

LOCATION MAP

**SITE PLAN NOTES:**

1) THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND ARE BASED ON FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS CATCH BASINS, MANHOLES, WATER VALVES, ETC., AND COMPILING INFORMATION FROM PLANS SUPPLIED BY VARIOUS UTILITY COMPANIES AND GOVERNMENT AGENCIES. THE CONTRACTORS SHALL NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES AND ALSO CALL TENN ONE-CALL PRIOR TO ANY EXCAVATION WORK. TO VERIFY INFORMATION SHOWN AND DETERMINE THE LAYOUT OF THE IRRIGATION SYSTEM AND IF ADDITIONAL IMPROVEMENTS MAY EXIST.

2) SIGNAGE AND STRIPING TO BE IN ACCORDANCE WITH THE MUTCD (LATEST EDITION).

3) SETBACKS ARE PER CITY OF KNOXVILLE 0-1 ZONING ORDINANCE AND ARE AS FOLLOWS:

FRONT - 25 FEET;

SIDE - WHERE A SIDE YARD IS ADJACENT TO A RESIDENTIAL DISTRICT, NO NONRESIDENTIAL BUILDING SHALL BE LOCATED CLOSER THAN TWENTY (20) FEET TO THE SIDE LOT LINE. IN ALL OTHER CASES, NO BUILDING SHALL BE LOCATED CLOSER THAN FIFTEEN (15) TO THE SIDE LOT LINE;

REAR - 30 FEET.

4) BOUNDARY INFORMATION PER SURVEY TITLED 'SURVEY FOR ED SMITH' BY WILLIAM EASTER (RLS# 1514), DATED 12-14-2015 AND REVISED 04-20-16..

5) PARKING SUMMARY (WITH 94 ROOMS AND 10 EMPLOYEES)

REQUIRED: ONE (1) PER TWO (2) ROOMS OR SUITE, PLUS TWO (2) PER THREE (3) EMPLOYEES

(94 / 2) + (10 x (2/3))= 54 SPACES

PROVIDED: 61 SPACES (INCLUDING 5 HANDICAPPED)

6) TREE INSTALLATION / REPLACEMENT SUMMARY:

PER THE CITY OF KNOXVILLE ZONING ORDINANCE:

FOR EACH FIVE THOUSAND (5,000) SQUARE FEET OF PARKING AREA, A TREE SHALL BE PROVIDED THAT WILL OBTAIN A MINIMUM HEIGHT OF THIRTY (30) FEET AT MATURITY.

PROPOSED PARKING AREA = 34,774 S.F.

REQUIRED LANDSCAPING = 2,000 S.F.

PROPOSED LANDSCAPING = 3,395 S.F.

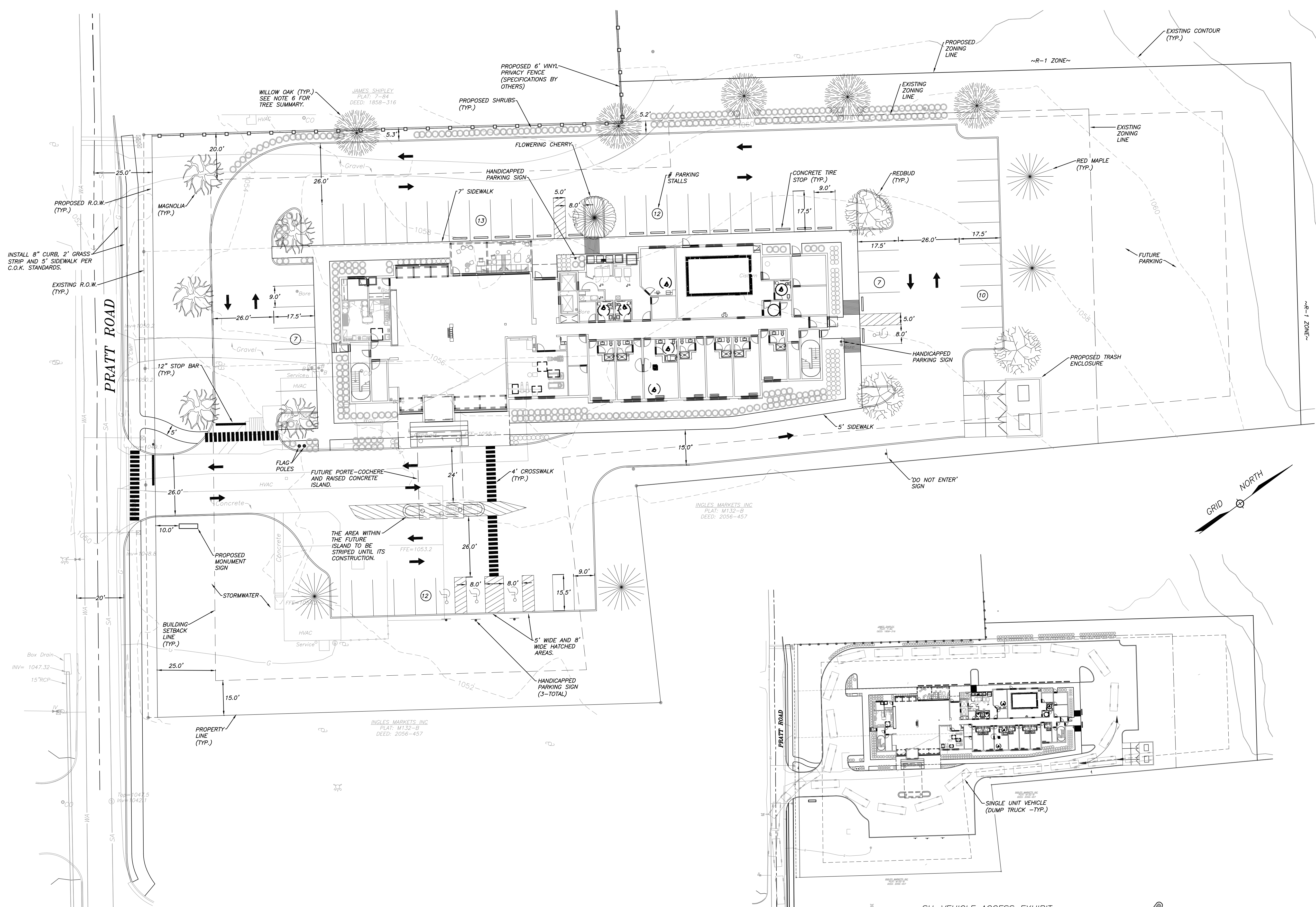
REQUIRED TREES = 34,774 / 5,000 = 7

PER THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE:

TREES SHALL BE PROVIDED AT THE RATE OF EIGHT (8) TREES PER ACRE, WITH AT LEAST ONE HALF OF THE REQUIRED NUMBER BEING SPECIES CAPABLE OF ATTAINING A HEIGHT OF FIFTY (50) FEET OR MORE AT MATURITY.

TOTAL DISTURBED AREA = 1.9-ACRES

REQUIRED TREES = 1.9 x 8 = 15 (7 CAPABLE OF REACHING 50')



**SITE ADDRESSES:**  
PARCEL 11: 5414 PRATT ROAD, KNOXVILLE (37912)  
PARCEL 12: 5418 PRATT ROAD, KNOXVILLE (37912)  
PARCEL 13: 5420 PRATT ROAD, KNOXVILLE (37912)  
PARCEL 26: 5426 PRATT ROAD, KNOXVILLE (37912)

ALL WORKMANSHIP AND MATERIALS SHALL BE PER CITY OF KNOXVILLE STANDARD SPECIFICATIONS FOR SITE DEVELOPMENT PERMITS.

TAX PARCEL	Deed/Plat Reference
068EC011	Deed Inst. 201609020015117 Plat 7-84
068EC012	Deed Inst. 201512300039041 Plat 7-84
068EC013	Deed Inst. 201512300039040 Plat 7-84
068EC026	Deed Inst. 201512300039040 Plat 7-84

SU-VEHICLE ACCESS EXHIBIT  
SCALE: 1"=50'



1	4/4/17	ADDED PER ZONING LINE	CAS
REVISION	DATE	DESCRIPTION	BY

Revised: 4/5/2017

**MPC FILE# 4-A-17-UR**

SHEET C-2

SITE PLAN-PHASE 1

**TRU NORTH KNOXVILLE**

CITY OF KNOXVILLE	KNOX COUNTY, TN.
DISTRICT NO. 39	CITY BLOCK NO. 50920
CLT MAP 68	GROUP 'C' PARCELS 11,12,13 & 26)
SCALE: 1"=20'	DECEMBER 22, 2016

OWNER/DEVELOPER:

MERCHANT SQUARE TOWN CENTER, LLC  
5411 PRATT ROAD  
KNOXVILLE, TENNESSEE 37912

CHRIS SHARP, P.E.  
URBAN ENGINEERING, INC.  
11852 KINGSTON PIKE  
KNOXVILLE, TENNESSEE 37934  
(865) 966-1924

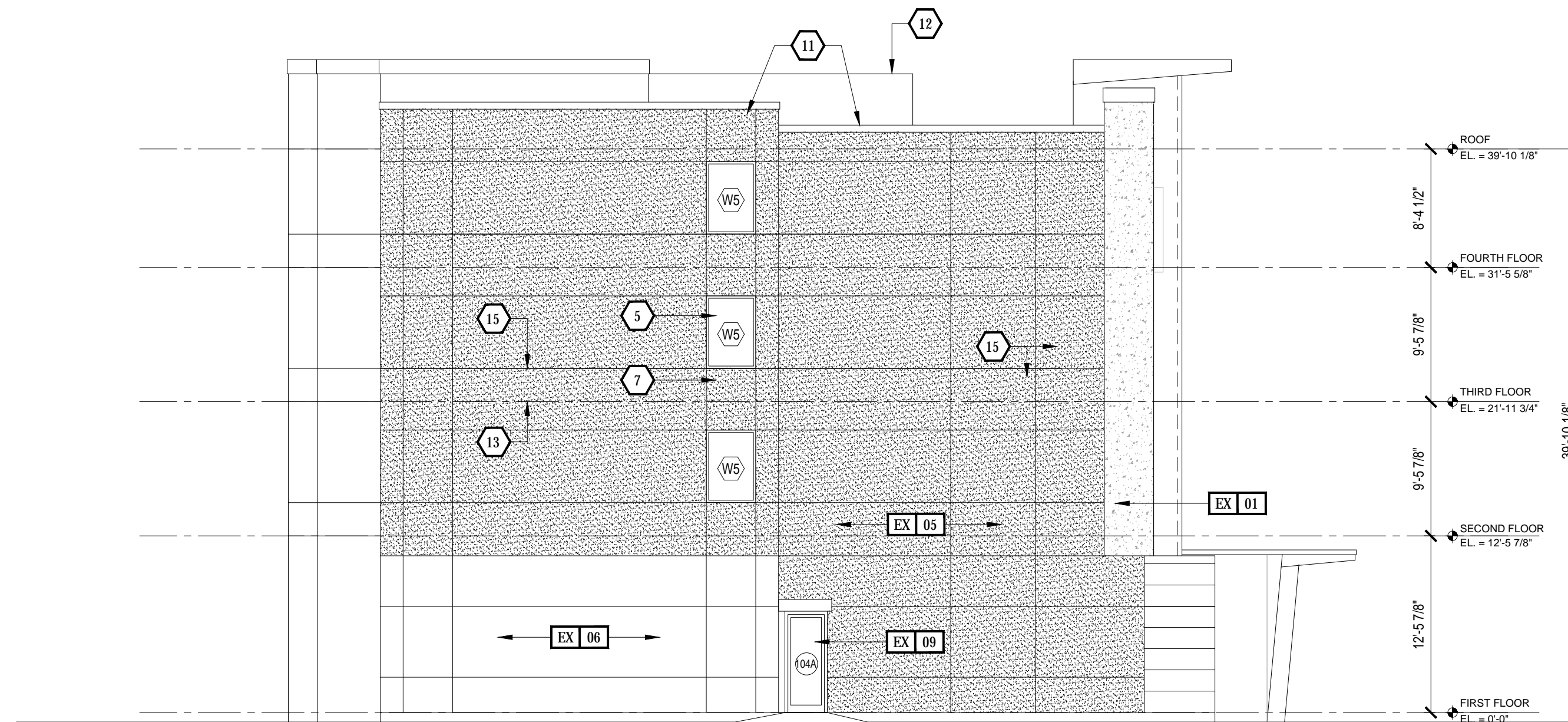
DWN: BDS	CHK: CAS	DWG. NO. 1612033
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A-501-ELEV





**2 LEFT SIDE ELEVATION**  
A502  
SCALE: 1/8" = 1'-0"

KEY NOTES:	
1	APPROXIMATE LINE OF GRADE
2	ABOVE GRADE EXPOSED FOUNDATION WALL
3	CONCRETE FOOTING AND FOUNDATION WALL, AS REQUIRED PER LOCAL FROST DEPTHS
4	ALUMINUM FINED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING WITH INTEGRAL ALUMINUM LOUVER AT PFC UNITS
5	ALUMINUM FINED WINDOW W/ THERMAL BROKEN FRAME, INSULATED GLAZING
6	ALUMINUM STOREFRONT SYSTEM W/ THERMAL BROKEN FRAME AND INSULATED GLAZING
7	ALUMINUM PFC LOUVER - COLOR TO MATCH ADJACENT MATERIAL
8	ALUMINUM SLIDING ENTRY DOOR W/ INSULATED GLAZING
9	OVERFLOW SCOPPER
10	BASE OF DESIGN MESCO MFG INC. - MODEL # SCT914R
11	BASE OF DESIGN MESCO MFG INC. - MODEL # SCT914R
12	REVIEW ALL VIEWS AROUND PROPERTY BEFORE LOCATING ALL ROOF TOP MECHANICAL UNITS - VERIFY ALL EQUIPMENT IS ADEQUATELY SCREENED
13	EXPANSION JOINT @ FLOOR LINE W/ BACKER ROD AND SEALANT
14	BUILDING HEIGHT DIMENSIONS ARE BASED ON WOOD FRAME CONSTRUCTION
15	ACCENT "V" JOINT
16	DOWNLIGHT & IN-GROUND UPLIGHT TO ACCENT MULTI-COLORED BUILDING RECESSES

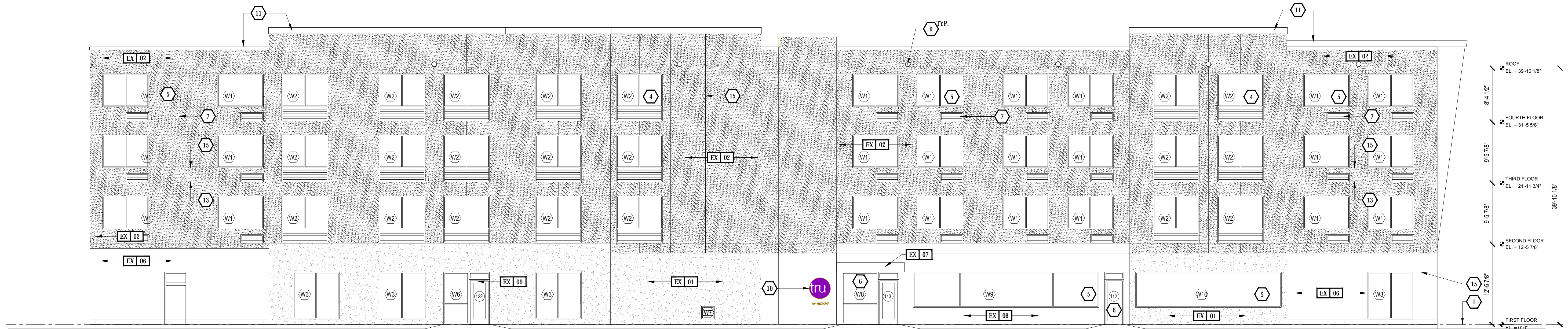
BUILDING SIGNAGE:	
ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY - LOCATION, SIZE, ETC. TO BE DETERMINED ON AN INDIVIDUAL PROJECT BASIS	
MINIMUM 3/4" PLYWOOD BACKER BOARD REQUIRED AT SIGN LOCATIONS - AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN	
ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR - ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY - TYPICAL 120V REQUIREMENT	
RACEWAYS: WIREWAYS ARE NOT ALLOWED	
PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR - CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL	
QUESTIONS ON PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND/OR INSTALLED PRIOR TO CLOSING UP THE WALL - PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY	

FINISH LEGEND:	
EFS GLAZING SYSTEM (EX) - BASIS OF DESIGN - "OUTSULATION PLUS MD EPS" BY DRYVIT SYSTEMS, INC.	
PROVIDE EFS HIGH IMPACT MESH ASSEMBLY FOR LOWER 8' 0" OF WALL AREAS AT GRADE - BASIS OF DESIGN - DRYVIT "STANDARD" MESH OVER "PANDER 25 02" HIGH IMPACT MESH	
COORDINATE FOR MINIMUM EXTERIOR CONTINUOUS INSULATION THICKNESS / R-VALUE REQUIREMENTS IN ACCORDANCE WITH ADOPTED ENERGY CODE REQUIREMENTS FOR ALL CLADDING AREAS	

EX 01	DRYVIT SYSTEMS: DARK FINISH
EX 02	DRYVIT SYSTEMS: MEDIUM FINISH
EX 03	DRYVIT SYSTEMS: LIGHT FINISH
EX 04	DRYVIT SYSTEMS: FINISH VARIANTS
EX 05	DRYVIT SYSTEMS
EX 06	DRYVIT SYSTEMS
EX 07	HIGH PRESSURE LAMINATE PANEL: DARK FINISH
EX 08	HIGH PRESSURE LAMINATE PANEL: LIGHT FINISH
EX 09	BENJAMIN MOORE EXTERIOR PAINT: 1598 NIGHTFALL / HIGH GLOSS FINISH



**1 REAR ELEVATION**  
A502  
SCALE: 1/8" = 1'-0"

4-A-17-UR  
Revised: 3/29/2017

FOR  
**THOMAS BUILDERS**  
DESIGN-BUILDERS

NITIN KULKARNI  
AIA NCARB  
PHONE: 804-200-4085  
CELL: 804-514-2455



PRATT ROAD, KNOXVILLE, TN.

A DEVELOPMENT BY

**MERCHANT'S SQUARE  
TOWN CENTER LLC**

Date: JAN 4, 2017

REVISIONS		
NO.	DATE	COMMENTS
1	JAN 4, 2017	FRANCHISE PRELIMINARY DESIGN

Sheet  
**BUILDING ELEVATIONS**

**A-502-ELEV**