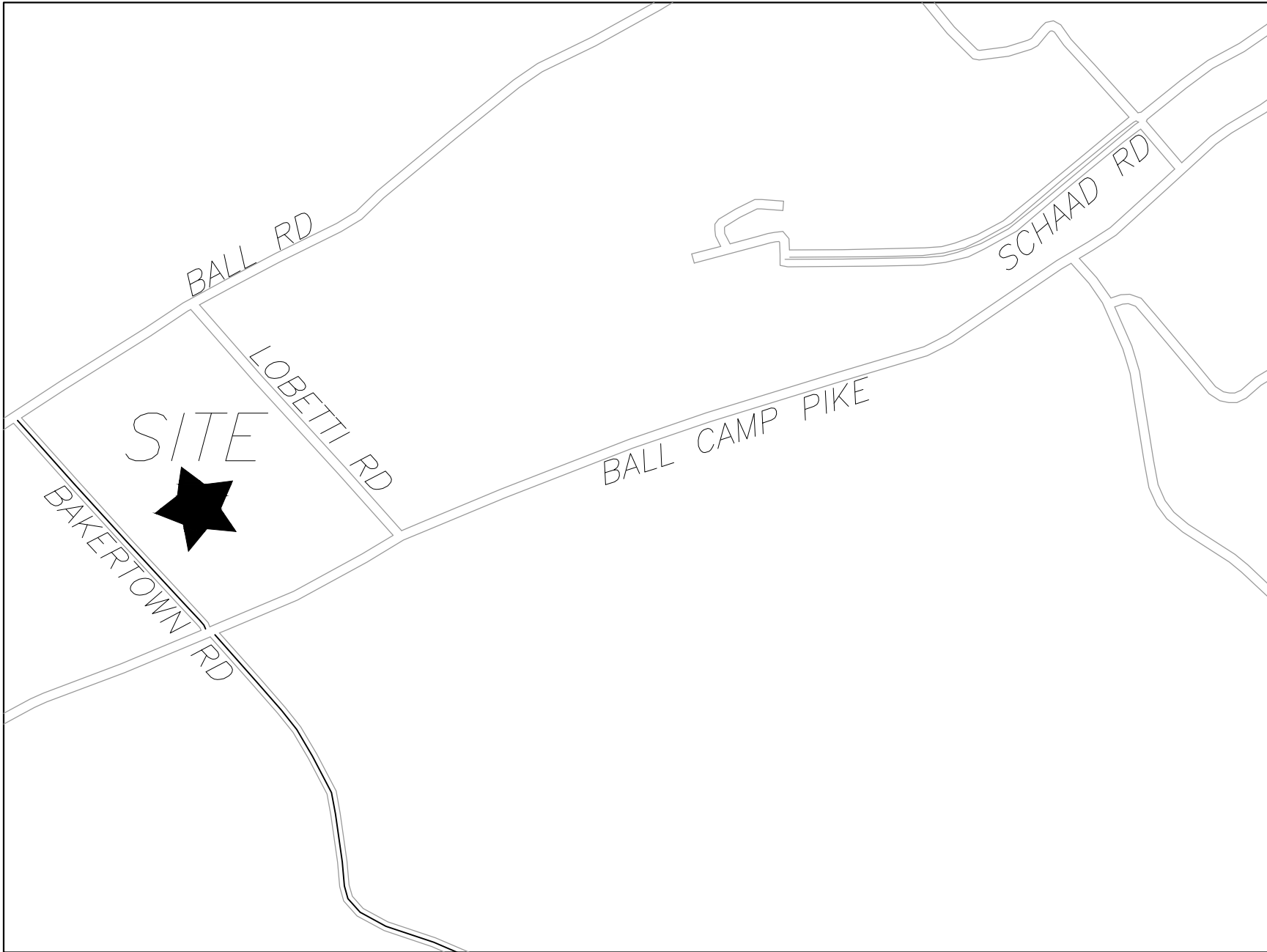


CONCEPT PLAN / DEVELOPMENT PLAN

U.E.I. PROJECT NO. 2103004

CARDINAL LANDING

SITE ADDRESS: 0 BAKERTOWN ROAD, KNOXVILLE, TENNESSEE 37931
CLT MAP 91, PARCEL 256.08



LOCATION MAP

DEVELOPER:
TURNER HOMES, LLC.

11543 KINGSTON PIKE
KNOXVILLE, TN 37934
(865) 804-9802



SITE ENGINEER:
URBAN ENGINEERING, INC.
CHRIS SHARP

10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

SPECIFICATIONS

EXCEPT WHERE DIRECTED OTHERWISE BY THE PLANS, WORKMANSHIP AND MATERIAL (BUT NOT MEASUREMENT AND PAYMENT) FOR THIS PROJECT SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS AND STANDARDS.

- ELECTRICAL - AS DIRECTED BY KNOXVILLE UTILITIES BOARD
- GAS - AS DIRECTED BY KNOXVILLE UTILITIES BOARD
- WATER & SEWER - AS DIRECTED BY WEST KNOX UTILITY DISTRICT
- TELEPHONE - AS DIRECTED BY AT&T
- CABLE - AS DIRECTED BY COMCAST
- SITE DEVELOPMENT - KNOX COUNTY STANDARDS AND SPECIFICATIONS

SHEET INDEX

TITLE

TITLE SHEET

PROPERTY DATA MAP

SITE PLAN

ROAD PROFILES

ARCHITECTURAL ELEVATIONS

SHEET

C-0

C-1

C-2

C-3

A1

REVISED: 2/20/2023

MPC FILE NUMBERS: 3-SD-23-C
/ 3-E-23-DP

2	2/21/23	SUBMITTAL 2
ISSUE NO.	DATE	DESCRIPTION

DENSITY NOTE:

PER MPC CASE NUMBERS 8-SH-05-C AND 8-J-05-UR AND PLAT INSTRUMENT NO. 200807220005317, EXCESS DENSITY FROM BAKERTOWN WOODS AND BAKERTOWN STATION SUBDIVISIONS IS SHARED WITH THE SUBJECT PROPERTY AND LOT 3 OF BALL CAMP COMMERCIAL PARTNERS' PROPERTY (200807220005317).

AREA SUMMARY:

BAKERTOWN WOODS AREA: 48.6-ACRES
BAKERTOWN STATION AREA: 24.0-ACRES
LOT 3 BALL CAMP PARTNERS: 1.2-ACRES
SUBJECT PROPERTY: 9.06-ACRES
TOTAL: 82.9±-ACRES

TOTAL NUMBER OF UNITS ALLOWED = 82.9 x 4 = 332 DU

TOTAL DWELLINGS (EXISTING OR APPROVED) SUMMARY:

BAKERTOWN WOODS: 102 DU
BAKERTOWN STATION: 96 DU
LOT 3: 0 DU
TOTAL: 198 DU

THEREFORE THE REMAINING # OF ALLOWABLE UNITS = 332 - 198 = 134

PROPOSED NUMBER OF UNITS = 72

BAKERTOWN STATION:

AREA SUMMARY:

BAKERTOWN STATION AREA: 24.0-ACRES
TOTAL NUMBER OF UNITS ALLOWED = 24.0 x 4 = 96 DU

TOTAL DWELLINGS (EXISTING OR APPROVED) SUMMARY:

BAKERTOWN STATION: 96 DU

BAKERTOWN WOODS:

AREA SUMMARY:

BAKERTOWN WOODS AREA: 48.6-ACRES
TOTAL NUMBER OF UNITS ALLOWED = 48.6 x 4 = 194.4 DU

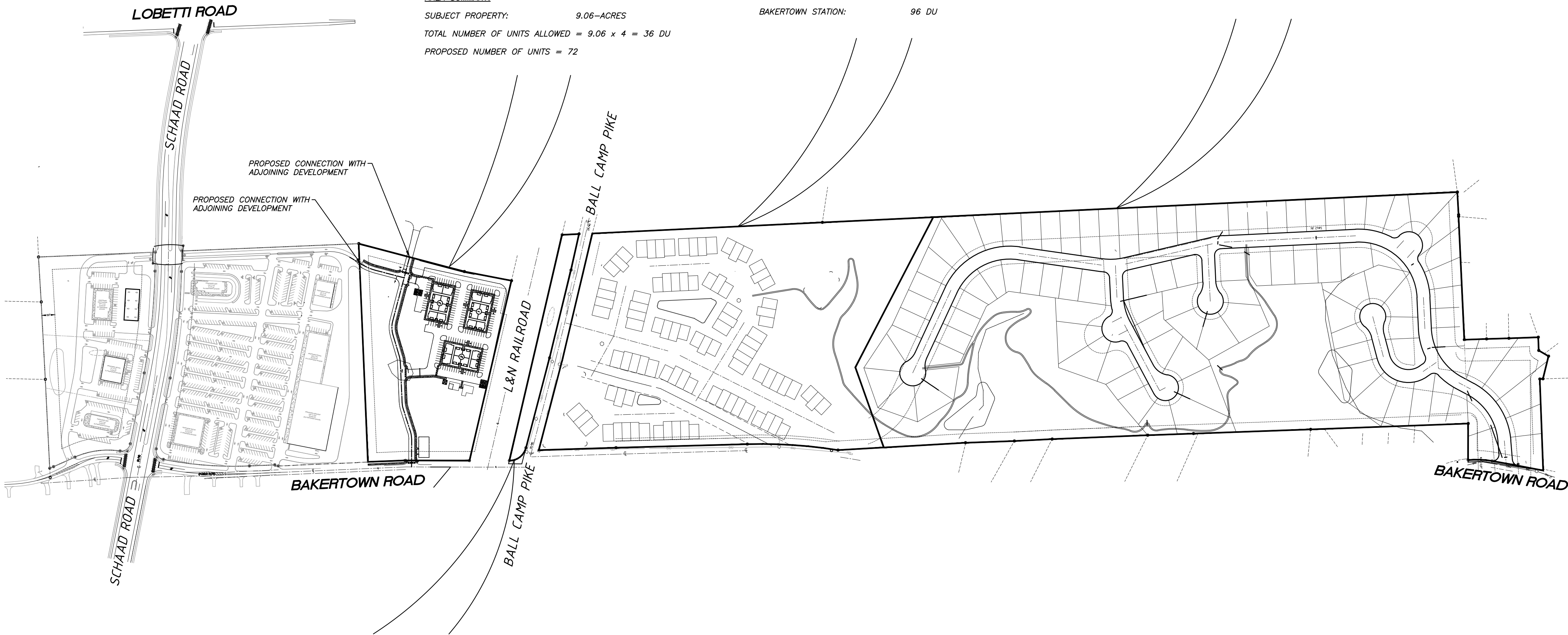
TOTAL DWELLINGS (EXISTING OR APPROVED) SUMMARY:

BAKERTOWN WOODS: 102 DU

SUBJECT PROPERTY:

AREA SUMMARY:

SUBJECT PROPERTY: 9.06-ACRES
TOTAL NUMBER OF UNITS ALLOWED = 9.06 x 4 = 36 DU
PROPOSED NUMBER OF UNITS = 72



LOT 3:

AREA SUMMARY:

LOT 3 BALL CAMP PARTNERS: 1.2-ACRES
TOTAL NUMBER OF UNITS ALLOWED = 1.2 x 4 = 4.8 DU

TOTAL DWELLINGS (EXISTING OR APPROVED) SUMMARY:

LOT 3: 0 DU




REVISED: 2/20/2023

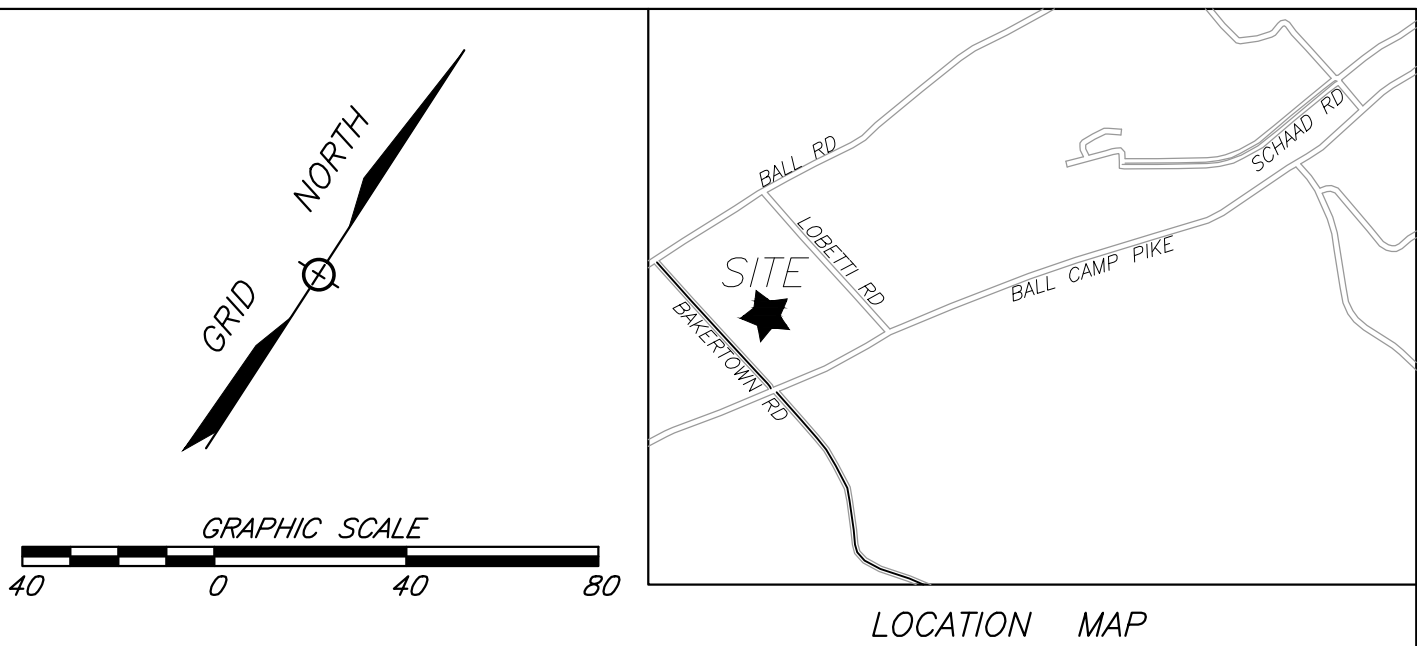
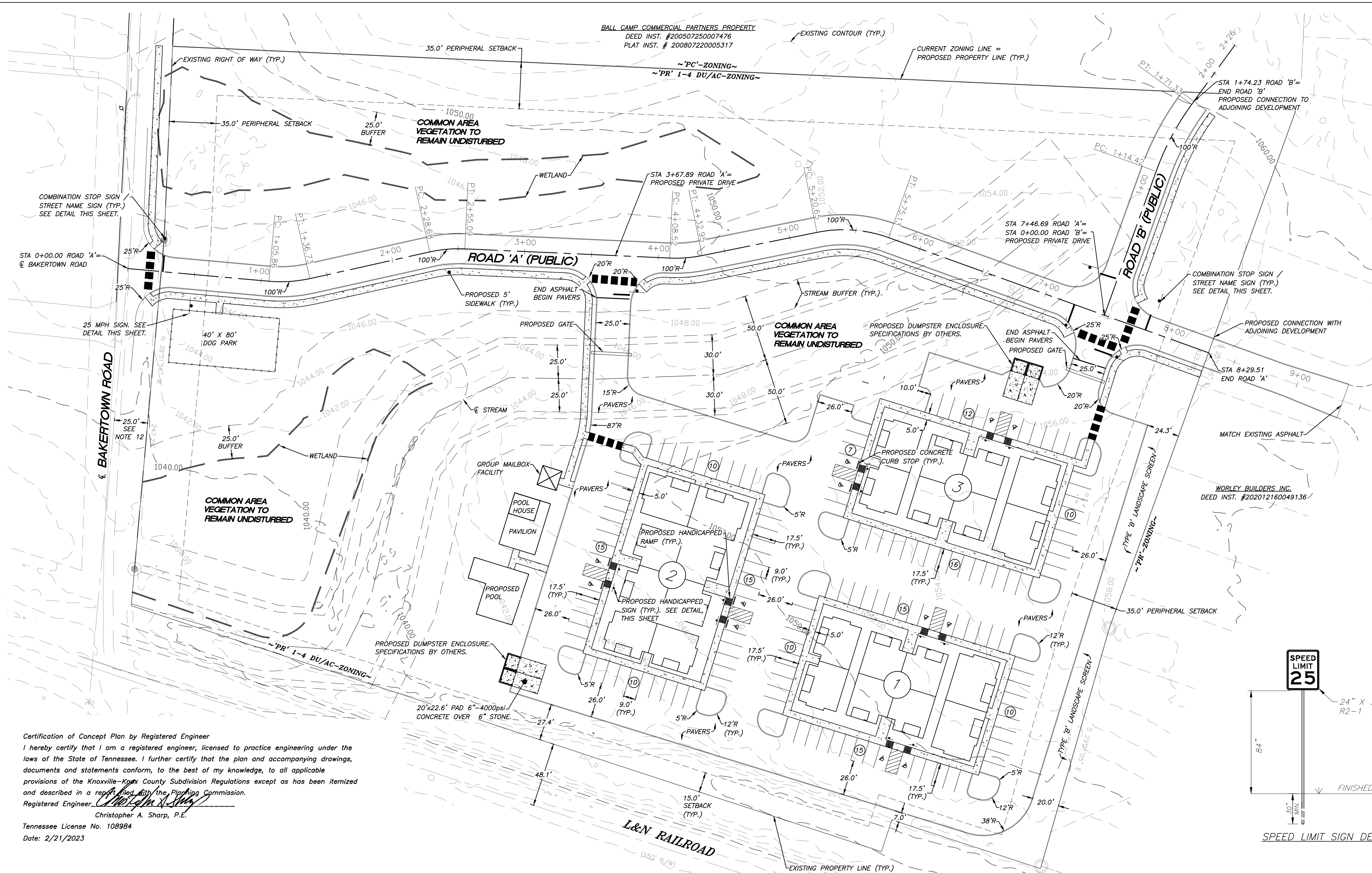
MPC FILE NUMBERS: 3-SD-23-C
/ 3-E-23-DP

REFERENCE:
DEED INST. #20211001-0026923
PLAT INST. #200807220005317

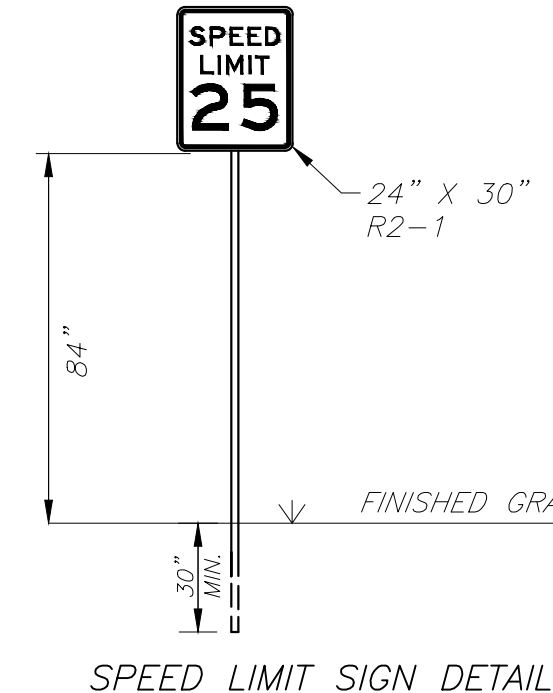
REVISION	DATE	DESCRIPTION	CAS	BY
1	2/21/23	PER MPC / EPW COMMENTS	CAS	

SHEET C-1

PROPERTY DATA MAP		
CARDINAL LANDING		
SITE ADDRESS: 0 BAKERTOWN ROAD, KNOXVILLE (37931)		
DEVELOPER:	TURNER HOMES, LLC. 11543 KINGSTON PIKE KNOXVILLE, TN 37934 (865) 804-9802	
DIST. NO. W6	KNOX CO., TN.	
CLT MAPS 91	PARCEL 256.08	
SCALE: 1"=250'	JANUARY 23, 2023	
		
URBAN ENGINEERING, INC. 10330 HARDIN VALLEY ROAD, SUITE 201 KNOXVILLE, TENNESSEE 37932 (865) 966-1924		
DWN: CLM	CHK: CAS	DWG. NO. 2103004



- SITE PLAN NOTES:**
1. THIS PROPERTY IS ZONED 'PR'. REQUIRED BUILDING SETBACKS ARE AS FOLLOWS:
FRONT: HOUSES, TWENTY (20) FEET
PERIPHERY: THIRTY-FIVE (35) FEET ALONG THE NORTHERN BOUNDARY LINE.
TWENTY-FIVE (25) FEET ALONG THE EASTERN BOUNDARY LINE.
FIFTEEN (15) FEET ALONG THE SOUTHERN BOUNDARY LINE.
SIDE: FIVE (5) FEET EXCEPT ZERO LOT LINES.
REAR: FIFTEEN (15) FEET
 2. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK. TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.
 3. HORIZONTAL COORDINATES ARE TENNESSEE STATE PLANE. VERTICAL DATUM IS NAVD88.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH KNOX COUNTY'S SPECIFICATIONS FOR SITE DEVELOPMENT.
 5. THE TOTAL AREA OF THE DEVELOPMENT IS 9.07 ACRES
 6. THE DEVELOPMENT PROPOSES 72-UNITS - 24 UNITS PER 3 STORY STRUCTURE (7.94 UNITS PER ACRE).
 7. PROPOSED COMMON AREA (INCLUDING EASEMENTS) = 5.1± ACRES (64.2%)
 8. THE PROPOSED LOTS SHALL HAVE VEHICULAR ACCESS TO INTERNAL ROADS ONLY.
 9. A HOMEOWNERS ASSOCIATION SHALL BE ESTABLISHED TO ADDRESS MAINTENANCE OF THE COMMON AREAS.
 10. 10' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL EXTERIOR BOUNDARY LINES AND PUBLIC RIGHT OF WAY. 5' UTILITY AND DRAINAGE EASEMENTS SHALL BE RESERVED ALONG ALL INTERIOR LOT LINES EXCEPT WHEN UNDER BUILDINGS.
 11. FOR BOUNDARY AND EASEMENT INFORMATION, REFER TO PLAT INSTRUMENT NUMBER 200807220005317.
 12. A VARIANCE WAS APPROVED AT THE SEPTEMBER 8, 2005 PLANNING COMMISSION MEETING TO REDUCE THE REQUIRED RIGHT-OF-WAY FROM 30' TO 25' FROM CENTERLINE OF BAKERTOWN ROAD.
 13. BAKERTOWN ROAD SHALL BE WIDENED TO A MINIMUM OF 20' BETWEEN THE INTERSECTION OF ROAD 'A' AND THE END OF THE ONGOING SCHAAD ROAD IMPROVEMENTS.
 14. PARKING SUMMARY
MULTI-DWELLING STRUCTURES AND DEVELOPMENTS: ONE AND ONE-HALF (1½) PARKING SPACES PER DWELLING UNIT FOR THE FIRST TWENTY (20) UNITS, PLUS
• ONE AND ONE-HALF (1½) ADDITIONAL PARKING SPACES FOR EACH TWO (2) (OR MORE) BEDROOM DWELLING UNITS IN EXCESS OF TWENTY (20).
• ONE (1) ADDITIONAL PARKING SPACE FOR EACH ONE-BEDROOM DWELLING UNIT IN EXCESS OF TWENTY (20).
UNITS PROPOSED = 72
2 BEDROOM UNITS = 36
1 BEDROOM UNITS = 36
REQUIRED # STALLS = 100 (INCLUDING 3 H.C.)
PROVIDED # STALLS = 145 (INCLUDING 12 H.C.)
 15. SITE LIGHTING SHALL BE SUCH THAT THE LIGHT SOURCE IS NOT VISIBLE FROM THE ADJOINING NEIGHBORHOOD LOTS.



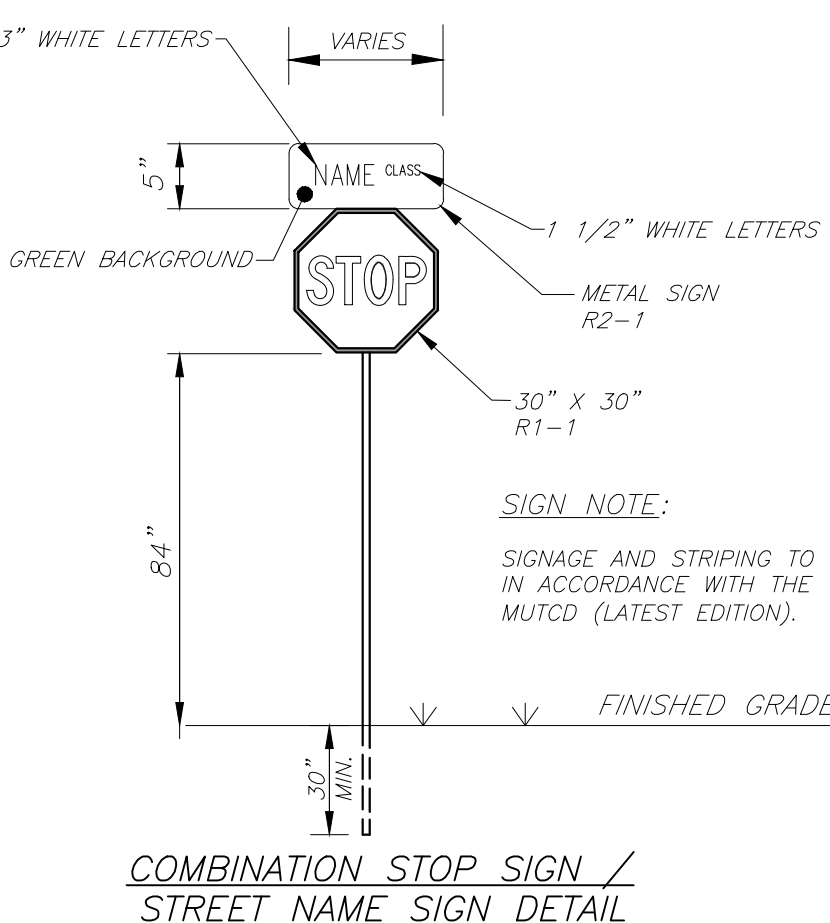
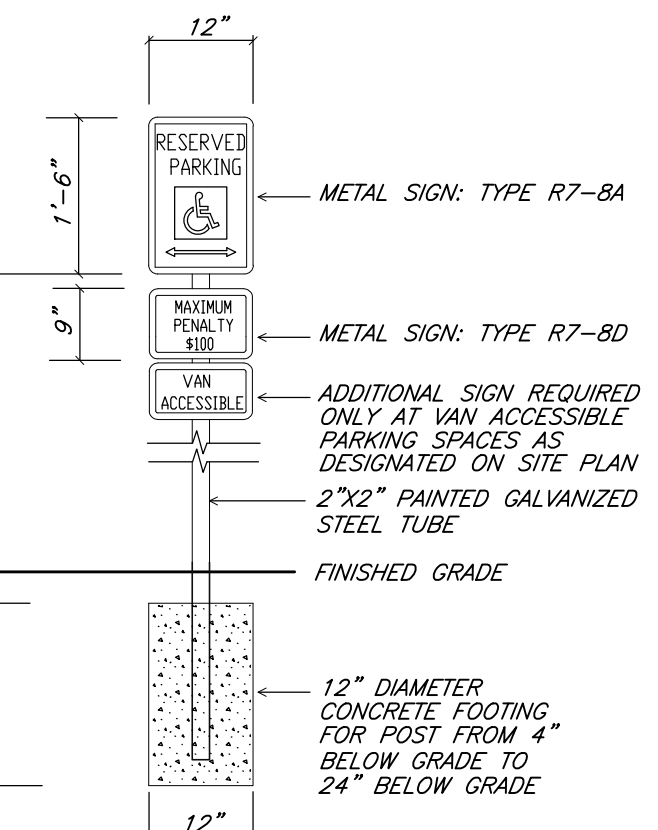
DENSITY NOTE:
PER MPC CASE NUMBERS 8-SH-05-C AND 8-J-05-UR AND PLAT INSTRUMENT NO. 200807220005317, EXCESS DENSITY FROM BAKERTOWN WOODS AND BAKERTOWN STATION SUBDIVISIONS IS SHARED WITH THE SUBJECT PROPERTY AND LOT 3 OF BALL CAMP COMMERCIAL PARTNERS PROPERTY (200807220005317).

AREA SUMMARY:
BAKERTOWN WOODS AREA: 48.6-ACRES
BAKERTOWN STATION AREA: 24.0-ACRES
LOT 3 BALL CAMP PARTNERS: 1.2-ACRES
SUBJECT PROPERTY: 9.06-ACRES
TOTAL: 82.9±-ACRES

TOTAL NUMBER OF UNITS ALLOWED = 82.9 x 4 = 332 DU

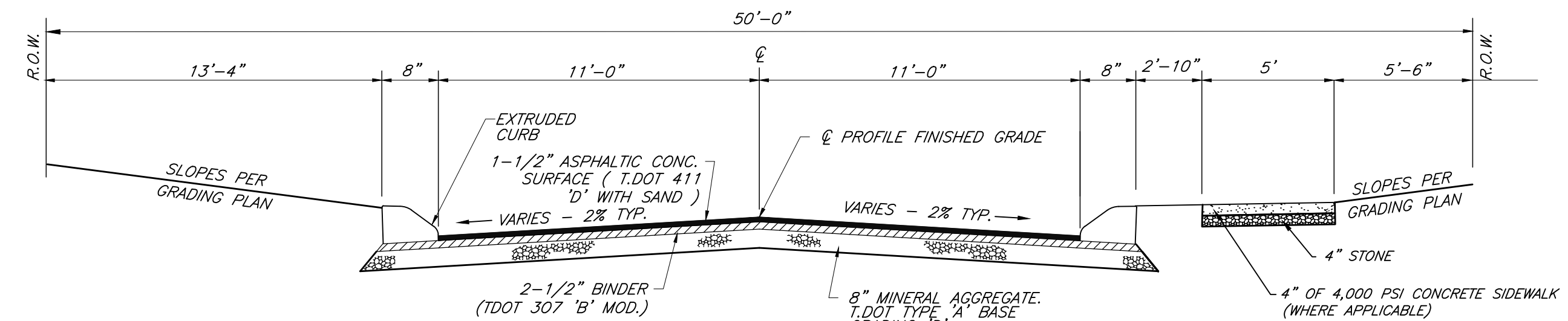
TOTAL DWELLINGS (EXISTING OR APPROVED) SUMMARY:
BAKERTOWN WOODS: 102 DU
BAKERTOWN STATION: 96 DU
LOT 3: 0 DU
TOTAL: 198 DU

THEREFORE THE REMAINING # OF ALLOWABLE UNITS = 332 - 198 = 134
PROPOSED NUMBER OF UNITS = 72



Certification of Concept Plan by Registered Engineer
I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.
Registered Engineer: Christopher A. Sharp, P.E.
Tennessee License No. 108984
Date: 2/21/2023

- ALTERNATIVE DESIGN STANDARD REQUESTS:**
- 1) REDUCE THE REQUIRED CENTERLINE RADIUS FROM 250' TO 100' BETWEEN STATIONS 2+28.68 AND 2+55.09 (ROAD A).
 - 2) REDUCE THE REQUIRED CENTERLINE RADIUS FROM 250' TO 100' BETWEEN STATIONS 4+08.52 AND 4+32.95 (ROAD A).
 - 3) REDUCE THE REQUIRED CENTERLINE RADIUS FROM 250' TO 100' BETWEEN STATIONS 5+20.65 AND 5+75.13 (ROAD A).



REVISED: 2/20/2023
MPC FILE NUMBERS: 3-SD-23-C / 3-E-23-DP

SHEET C-2

SITE PLAN
CARDINAL LANDING
SITE ADDRESS: 0 BAKERTOWN ROAD, KNOXVILLE (37931)

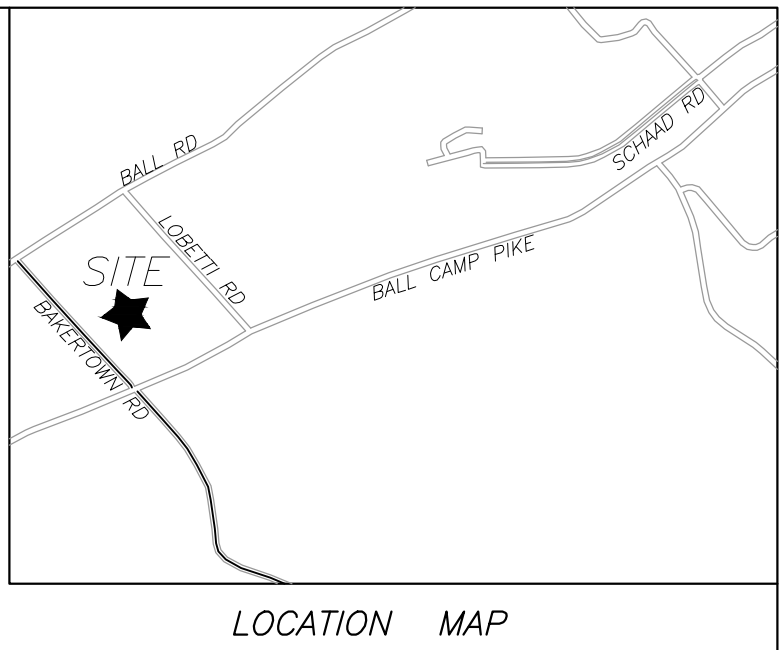
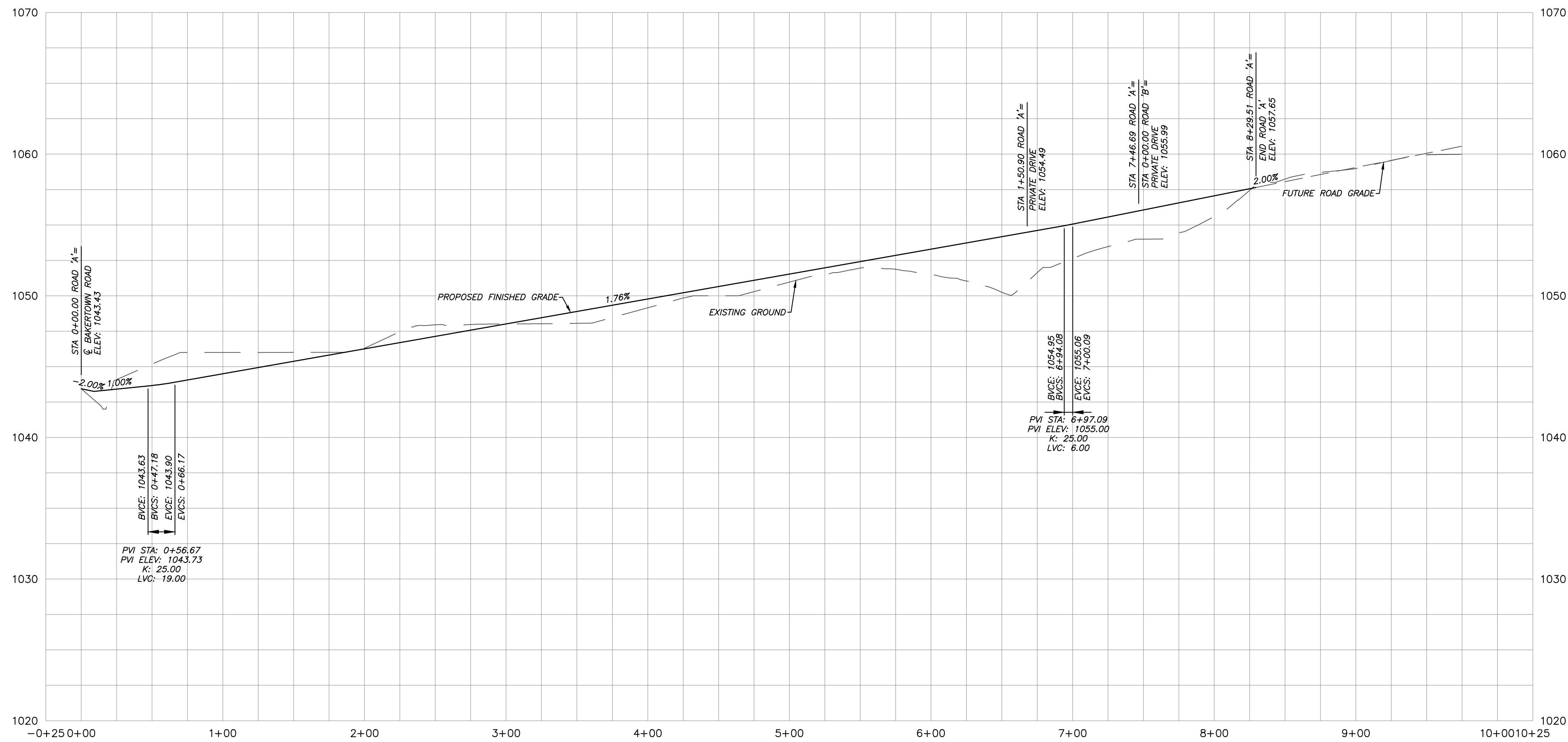
DEVELOPER: **TURNER HOMES, LLC.**
11543 KINGSTON PIKE
KNOXVILLE, TN 37934
(865) 804-9802

DIST. NO. W6 KNOX CO., TN.
CLT MAPS 91 PARCEL 256.08
SCALE: 1"=40' JANUARY 23, 2023

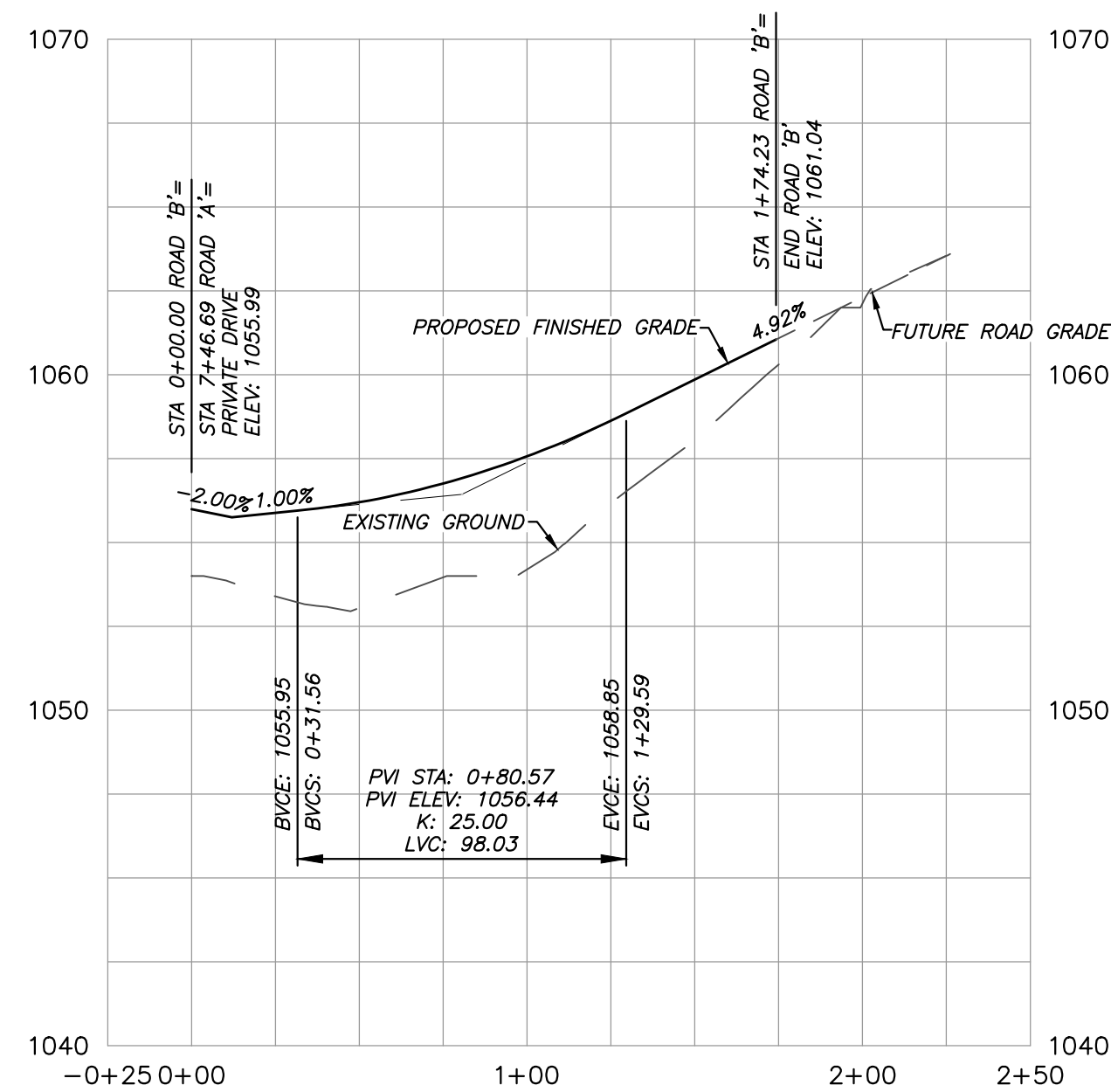
URBAN ENGINEERING, INC.
10330 HARDIN VALLEY ROAD, SUITE 201
KNOXVILLE, TENNESSEE 37932
(865) 966-1924

DWN: CLM	CHK: CAS	DWG. NO. 2103004
----------	----------	------------------

1	2/21/23	PER MPC / EPW COMMENTS	CAS
REVISION	DATE	DESCRIPTION	BY



PROFILE VIEW: ROAD 'A'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)




PROFILE VIEW: ROAD 'B'
1"=50' (HORIZONTAL)
1"=5' (VERTICAL)

REVISED: 2/20/2023

MPC FILE NUMBERS: 3-SD-23-C
/ 3-E-23-DP

REVISION	DATE	DESCRIPTION	BY
1	2/21/23	PER MPC / EPW COMMENTS	CAS

SHEET C-3

ROAD PROFILES		
CARDINAL LANDING		
SITE ADDRESS: 0 BAKERTOWN ROAD, KNOXVILLE (37931)		
DEVELOPER:	TURNER HOMES, LLC. 11543 KINGSTON PIKE KNOXVILLE, TN 37934 (865) 804-9802	
DIST. NO. W6 CLT MAPS 91 SCALE: AS NOTED	KNOX CO., TN. PARCEL 256.08 JANUARY 23, 2023	
	URBAN ENGINEERING, INC. 10330 HARDIN VALLEY ROAD, SUITE 201 KNOXVILLE, TENNESSEE 37932 (865) 966-1924	
DWN: CLM	CHK: CAS	DWG. NO. 2103004

CARDINAL LANDING

PROPOSED ELEVATIONS

DATE:
02/20/2023
BY:
FWB
JOB:
CL

SHEET:

A1

3-SD-23-C / 3-E-23-DP
REVISED: 2/20/2023

