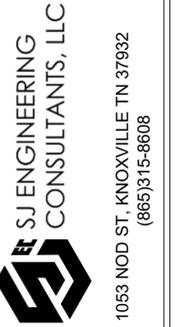




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CG101	SITE GRADING CONCEPT PLAN



KNOXVILLE, TN

CONCEPT PLAN OF TULIP HILLS SUBDIVISION

TRUeline LAND SURVEYING, LLC
855 BAYLOR CIRCLE, KNOXVILLE TN
(865)418-7483



DEVELOPER:
KNOX MOB
(865)399-2482
EDUBA@KNOXMOB.COM

CORRESPONDENCE:
TRUeline LAND SURVEYING
(865)418-7483
INFO@TRUELINELS.COM

DESIGNER OF RECORD:
ETHAN MCCUTCHEON
(423)244-8903
ETHAN.SJGROUP@GMAIL.COM

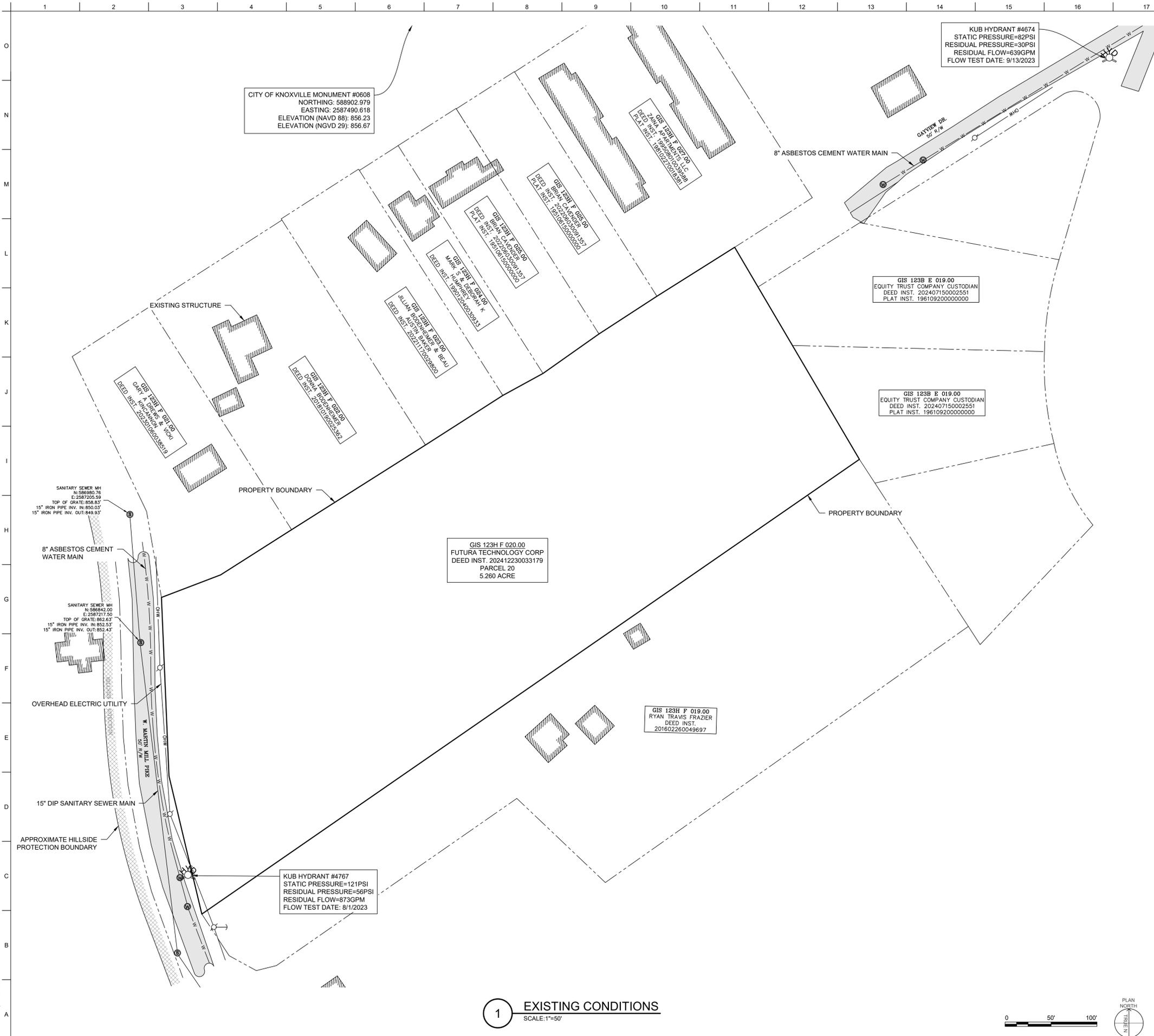
REVISION NO.	REVISION DESCRIPTION	DATE
A	CONCEPT PLAN TULIP HILLS SUBDIVISION	03-10-26

CLIENT:
TRUeline LAND SURVEYING, LLC
ISSUE DATE: MARCH, 2026
DESIGNED BY: E. MCCUTCHEON
DRAWN BY: E. MCCUTCHEON
CHECKED BY: V. EVANS
SUBMITTED BY: E. MCCUTCHEON
SHEET SIZE: 22"X34"

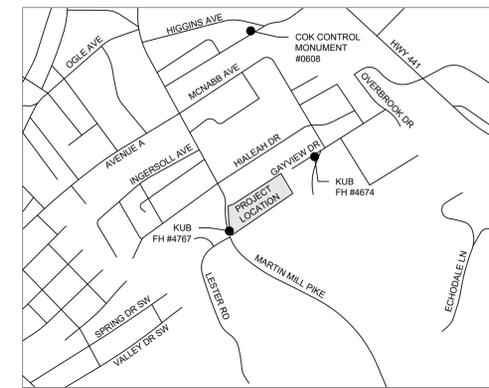
CONCEPT PLAN OF TULIP HILLS SUBDIVISION
KNOXVILLE, TN
TRUeline LAND SURVEYING, LLC
855 BAYLOR CIRCLE
KNOXVILLE TN
(865)418-7483
CONCEPT COVER SHEET

PROJECT NO.: 24110
ISSUE DATE: MARCH 2026

PROJECT NO.
24110
SHEET
G-001



LOCATION MAP (N.T.S.):



SURVEY CONTROL POINTS:

CITY OF KNOXVILLE MONUMENT #0608
 NORTHING: 588902.979
 EASTING: 2587490.618
 ELEVATION (NAVD 88): 856.23
 ELEVATION (NGVD 29): 856.67

SURVEY CONTROL NOTES:

THE FOLLOWING SURVEY WAS PERFORMED USING THE NORTH AMERICAN DATUM OF 1988 (NAD 88).
 BEARINGS SHOWN ARE BASED ON TENNESSEE LAMBERT GRID.
 PARCEL NUMBERS PERTAIN TO KNOX COUNTY TAX MAPS.

UTILITY NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR EXISTING MAPS PROVIDED BY KUB. THERE EXISTS NO GUARANTEE, EXPRESSED OR IMPLIED, THAT UNDERGROUND UTILITY LOCATIONS COMPRISE OF ALL SUCH UTILITIES IN THE AREA. IT IS ALSO WITHOUT GUARANTEE THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. UTILITY LOCATIONS ARE TO BE FIELD VERIFIED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. SANITARY SEWER AND POTABLE WATER UTILITY LOCATIONS PROVIDED BY KUB UTILITY MAPS. LOCATION, SIZE, AND MATERIAL OF UTILITY MAINS SHALL BE VERIFIED PRIOR TO TIE-IN OPERATIONS.

SURVEY LEGEND:

- ASPHALT PAVEMENT
- BUILDING
- HILLSIDE PROTECTION BOUNDARY
- SANITARY SEWER UTILITY
- POTABLE WATER UTILITY
- OVERHEAD ELECTRIC UTILITY
- ADJACENT PROPERTY BOUNDARY
- PROJECT PROPERTY BOUNDARY
- HILLSIDE PROTECTION BOUNDARY
- UTILITY EASEMENT
- SANITARY SEWER MANHOLE
- WATER METER/VALVE/UTILITY ACCESS
- UTILITY POLE
- FIRE HYDRANT

1 EXISTING CONDITIONS
 SCALE: 1"=50'



SJ ENGINEERING CONSULTANTS, LLC
 1053 NOD ST., KNOXVILLE TN 37932
 (865)315-8608

REVISION NO.	REVISION DESCRIPTION	DATE
A	CONCEPT PLAN TULIP HILLS SUBDIVISION	03-10-26

CLIENT: TRUELINE LAND SURVEYING, LLC
 ISSUE DATE: MARCH, 2026
 DESIGNED BY: E. MCCUTCHEON
 DRAWN BY: E. MCCUTCHEON
 CHECKED BY: V. EVANS
 SUBMITTED BY: E. MCCUTCHEON
 SHEET SIZE: 22"x34"

CONCEPT PLAN OF TULIP HILLS SUBDIVISION

KNOXVILLE, TN
 TRUELINE LAND SURVEYING, LLC
 855 SAVAULT CIRCLE, KNOXVILLE TN
 (865)415-7483

EXISTING CONDITIONS

PROJECT NO.
24110

SHEET
V-101



2 SITE DEMOLITION AND CLEARING PLAN
SCALE: 1"=50'



DEMOLITION AND CLEARING LEGEND:

	CLEARING/GRUBBING
	ASPHALT DEMOLITION
	LIMITS OF DEVELOPER DISTURBANCE
	EXISTING CONTOUR
	PROPERTY BOUNDARY

HILLSIDE PROTECTION BUDGET	
RECOMMENDED (COK)	QUANTITY
3.93 ACRE	3.91 ACRE
75.2% OF LOT AREA	74.3% OF LOT AREA

* RECOMMENDED TARGET VALUES PROVIDED BY A CITY OF KNOXVILLE SLOPE ANALYSIS.

ITEM TO BE REMOVED	QUANTITY
TREE/FOLIAGE CLEARING AND GRUBBING	4.06 ACRE
ASPHALT REMOVAL	1,100 SQFT

* QUANTITIES OF REQUIRED DEMOLITION ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE PER FIELD CONDITIONS.

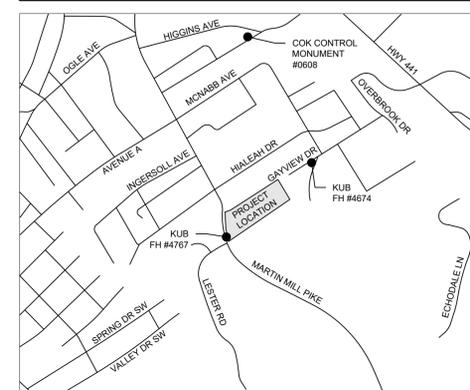
KEYED NOTES:

- APPROXIMATE LOCATION OF TREES AND FOLIAGE TO BE CLEARED AND GRUBBED. EROSION CONTROL PLAN FACILITIES TO BE ESTABLISHED PRIOR TO CLEARING OPERATIONS. COORDINATE CLEARING AND GRUBBING OPERATIONS WITH PROPOSED PLANS.
- SAW CUT CLEAN LINES IN ACCORDANCE WITH PROPOSED PLANS TO MATCH WIDTH OF PROPOSED ASPHALT AND FOR UTILITY TRENCHING OPERATIONS. DISPOSE ON DEBRIS IN ACCORDANCE WITH CITY OF KNOXVILLE REQUIREMENTS.
- SAW CUT CLEAN LINES IN ACCORDANCE WITH PROPOSED PLANS FOR SANITARY SEWER MAIN TRENCHING OPERATIONS. EXISTING 8" WATER MAIN SHALL BE RETAINED AND PROTECTED. CONTRACTOR SHALL VERIFY DEPTH AND LOCATION OF EXISTING WATER MAIN PRIOR TO TRENCHING. EXISTING FOLIAGE SHALL BE RETAINED AND PROTECTED TO THE MAXIMUM EXTEND FEASIBLE. CONTRACTOR SHALL RETAIN A MINIMUM OF 6 TREES PER ACRE OF DEVELOPED AREA FOR A TOTAL OF 32 TREES.

GENERAL NOTES:

- RETAIN AND PROTECT ITEMS ALL ITEMS NOT MARKED FOR DEMOLITION. NECESSARY EROSION CONTROL MEASURES SHALL BE ESTABLISHED PRIOR TO CLEARING AND GRUBBING OPERATIONS. COORDINATE WITH STORM WATER POLLUTION PREVENTION PLAN SHEETS.
- CLEARING AND GRUBBING OPERATIONS SHALL BE PERFORMED IN ACCORDANCE WITH TDEC AND LOCAL JURISDICTION SPECIFICATIONS AND REQUIREMENTS.
- PROJECT SITE IS WITHIN CITY OF KNOXVILLE HILLSIDE PROTECTION. CONTRACTOR SHALL MAKE EVERY EFFORT TO REDUCE AREA OF DISTURBANCE AND ONLY DISTURB AREAS NEEDED FOR PROPOSED FEATURES.
- LIMITS OF DISTURBANCE SHALL BE MARKED WITH HIGH-VISIBILITY FENCING PRIOR TO CONSTRUCTION ACTIVITIES.

LOCATION MAP (N.T.S.):



REVISION NO.	REVISION DESCRIPTION	DATE
A	CONCEPT PLAN TULIP HILLS SUBDIVISION	03-10-26

CLIENT:
TRUELINE LAND SURVEYING, LLC
ISSUE DATE: MARCH, 2026
DESIGNED BY: E. MCCUTCHEON
DRAWN BY: E. MCCUTCHEON
CHECKED BY: V. EVANS
SUBMITTED BY: E. MCCUTCHEON
SHEET SIZE: 22"x34"

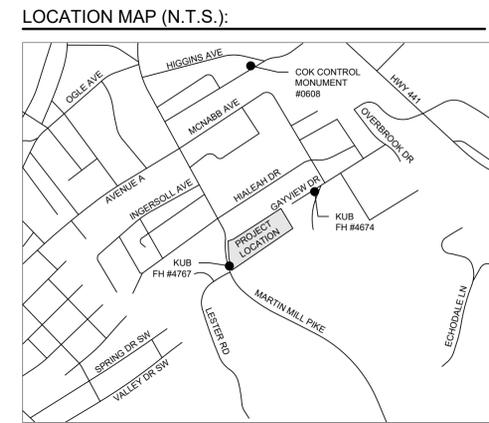
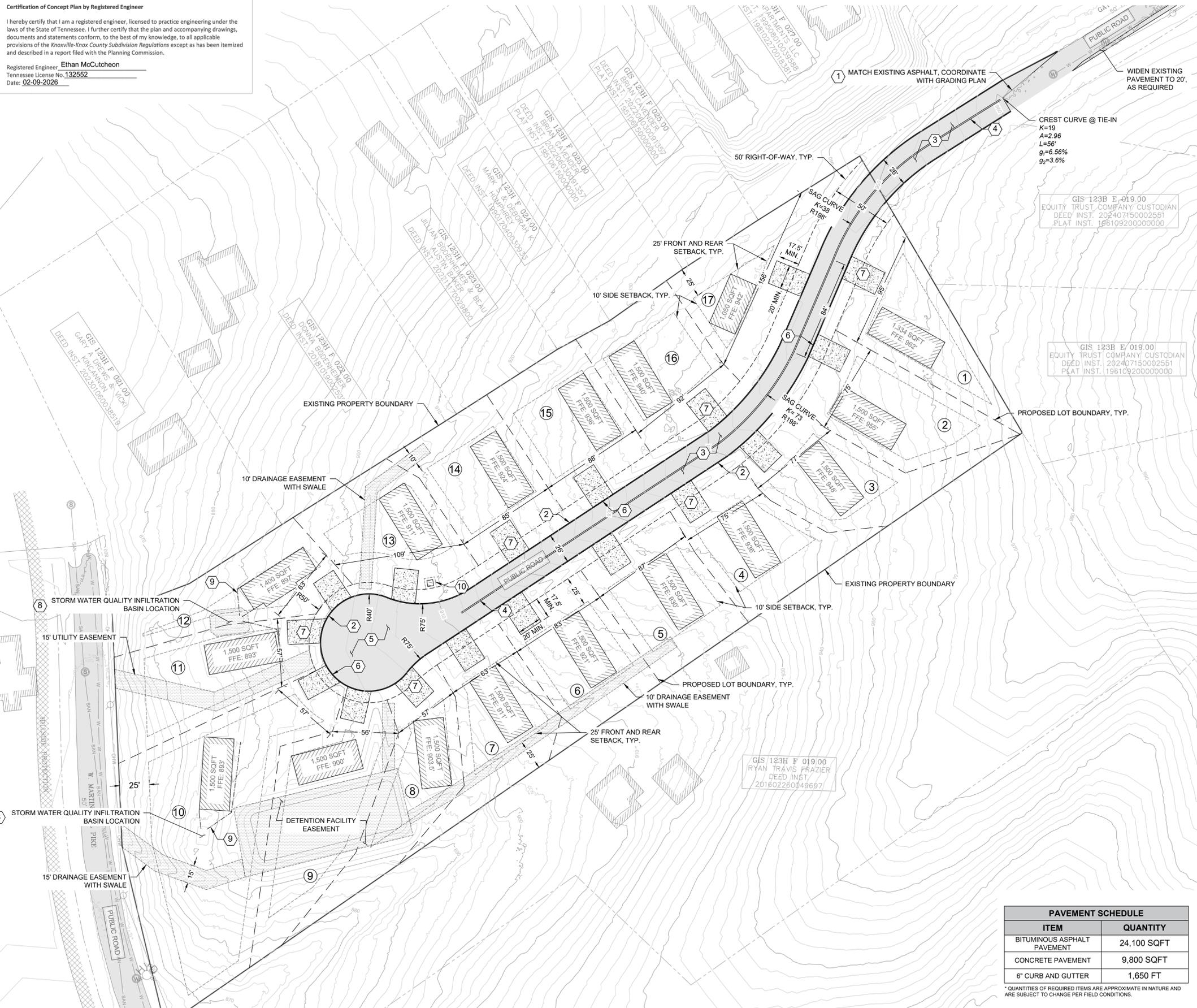
CONCEPT PLAN OF TULIP HILLS SUBDIVISION
KNOXVILLE, TN
TRUELINE LAND SURVEYING, LLC
855 SALT LICK RD., KNOXVILLE, TN
(865)415-7483

SITE DEMOLITION AND CLEARING PLAN

PROJECT NO.
24110
SHEET
CD101

Certification of Concept Plan by Registered Engineer
 I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.

Registered Engineer: **Ethan McCutcheon**
 Tennessee License No. 132552
 Date: 02-09-2026



- GENERAL NOTES:**
1. ALL BITUMINOUS ASPHALT SHALL MEET OR EXCEED TDOT SPECIFICATIONS.
 2. ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL MEET OR EXCEED MUTCD STANDARDS.
 3. ROADWAY SHALL BE A MINIMUM OF 26'-0" IN WIDTH WITH A MINIMUM PUBLIC R.O.W. WIDTH OF 40' PER CITY OF KNOXVILLE REQUIREMENTS.
 4. SUBDIVIDED LOTS SHALL HAVE 25' FRONT AND REAR SETBACKS ALONG WITH 10' SIDE SETBACKS, TYP.
 5. TOTAL NUMBER OF PROPOSED LOTS IS 17 AT APPROXIMATELY 0.23 ACRES PER LOT (SEE TABLE FOR SPECIFIC AREAS).

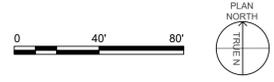
- KEYED NOTES:**
1. GRADE SHALL MATCH EXISTING ASPHALT FOR A SMOOTH TRANSITION. SEE SITE GRADING PLAN SHEETS FOR PAVEMENT AND GRADING DETAILS.
 2. 6" CONCRETE CURB AND GUTTER. SEE DETAIL J1/C-501.
 3. STANDARD DUTY ASPHALT SHALL BE INSTALLED IN ACCORDANCE WITH CITY OF KNOXVILLE STANDARDS AND REQUIREMENTS. ASPHALT SHALL MAINTAIN MINIMUM WIDTH OF 25' FOR A TOTAL DRIVEABLE WIDTH OF 26' WITH 6" CURB/GUTTER. ASPHALT SHALL NOT SURPASS 12% IN SLOPE AT ANY GIVEN POINT.
 4. DOUBLE YELLOW PAVEMENT STRIPING TO BE CENTERED ON ASPHALT PAVEMENT. PAVEMENT MARKING SHALL BE MUTCD COMPLIANT.
 5. CUL-DE-SAC BULB SHALL HAVE A MAXIMUM SLOPE OF 10% WITH A MAXIMUM CROSS-SLOPE OF 3% (MIN. 1%) PER CITY OF KNOXVILLE REQUIREMENTS. CONCRETE VALLEY GUTTERS SHALL BE INSTALLED AT DRIVEWAY ENTRANCES. SEE DETAIL I6/C-501.
 6. STANDARD DUTY CONCRETE PAVEMENT. CONTRACTOR SHALL INSTALL EXPANSION JOINTS PER BEST PRACTICE. SEE DETAIL A1/C-501. CONCRETE DRIVEWAYS SHALL NOT EXCEED 15% IN SLOPE AND 5% IN CROSS-SLOPE. MAINTAIN MINIMUM CROSS-SLOPE OF 1% FOR POSITIVE DRAINAGE. COORDINATE WITH GRADING PLAN SHEETS.
 7. APPROXIMATE LOCATION FOR MICRO-BIO FACILITY WITH PERFORATED UNDER DRAIN FOR TREATMENT OF IMPERVIOUS SURFACES NOT CAPTURED BY DETENTION FACILITY. MICRO-BIOS SHALL BE SIZED PER CITY OF KNOXVILLE FIRST-FLUSH REQUIREMENT. QUALITY FACILITY SHALL BE STAGGERED BETWEEN TWO BUILDABLE LOTS WITH A MAINTENANCE EASEMENT UNLESS SERVICING ONLY ONE LOT.
 8. PVC STORM DRAIN LINE TO COLLECT 100% OF ALL IMPERVIOUS SURFACE RUNOFF FROM LOT DRIVEWAYS AND ROOFS. DRAIN WILL OUTFALL INTO NEAREST TREATMENT FACILITY.
 9. MAILING STATION WITH DEDICATED EASEMENT.

LOT AREAS	
LOT #	AREA (SQFT)
1	10,000
2	10,400
3	10,267
4	10,000
5	10,000
6	10,000
7	10,000
8	10,000
9	13,670
10	27,480
11	11,785
12	10,000
13	10,000
14	10,000
15	10,000
16	10,000
17	10,000

PAVEMENT SCHEDULE	
ITEM	QUANTITY
BITUMINOUS ASPHALT PAVEMENT	24,100 SQFT
CONCRETE PAVEMENT	9,800 SQFT
6" CURB AND GUTTER	1,650 FT

* QUANTITIES OF REQUIRED ITEMS ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE PER FIELD CONDITIONS.

- LEGEND:**
- ASPHALT PAVEMENT
 - CONCRETE PAVEMENT
 - RESIDENTIAL STRUCTURE
 - 6" CURB AND GUTTER
 - EXISTING PROPERTY BOUNDARY
 - PROPOSED PROPERTY BOUNDARY
 - STRUCTURE SETBACK BOUNDARY
 - PUBLIC RIGHT-OF-WAY
 - LIMITS OF DEVELOPER DISTURBANCE
 - UTILITY/STORM WATER EASEMENT



3 SITE LAYOUT CONCEPT PLAN
 SCALE: 1"=40'

000 - PLANNING CONCEPT REV 1.DWG
 March 19, 2026



SJ ENGINEERING CONSULTANTS, LLC

1053 NOD ST, KNOXVILLE TN 37932
 (865)315-8608

DATE	REVISION NO.	REVISION DESCRIPTION
03-10-26	A	CONCEPT PLAN TULIP HILLS SUBDIVISION

CLIENT: TRUELINE LAND SURVEYING, LLC
 ISSUE DATE: MARCH, 2026
 DESIGNED BY: E. MCCUTCHEON
 DRAWN BY: E. MCCUTCHEON
 CHECKED BY: V. EVANS
 SUBMITTED BY: E. MCCUTCHEON
 SHEET SIZE: 22"x34"

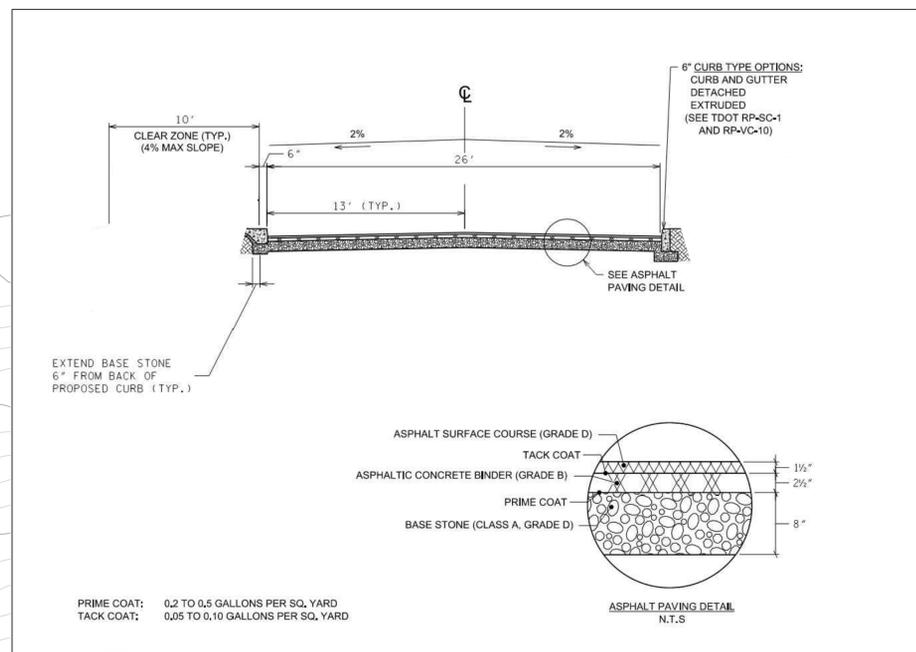
CONCEPT PLAN OF TULIP HILLS SUBDIVISION
 KNOXVILLE, TN
 TRUELINE LAND SURVEYING, LLC
 855 SALT LICK RD, KNOXVILLE TN
 (865)415-7483

SITE CONCEPT LAYOUT PLAN

PROJECT NO. 24110
 SHEET C-101

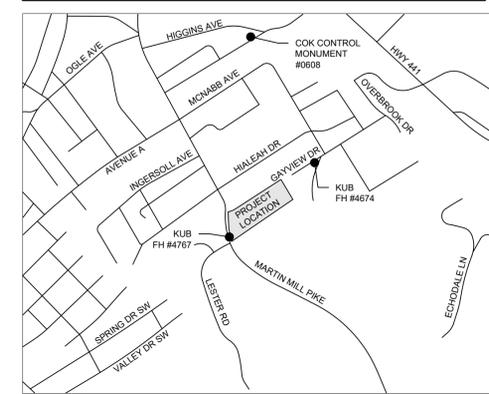
Certification of Concept Plan by Registered Engineer
 I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.

Registered Engineer: Ethan McCutcheon
 Tennessee License No. 132552
 Date: 02-09-2026



A STANDARD ASPHALT PAVEMENT
 N.T.S.

LOCATION MAP (N.T.S.):

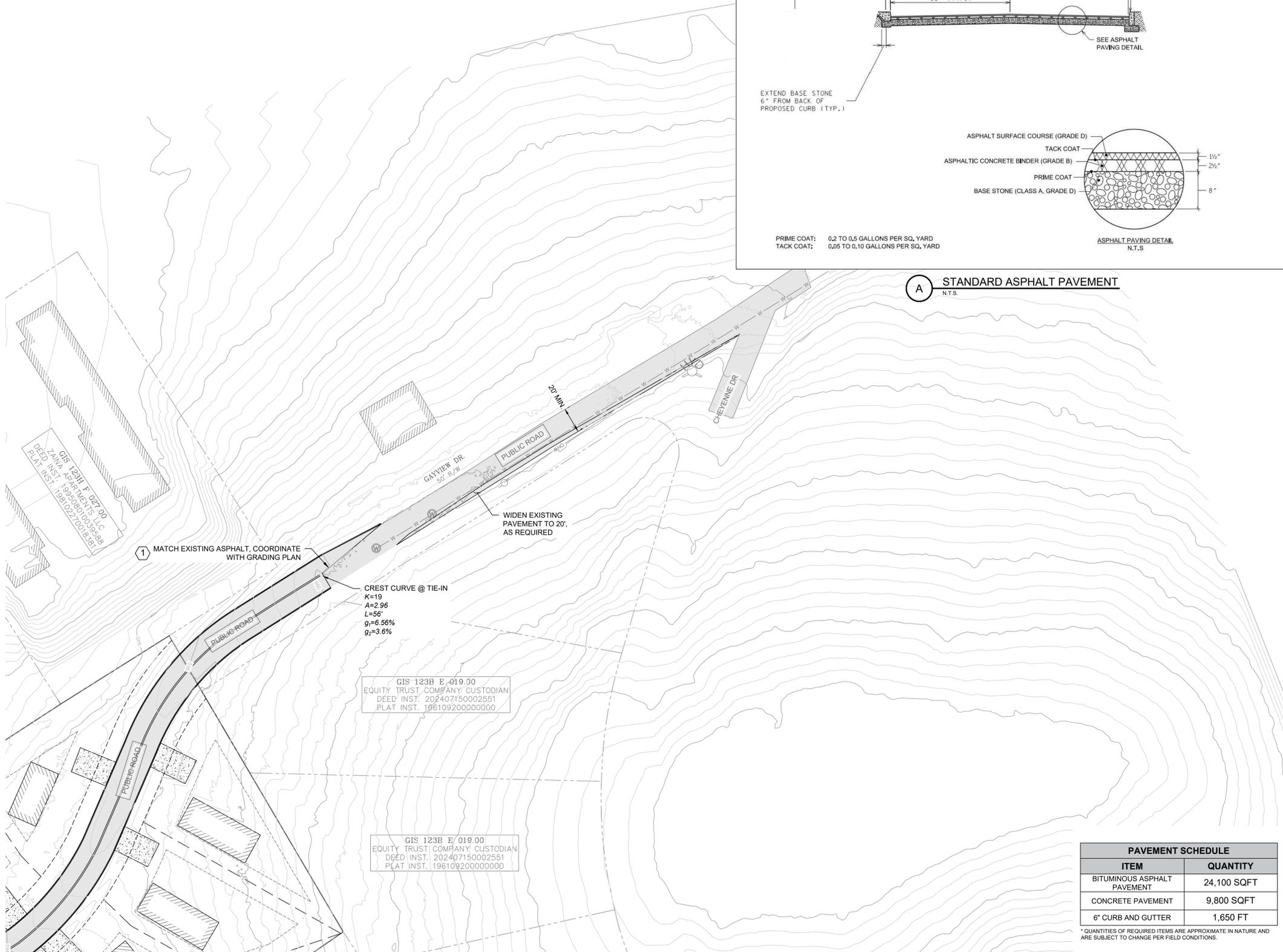


GENERAL NOTES:

1. ALL BITUMINOUS ASPHALT SHALL MEET OR EXCEED TDOT SPECIFICATIONS.
2. ALL TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL MEET OR EXCEED MUTCD STANDARDS.
3. ROADWAY SHALL BE A MINIMUM OF 26'-0" IN WIDTH WITH A MINIMUM PUBLIC R.O.W. WIDTH OF 40' PER CITY OF KNOXVILLE REQUIREMENTS.
4. SUBDIVIDED LOTS SHALL HAVE 25' FRONT AND REAR SETBACKS ALONG WITH 10' SIDE SETBACKS, TYP.
5. TOTAL NUMBER OF PROPOSED LOTS IS 17 AT APPROXIMATELY 0.23 ACRES PER LOT (SEE TABLE FOR SPECIFIC AREAS).

KEYED NOTES:

1. GRADE SHALL MATCH EXISTING ASPHALT FOR A SMOOTH TRANSITION. SEE SITE GRADING PLAN SHEETS FOR PAVEMENT AND GRADING DETAILS.
2. DEVELOPER SHALL WIDEN GAYVIEW DR. TO 20', AS NECESSARY, TO THE INTERSECTION OF CHEYENNE DR.



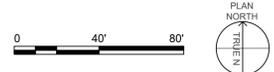
4 SITE LAYOUT CONCEPT PLAN
 SCALE: 1"=40'

PAVEMENT SCHEDULE	
ITEM	QUANTITY
BITUMINOUS ASPHALT PAVEMENT	24,100 SQFT
CONCRETE PAVEMENT	9,800 SQFT
6" CURB AND GUTTER	1,650 FT

* QUANTITIES OF REQUIRED ITEMS ARE APPROXIMATE IN NATURE AND ARE SUBJECT TO CHANGE PER FIELD CONDITIONS.

LEGEND:

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RESIDENTIAL STRUCTURE
- 6" CURB AND GUTTER
- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- STRUCTURE SETBACK BOUNDARY
- PUBLIC RIGHT-OF-WAY
- LIMITS OF DEVELOPER DISTURBANCE
- UTILITY/STORM WATER EASEMENT

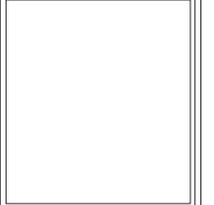


000 - PLANNING CONCEPT REV 1.DWG
 March 19, 2026



SJ ENGINEERING CONSULTANTS, LLC
 1053 NOD ST., KNOXVILLE TN 37932
 (865)315-8608

REVISION NO.	REVISION DESCRIPTION	DATE
A	CONCEPT PLAN TULIP HILLS SUBDIVISION	03-10-26



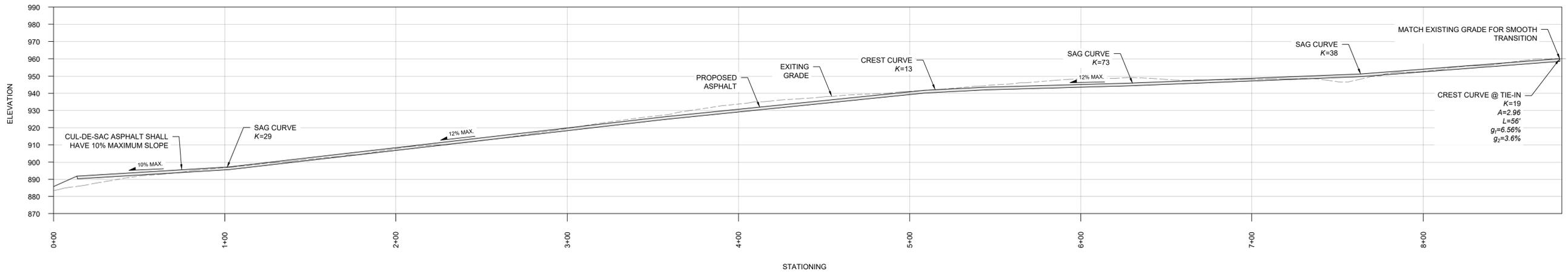
CLIENT: TRUELINE LAND SURVEYING, LLC
 ISSUE DATE: MARCH, 2026
 DESIGNED BY: E. MCCUTCHEON
 DRAWN BY: E. MCCUTCHEON
 CHECKED BY: V. EVANS
 SUBMITTED BY: E. MCCUTCHEON
 SHEET SIZE: 22"x34"

CONCEPT PLAN OF TULIP HILLS SUBDIVISION
 KNOXVILLE, TN
 TRUELINE LAND SURVEYING, LLC
 855 BAYVIEW DR., KNOXVILLE TN
 (865)415-7483

SITE CONCEPT LAYOUT PLAN

PROJECT NO.
24110

SHEET
C-102



D ROAD PROFILE
1"=30'
0 30' 60'

REVISION NO.	REVISION DESCRIPTION	DATE
A	CONCEPT PLAN TULIP HILLS SUBDIVISION	03-10-26

CLIENT:
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KNOXVILLE, TN
TRUELINE LAND SURVEYING, LLC
855 BAYVIEW DR., KNOXVILLE TN
(865)418-7483

PROJECT NO.
24110

SHEET
C-401

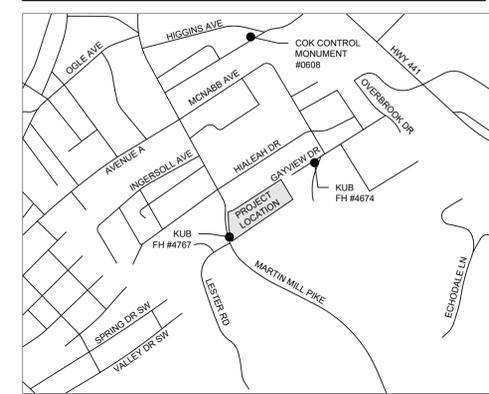
ROAD PROFILE

Certification of Concept Plan by Registered Engineer
 I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.

Registered Engineer: **Ethan McCutcheon**
 Tennessee License No. **132552**
 Date: **02-09-2026**



LOCATION MAP (N.T.S.):



GENERAL NOTES:

- BEFORE STARTING CONSTRUCTION, ENSURE UTILITIES ARE MARKED AS PER THE MOST RECENT TENNESSEE UNDERGROUND UTILITY DAMAGE PREVENTION ACT.
- REMOVE FROM THE SITE ALL VEGETATION GROWTH (EXCEPT AS HERINAFTER EXCLUDED), DEBRIS, OR OTHER OBJECTIONABLE MATTER AS WELL AS ANY BUILDINGS OR OTHER STRUCTURES THAT THE DRAWINGS OR OWNER SPECIFICALLY INDICATE ARE TO BE REMOVED. DISPOSE OF THIS REFUSE MATERIAL IN A MANNER THAT COMPLIES WITH ALL APPLICABLE LAWS AND REGULATIONS.
- THE TEMPORARY POLLUTION CONTROL PROVISIONS CONTAINED HEREIN SHALL BE COORDINATED WITH THE PERMANENT EROSION PREVENTION AND SEDIMENT CONTROL FEATURES, TO ENSURE ECONOMICAL, EFFECTIVE, AND CONTINUOUS EROSION PREVENTION AND SEDIMENT CONTROL THROUGHOUT THE CONSTRUCTION AND POST-CONSTRUCTION PERIODS.
- ENSURE THAT CONSTRUCTION MEANS AND METHODS ARE PERFORMED IN A MANNER THAT UTILIZES BMPs IN CONFORMANCE WITH ALL APPLICABLE ENVIRONMENTAL LAWS, REGULATIONS, AND ANY AND ALL APPROVED PERMITS, SUCH AS THE NPDES STORM WATER CONSTRUCTION PERMIT. DURING DRY WEATHER, SPRINKLE THE SITES WITH WATER, SURFACTANTS AND/OR OTHER MEANS AS NECESSARY TO PROVIDE DUST CONTROL.
- TEMPORARY EROSION CONTROL MEASURES SHALL BE INSPECTED ON A DAILY BASIS AND IMMEDIATELY FOLLOWING ALL MAJOR STORM EVENTS. REPLACE AND REPAIRS SILT FENCING, STRAW WADDLES, ETC. AS NECESSARY.
- MINIMIZE EROSION BY PHASING DISTURBANCES AND/OR BY UTILIZING STRAW, MULCH, AND OTHER STABILIZERS WHERE POSSIBLE.
- THE PROTECTION OF THESE SITES SHALL CONTINUE THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL CUT AND FILL SLOPES INCLUDING WASTE SITES AND BORROW PITS SHALL BE SEEDED AND MULCHED WHEN AND WHERE NECESSARY TO ELIMINATE EROSION.
- TEMPORARY POLLUTION CONTROL SHALL INCLUDE CONSTRUCTION WORK OUTSIDE THE PROJECT AREA WHERE SUCH WORK IS NECESSARY AS A RESULT OF CONSTRUCTION SUCH AS BORROW PIT OPERATIONS, HAUL ROADS, AND EQUIPMENT STORAGE SITES.
- ALL AREAS OF DISTURBED SOIL MUST BE STABILIZED WITHIN 14 DAYS OF NO ACTIVITY (7 DAYS FOR SLOPES GREATER THAN 35%).
- DEVELOPER SHALL COORDINATE WITH THE PROVIDED STORM WATER POLLUTION PREVENTION PLAN FOR STAGED GRADING AND RUNOFF BMPs.

KEYED NOTES:

- CATCH GRADES SHALL NOT SURPASS 2:1 IN SLOPE AND SHOULD BE STABILIZED IMMEDIATELY UPON REACHING FINAL GRADE.
- STORM WATER INFILTRATION TREATMENT SIZED PER FIRST-FLUSH QUANTITIES. TREATMENT FACILITY SHALL HAVE PERFORATED PVC DRAIN AND OUTFALL DOWN GRADIENT WITH A SUPPLEMENTAL RIPRAP.
- DRAINAGE SWALES SHALL MAINTAIN 2' MIN. DEPTH WITH 2' MIN. BASE WIDTH. SIDE SLOPES SHALL NOT EXCEED 2:1 IN SLOPE AND LONGITUDINAL SLOPE SHALL NOT EXCEED 10% WITHOUT SUPPLEMENTAL CHECK DAMS.
- DRAINAGE DITCH AT 1' WIDTH AND 2' DEPTH. DITCH SHALL INSTALLED WITH RCP CULVERTS UNDER PROPOSED DRIVEWAYS.

LEGEND:

- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- RESIDENTIAL STRUCTURE
- 6" CURB AND GUTTER
- EXISTING PROPERTY BOUNDARY
- PROPOSED PROPERTY BOUNDARY
- PUBLIC RIGHT-OF-WAY
- LIMITS OF DEVELOPER DISTURBANCE
- STORM FLOW PATH
- STORM DRAIN PIPE

SJ ENGINEERING CONSULTANTS, LLC

1053 NOD ST., KNOXVILLE TN 37932
 (865)315-8608

DATE	REVISION DESCRIPTION
03-10-26 <td>CONCEPT PLAN TULIP HILLS SUBDIVISION</td>	CONCEPT PLAN TULIP HILLS SUBDIVISION
A	

CLIENT: TRUELINE LAND SURVEYING, LLC
 ISSUE DATE: MARCH, 2026
 DESIGNED BY: E. MCCUTCHEON
 DRAWN BY: E. MCCUTCHEON
 CHECKED BY: V. EVANS
 SUBMITTED BY: E. MCCUTCHEON
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CONCEPT PLAN OF TULIP HILLS SUBDIVISION

KNOXVILLE, TN
 TRUELINE LAND SURVEYING, LLC
 855 SHELBYVILLE PIKE, KNOXVILLE TN
 (865)415-7483

SITE GRADING CONCEPT PLAN

PROJECT NO. 24110
 SHEET **CG101**

000 - PLANNING CONCEPT REV 1.DWG
 March 19, 2026



5 SITE GRADING CONCEPT PLAN
 SCALE: 1"=40'

