

Building Renovation for:

THE OUTPOST

808 State Street
Knoxville, Tennessee 37902



ARCHITECT



2240 Sutherland Ave., Suite 105
Knoxville, Tennessee 37919
865.671.9060
jainc.com

CIVIL:

Will Robinson & Associates
1248 N Shorewood Drive
Caryville, Tennessee 37714
(865) 386-4200

LANDSCAPE:

Beasley Landscape Architects
1937 River Shores Drive
Knoxville, Tennessee 37914
(865) 441-4428

STRUCTURAL:

Haines Structural Group
800 South Gay Street, Suite 1750
Knoxville, Tennessee 37929
(865) 329-9920

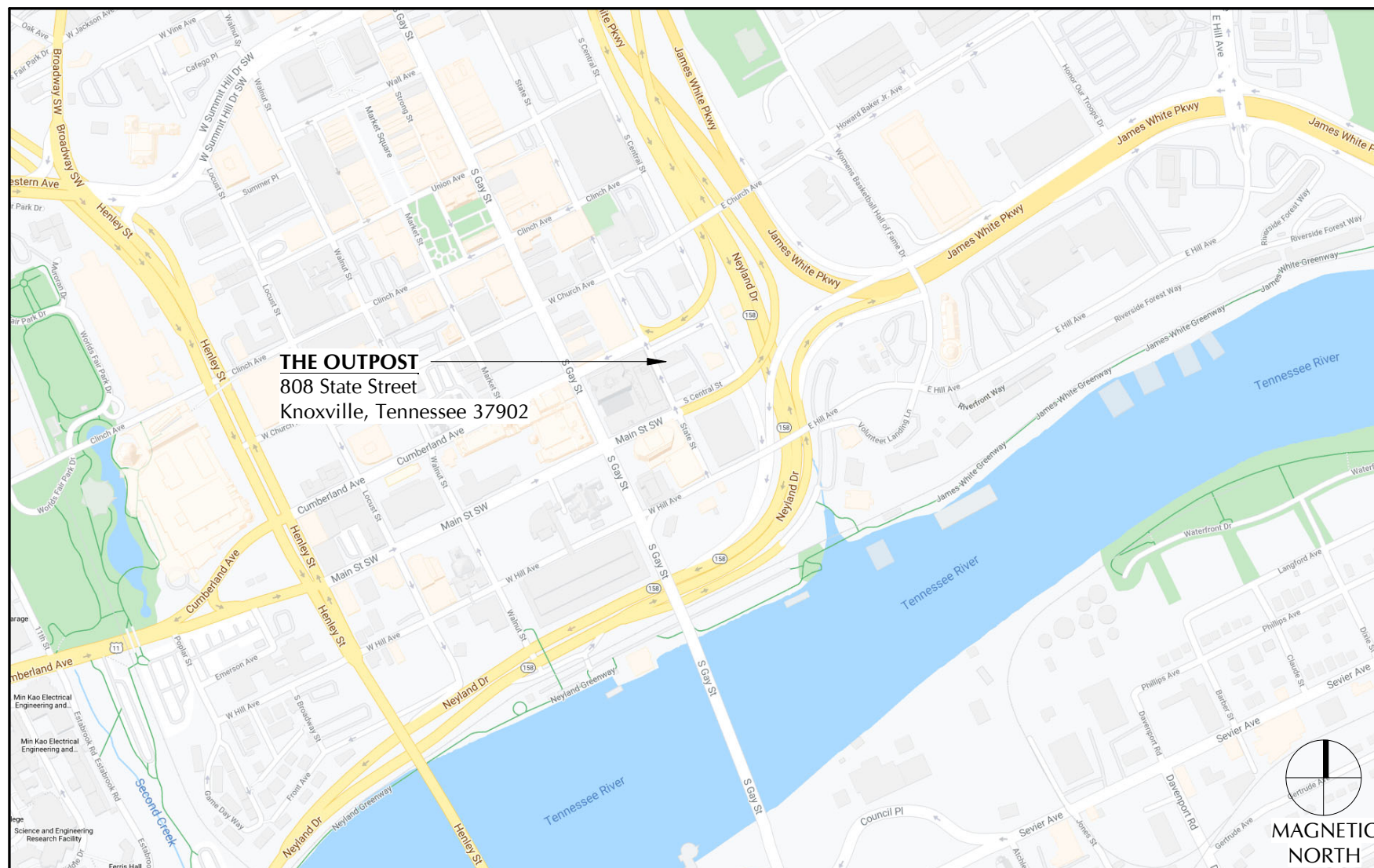
MECHANICAL / PLUMBING /
FIRE PROTECTION:

Bedinger Consulating Engineers
5641 Merchants Center Boulevard, A104
Knoxville, Tennessee 37912
(865) 637-8339

ELECTRICAL:

Vreeland Engineering, Inc.
3107 Sutherland Avenue
Knoxville, Tennessee 37919
(865) 637-4451

VICINITY MAP

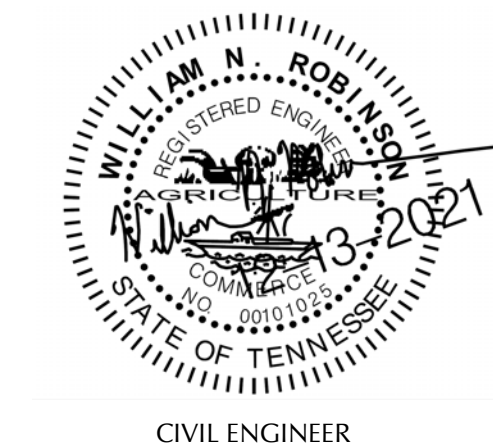


SCOPE OF PROJECT:

The Outpost will include the renovation of the existing building located at 808 State Street in Knoxville, Tennessee to be utilized as an indoor music venue. The new facility will feature a stage, backstage prep areas, restrooms, full-service bar, and associated support spaces. The existing building will be fully-sprinklered in order to accommodate 300 guests or more. The exterior of the building will feature an outdoor 'lounge'.



STRUCTURAL ENGINEER



MECHANICAL ENGINEER



ELECTRICAL ENGINEER

CODE REQUIREMENTS

BUILDING CODE/ZONE ANALYSIS

KNOX COUNTY, CITY OF KNOXVILLE

PROJECT: Building Renovation for:
THE OUTPOST

OWNER: State Properties LLC
CONTACT: 720 E Jackson Ave
Knoxville, Tennessee 37915

TENANT: Born & Raised Productions
CONTACT: Garrett Thomson
Kent Oglesby

ARCHITECT: Johnson Architecture, Inc.
2240 Sutherland Avenue, Suite 105
Knoxville, Tennessee 37919
phone: (865) 671-9060
CONTACT: Eric Bowen
ebowen@jainc.com
(865) 671-9060

Applicable Codes:
2018 International Building Code w/ adopting ordinance
2018 International Existing Building Code
2018 Compliance Option 301.3.2 - Work Area
2018 Compliance Method, Alteration Level 3
2018 International Energy Conservation Code
2018 International Fire Code w/ adopting ordinance
2018 International Mechanical Code
2018 International Plumbing Code
2018 International Fuel and Gas Code
2009 ICC/ANSI A117.1
2017 National Electric Code

Occupancy Classification: A-2 (ASSEMBLY)

Type of Construction: TYPE III-B (SPRINKLERED)

Building Height and Area Limitations:

Table 503 Requirements
Max. Height in Feet: 75'-0"
Max. Number of Stories: 3
Max. Floor Area: 38,000 s.f.

Actual Building Height and Area:

Height in Feet: 23'-6"
Floor Area: Existing 5,135 s.f.
Basement 5,241 s.f.
Existing 125 s.f.
Addition 10,501 s.f.
Total

Table 601 Requirements:

Primary Structural Frame: 0
Bearing Walls - Exterior: 2
Interior: 0
Non-Bearing Walls - Interior
Floor Construction &
Secondary Members: 0
Roof construction &
Secondary Members: 0

Table 602 Fire-Resistance Rating Req. for Exterior Walls Based on Fire Separation Distance

Fire-Resistance Rating Requirements for Exterior Walls based on Fire Separation Distance:			
Fire Separation Distance (feet)	Type of Construction	Group A-2	
< 5	All	1	
>= 5	I-A	1	
< 10	Others	1	
>= 10	I-A, I-B	1	
< 30	I-B, V-B	0	
< 30	Others	1	
>= 30	All	0	

Table 716.1(1) and Table 716.1(2) Requirements:

N/A - No doors or windows are proposed in rated walls.

Table 803.13 - Interior Wall and Ceiling Finish Requirements:

Group A-2 Sprinklered	
Exit Enclosures and Exit Passageways:	B
Corridors:	B
Rooms and Enclosed Spaces:	C

Table 1006.3.2 Minimum Number of Exits or Access to Exits Per Story

Occupant Load Per Story	Min. Number of Exits or Access to Exits from Story
1-500	2
501-1,000	3
more than 1,000	4

Max. Exit Travel Distance: 250'-0" (1017.2)
Max. Length of Dead End Corridor: 20'-0" (1020.4)
Capacity of Means of Egress: 0.15"/OCC (105.3.2 EX 1)

Energy Code Requirements

Alterations to existing buildings or structures are permitted without requiring the entire building or structure to comply with the energy requirements of the INTERNATIONAL ENERGY CONSERVATION CODE. (2018 IECC)

The alterations to the existing building have been designed in accordance with the 2018 INTERNATIONAL ENERGY CONSERVATION CODE and meet the minimum requirements set forth.

FENESTRATION:
EXTERIOR WALLS: R-13 + R-3.8ci or R-20 (WOOD FRAMED) / R-13 + R-7.5ci (METAL FRAMED)
FLOOR: N/A
ROOF: R-25 (ci entirely above deck)

DRAWING INDEX

COVER SHEET

CIVIL

C1.1 SITE DEMOLITION PLAN
C1.2 SITE LAYOUT PLAN
C1.3 SITE GRADING PLAN
C2.1 SITE DETAILS

LANDSCAPING

L1.1 LANDSCAPE PLAN

ARCHITECTURAL

AD1.1 DEMOLITION PLAN
LS1.1 LIFE SAFETY PLAN
A0.1 GENERAL INFORMATION AND ACCESSIBILITY REQUIREMENTS
A0.2 U.I. ASSEMBLIES
A1.1 FLOOR PLANS
A1.2 ENLARGED PATIO AND DETAILS
A1.3 ROOF PLAN
A2.1 REFLECTED CEILING PLANS
A3.1 EXISTING ELEVATIONS
A3.2 BUILDING ELEVATIONS
A3.3 BUILDING ELEVATIONS
A3.4 3D VIEWS
A4.1 BUILDING SECTIONS
A4.2 PATIO SECTIONS
A4.3 WALL SECTIONS
A4.4 WALL SECTIONS
A5.1 ENLARGED PLANS, ELEVATIONS, AND DETAILS
A6.1 DOOR AND FRAME SCHEDULE AND ELEVATIONS
A7.1 INTERIOR ELEVATIONS

STRUCTURAL

S0.1 ABBREVIATIONS, SYMBOLS, AND LEGENDS
S0.2 STRUCTURAL GENERAL NOTES
S0.3 SPECIAL INSPECTIONS
S0.4 TYPICAL CONCRETE AND MASONRY DETAILS
S0.5 TYPICAL STEEL AND LIGHT GAUGE DETAILS
S0.6 TYPICAL WOOD DETAILS
S1.1 STORAGE AND LOADING LEVEL FLOOR PLAN
S1.2 GROUND FLOOR FRAMING PLAN
S1.3 ROOF FRAMING PLAN
S2.1 SECTIONS AND DETAILS
S2.2 SECTIONS AND DETAILS
S2.3 SECTIONS AND DETAILS

MECHANICAL

M001 SCHEDULES AND SPECIFICATIONS
M101 FLOOR PLAN - HVAC
M102 HVAC - 3D VIEWS

PLUMBING

P101 FLOOR PLAN - WASTE
P102 FLOOR PLAN - WATER AND GAS

FIRE PROTECTION

FP001 PRELIMINARY HYDRAULIC CALCULATIONS
FP002 DETAILS AND SPECIFICATIONS
FP101 FLOOR PLAN - FIRE PROTECTION

ELECTRICAL

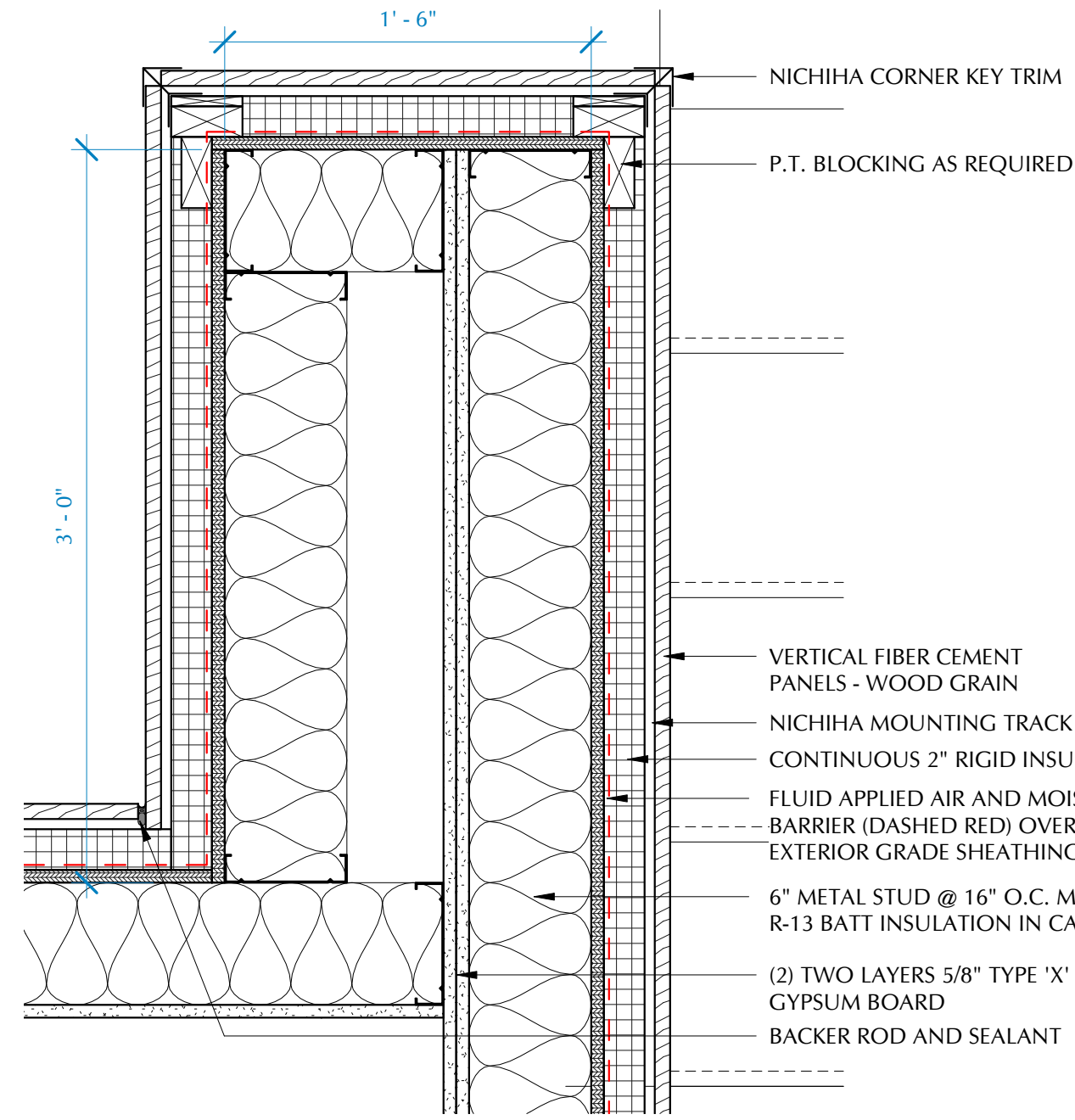
E1.1 FLOOR PLANS - LIGHTING
E1.2 FLOOR PLANS - ELECTRICAL
E1.3 FLOOR PLANS - COMMUNICATIONS, FIRE ALARM, AND HVAC WIRING
E2.1 LEGEND, SCHEDULES, AND DETAILS
E2.2 ELECTRICAL SPECIFICATIONS AND FIRE ALARM RISER DIAGRAM

PLANS REVIEW AND PRICING SET

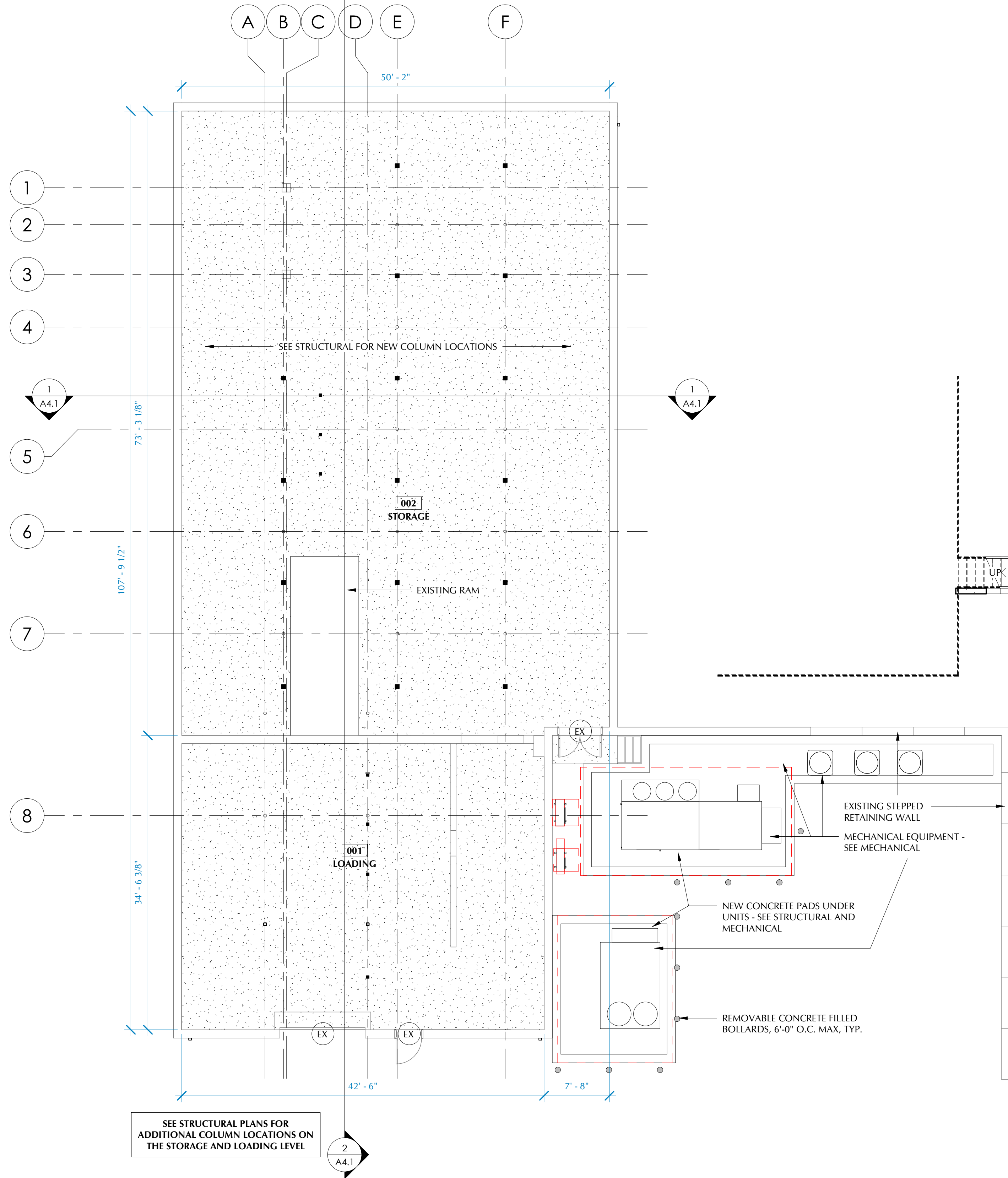
ISSUE DATE: DECEMBER 10, 2021

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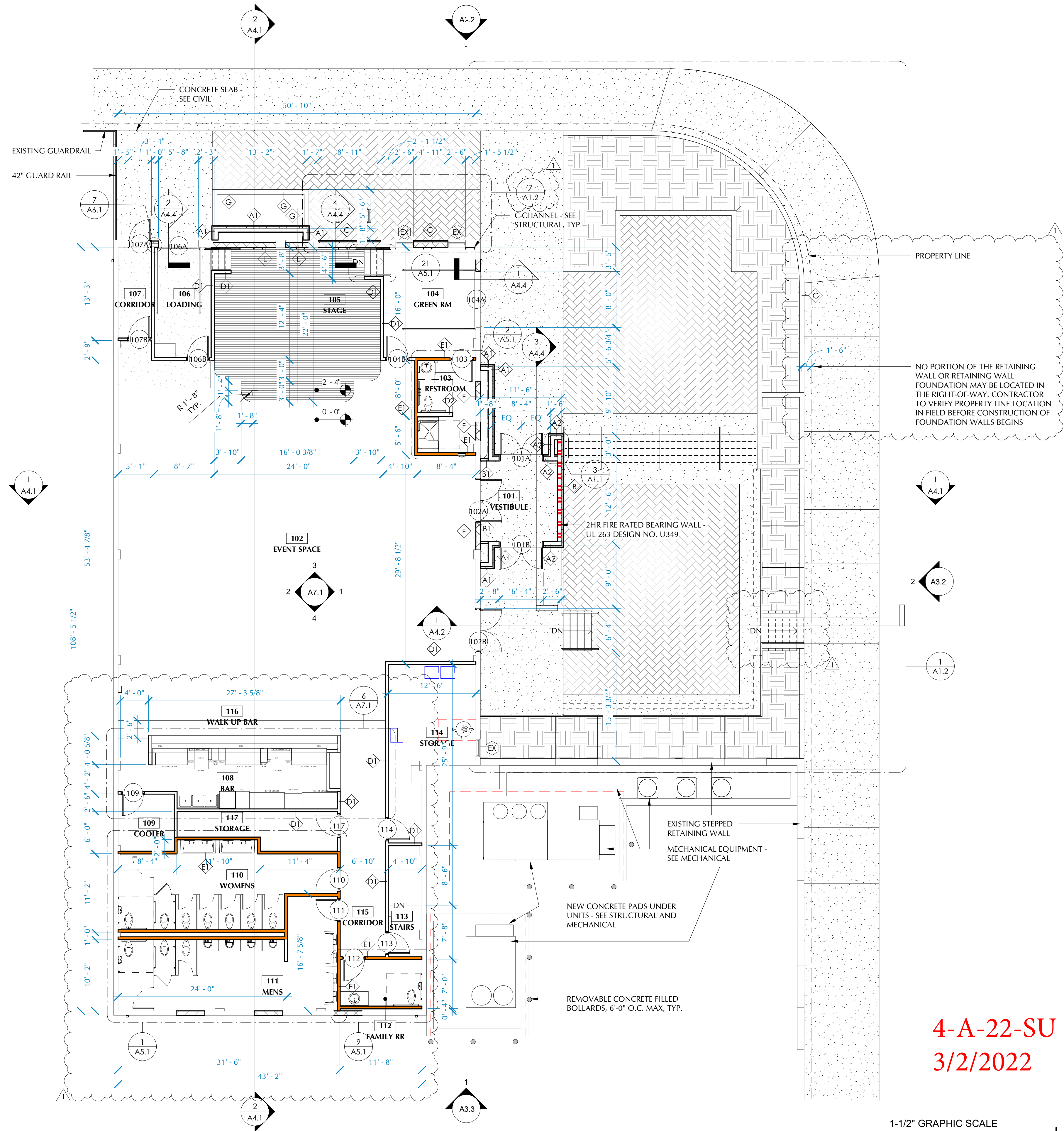
3 FIBER CEMENT PANEL CORNER DETAIL
1 1/2" = 1'-0"



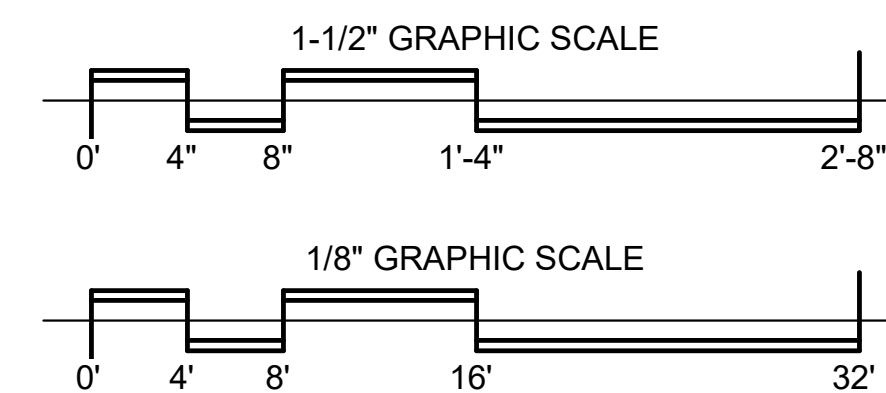
1 STORAGE & LOADING LEVEL FLOOR PLAN
1/8" = 1'-0"

- ### FLOOR PLAN NOTES
- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
 - SEE SHEET A0.1 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND TYPICAL ACCESSIBLE MOUNTING HEIGHTS
 - SEE SHEET A0.2 FOR U.L. ASSEMBLIES
 - FURNISH AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY A.H.J. MINIMUM REQUIRED PER 75'-0" TRAVEL OR 1 PER 6,000 SF OF BUILDING AREA
 - PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMENT
 - PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS
 - PROVIDE GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM, EDGE OF WALL OPENINGS
 - ALL EXPOSED STEEL TO BE PAINTED W/ ENAMEL LATEX PAINT PER SPEC (PRIMER + 2 COATS MIN.)

WALL LEGEND	
	EXTERIOR WALL PARTITION 'A1' & 'A2' VERTICAL NICHIIHA VINTAGEWOOD FIBER CEMENT PANELS - 'SPRUCE' (A1) OR 'BARK' (A2); NICHIIHA MOUNTING TRACK; 2" RIGID INSULATION (R-7.5 G. MIN.); CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER; 5/8" EXTERIOR GRADE SHEATHING OVER 6" 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ R-13 BATT INSULATION AT CAVITY; 5/8" GYPSUM BOARD ON FINISH SIDE
	EXTERIOR WALL PARTITION 'B' 2HR RATED UL263 DESIGN NO. U349 VERTICAL NICHIIHA VINTAGEWOOD FIBER CEMENT PANELS - 'BARK'; NICHIIHA MOUNTING TRACK; 2" RIGID INSULATION (R-7.5 G. MIN.); CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER; 5/8" EXTERIOR GRADE SHEATHING OVER 6" 20GA. METAL STUD FRAMING @ 16" O.C. MAX. W/ R-13 BATT INSULATION AT CAVITY; (2) TWO LAYERS 5/8" TYPE 'X' GYPSUM BOARD ON FINISH SIDE
	EXTERIOR WALL PARTITION 'C' VERTICAL NICHIIHA VINTAGEWOOD FIBER CEMENT PANELS - 'SPRUCE'; NICHIIHA MOUNTING TRACK; 2" RIGID INSULATION (R-7.5 G. MIN.); CONTINUOUS FLUID APPLIED AIR AND MOISTURE BARRIER; 8" CMU, GROUTED SOLID; PAINTED ON FINISH SIDE
	EXISTING WALL
	INTERIOR WALL PARTITION 'D1' & 'D2' 3-5/8" (D1) OR 6" (D2) 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" GYPSUM BOARD ON EACH SIDE. EXTEND STUDS TO UNDERSIDE OF ROOF DECK. PROVIDE SOUND BATTS, TYP. EXTEND GYPSUM BOARD ON ONE SIDE TO UNDERSIDE OF STRUCTURE.
	INTERIOR WALL PARTITION 'E1' & 'E2' 3-5/8" (E1) OR 6" (E2) 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" GYPSUM BOARD ON EACH SIDE. EXTEND STUDS TO UNDERSIDE OF ROOF DECK. PROVIDE SOUND BATTS, TYP. EXTEND GYPSUM BOARD ON ONE SIDE TO UNDERSIDE OF STRUCTURE.
	INFILL CMU 'F' 8" CMU, GROUTED SOLID - SEE STRUCTURAL
	SITE WALL 'G' 8" CONCRETE



2 GROUND LEVEL FLOOR PLAN
1/8" = 1'-0"





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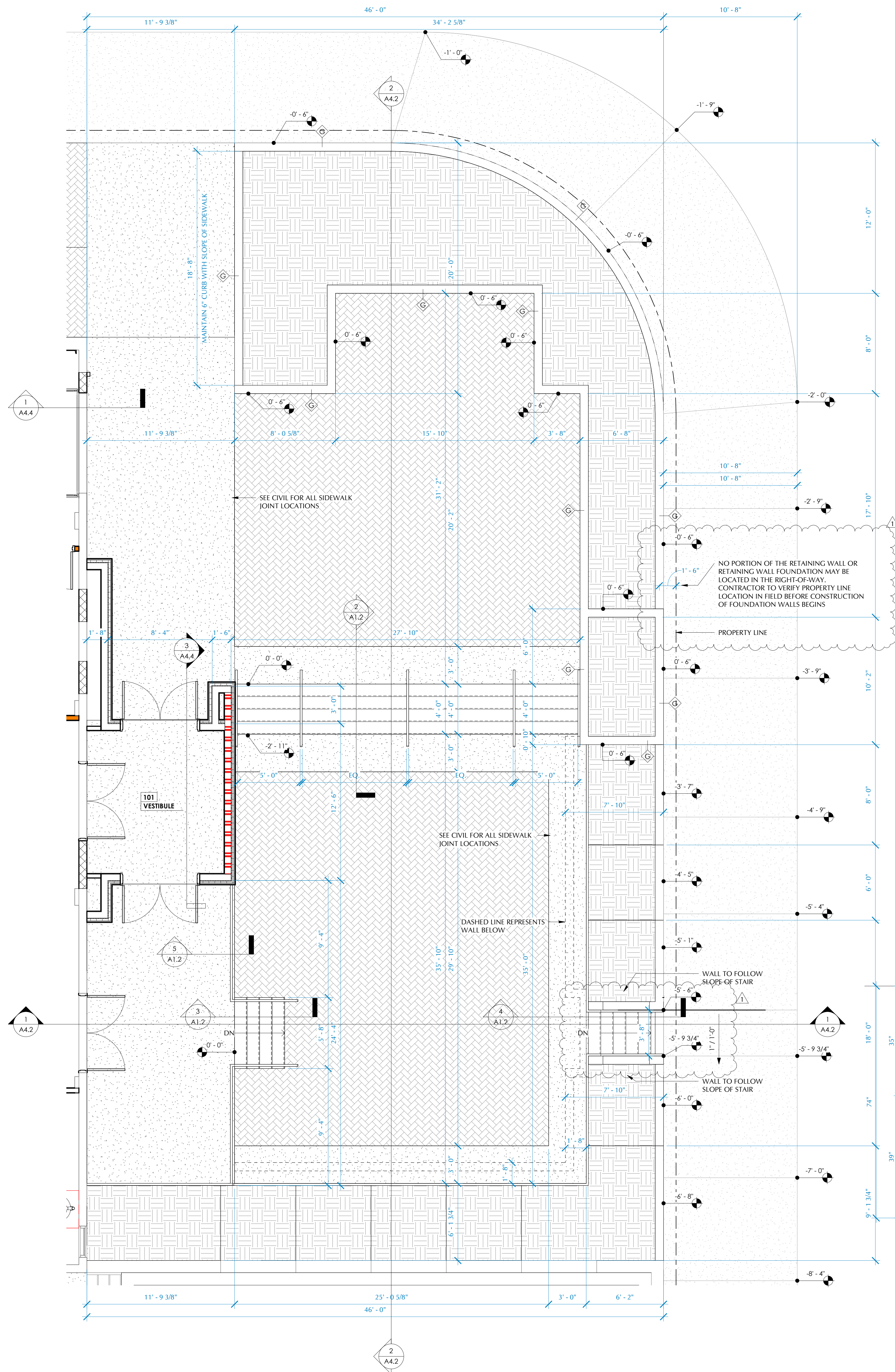
ENLARGED PATIO
AND DETAILS

REVISIONS		
Revision #	Description	Date
1	Revision 1	Date 1

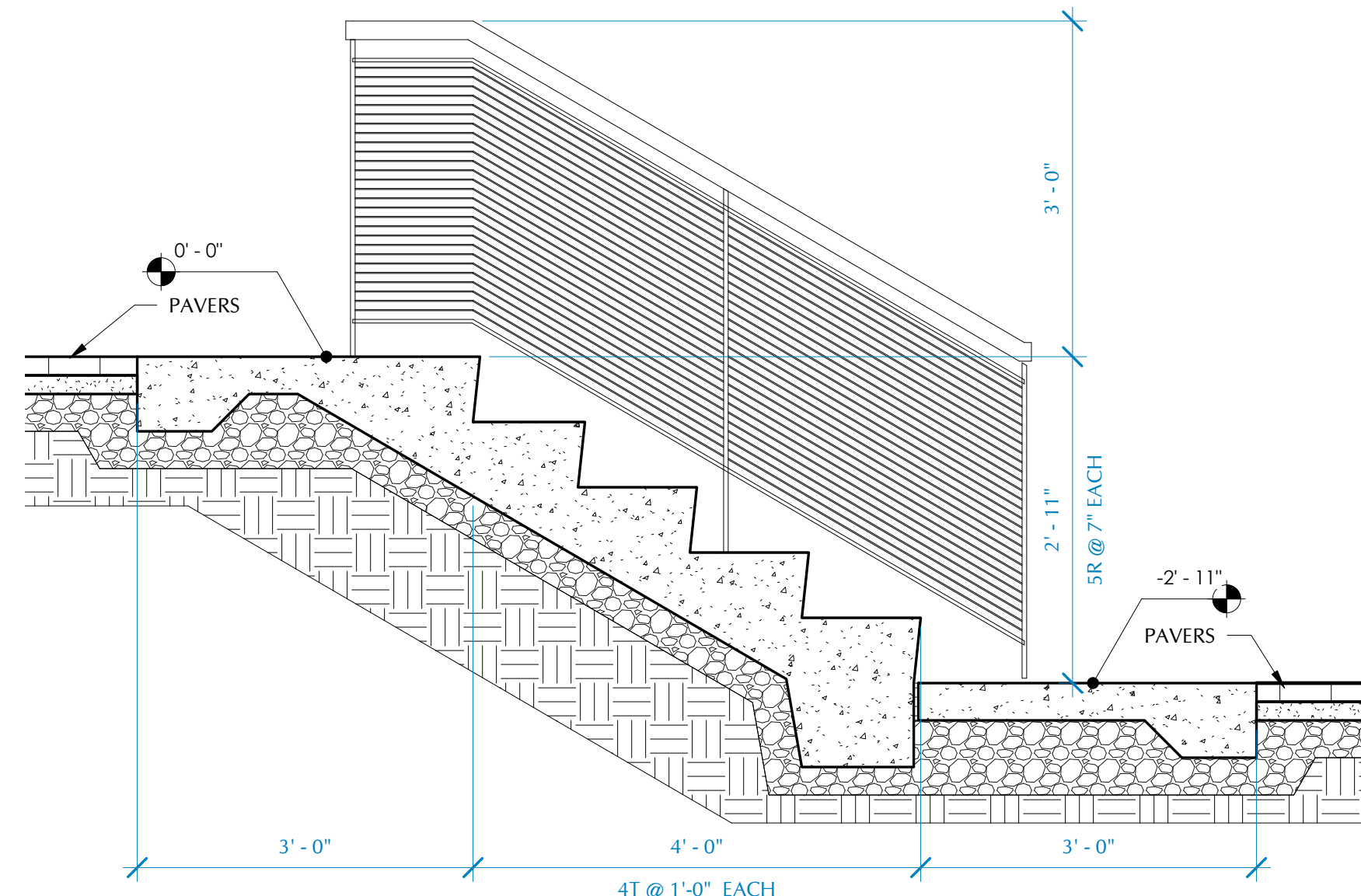
DATE: 12/6/2021

PROJECT NO: 213081.2

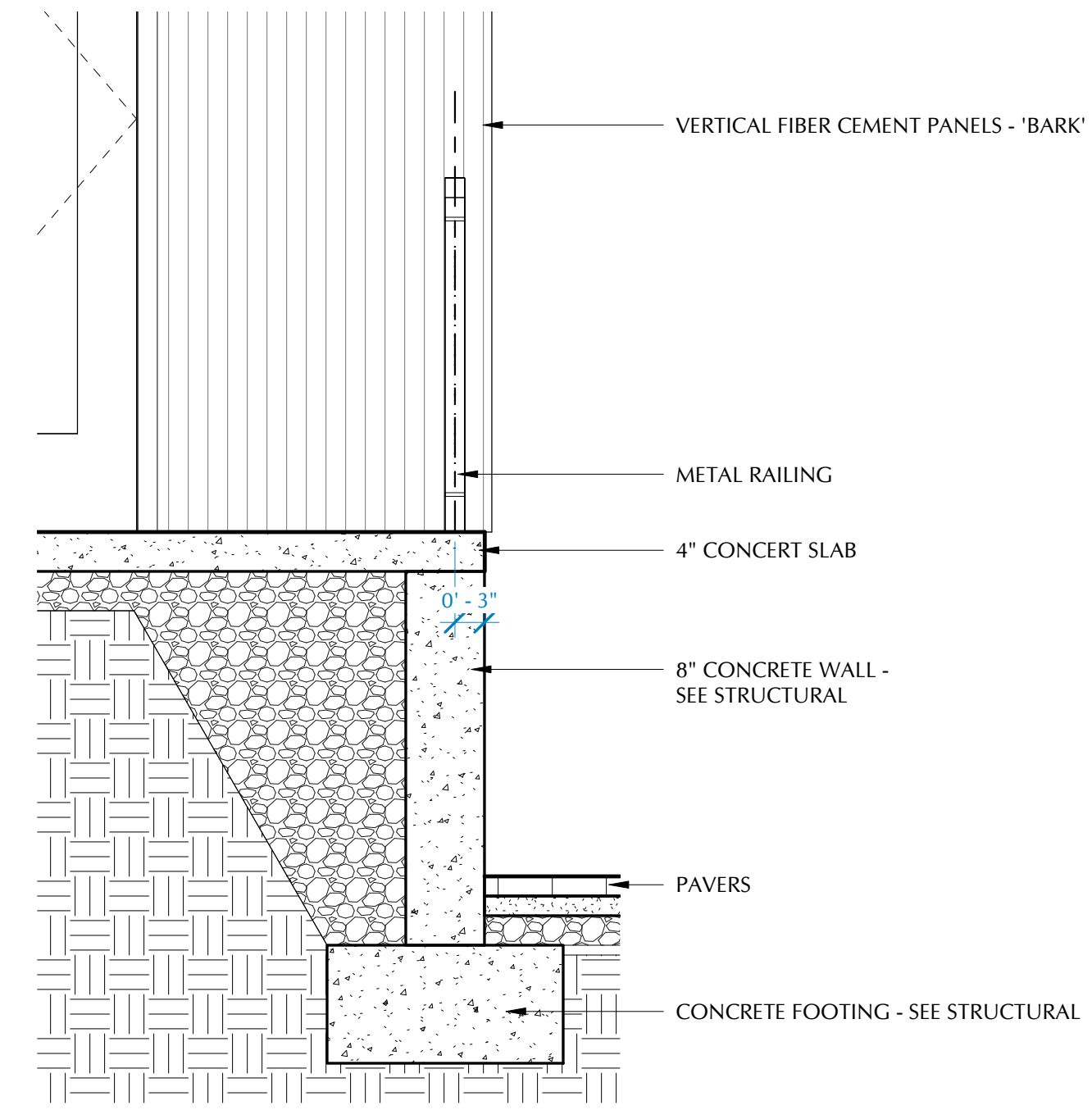
A1.2



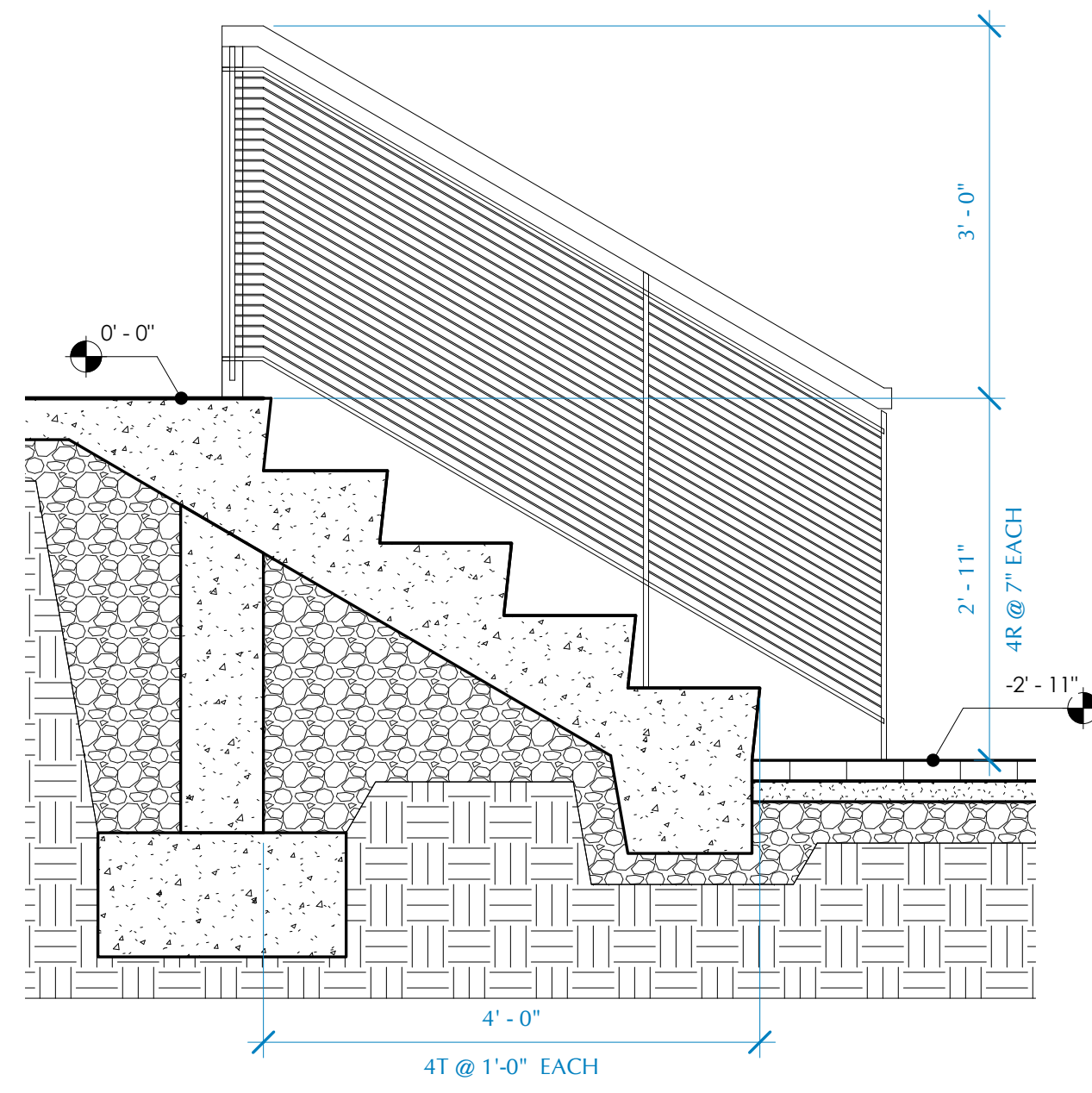
1 ENLARGED PATIO PLAN
1/4" = 1'-0"



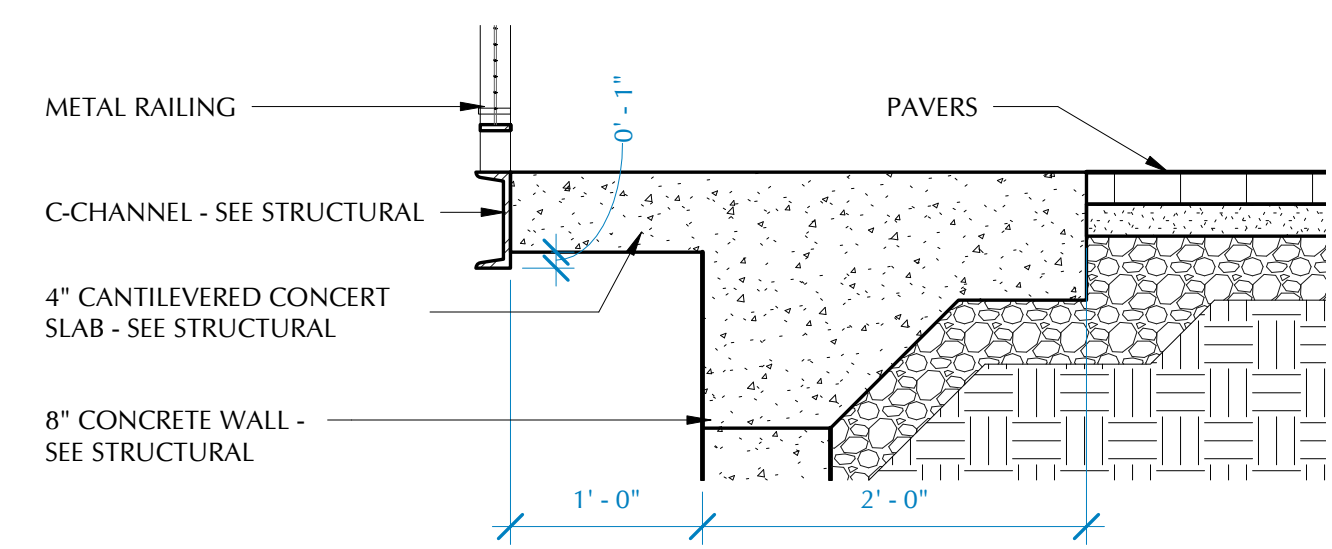
2 STAIR SECTION
3/4" = 1'-0"



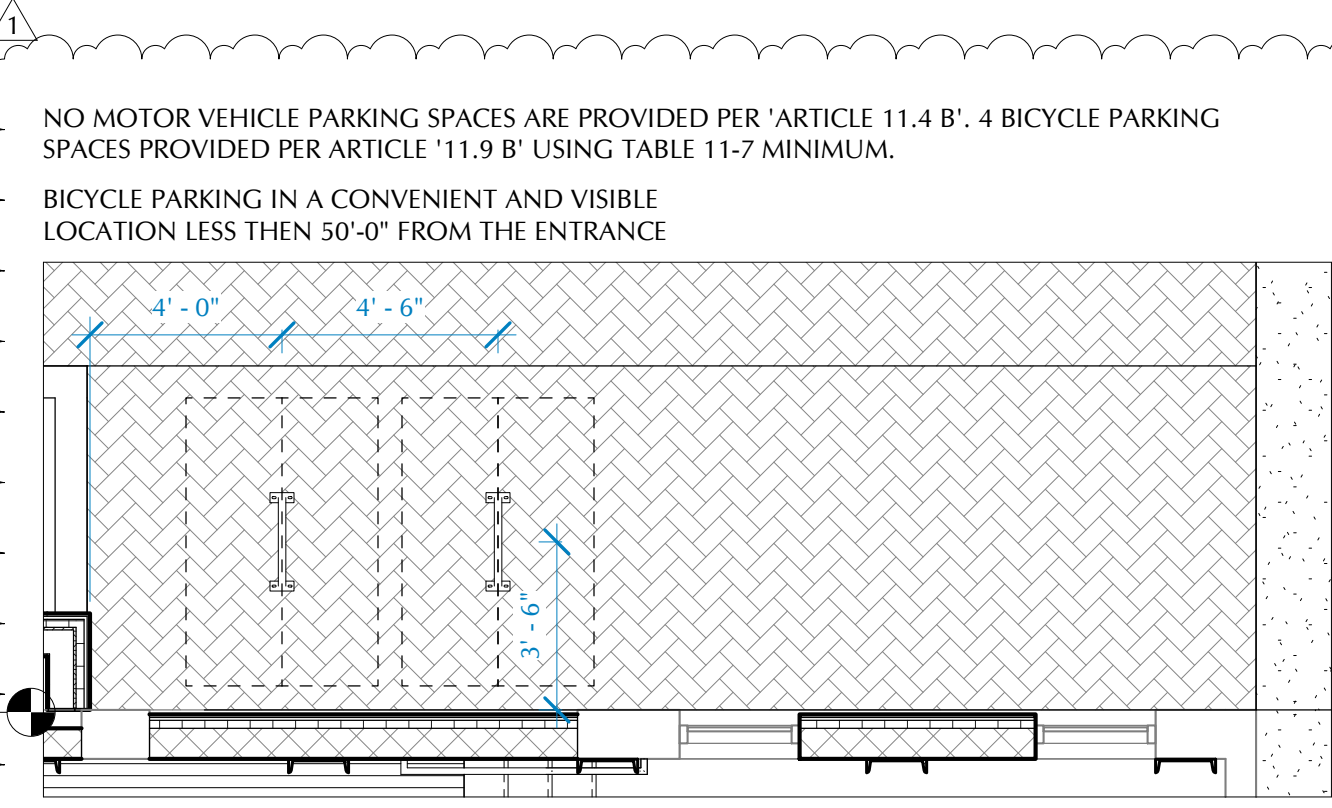
5 STEM WALL SECTION
3/4" = 1'-0"



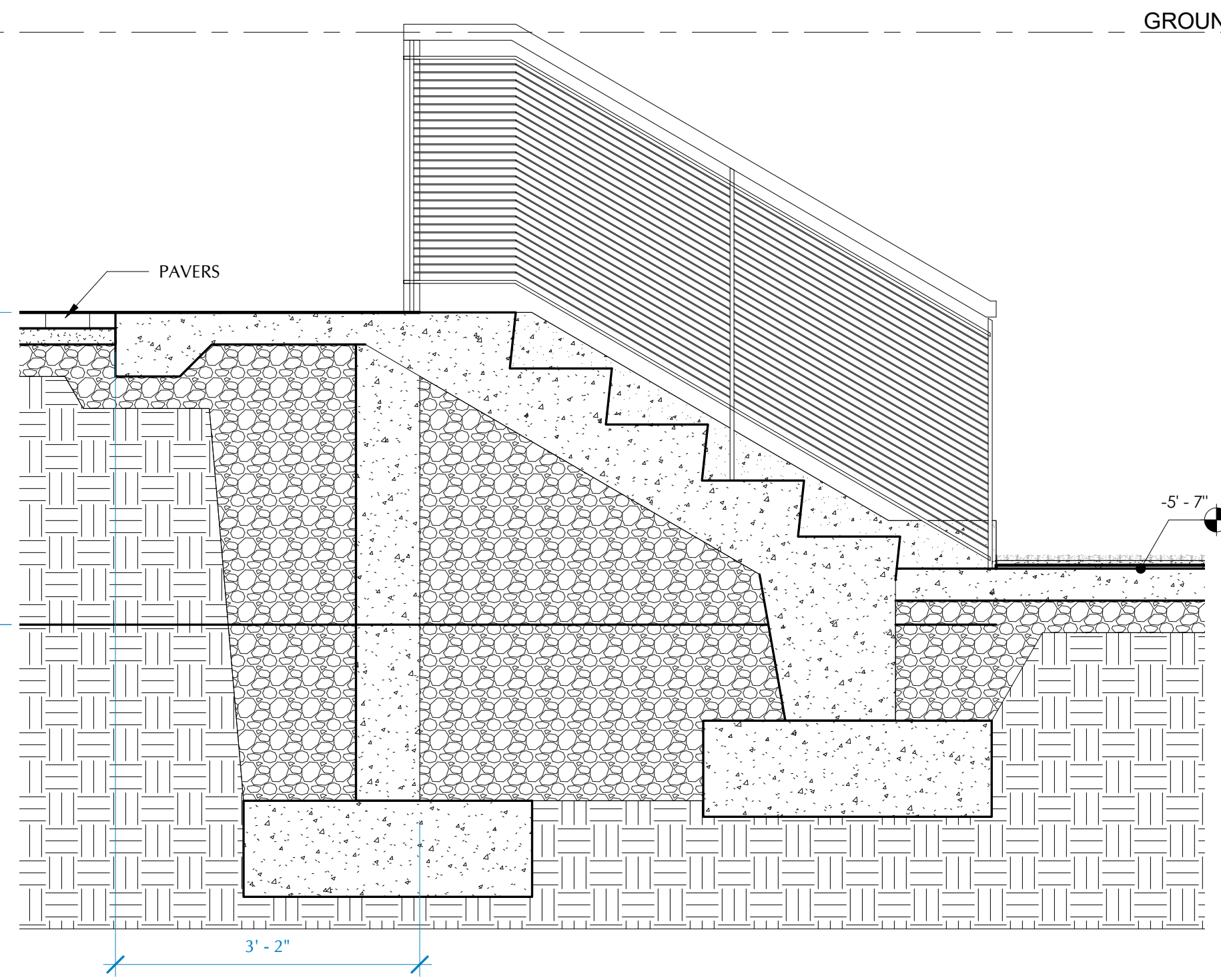
3 STAIR SECTION
3/4" = 1'-0"



6 PATIO EDGE
1" = 1'-0"

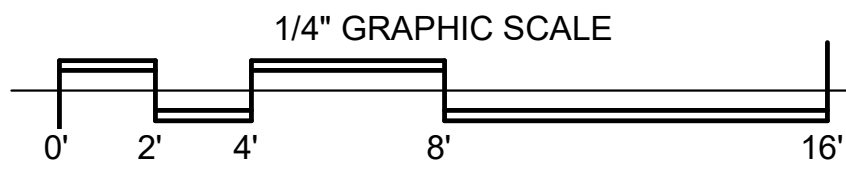
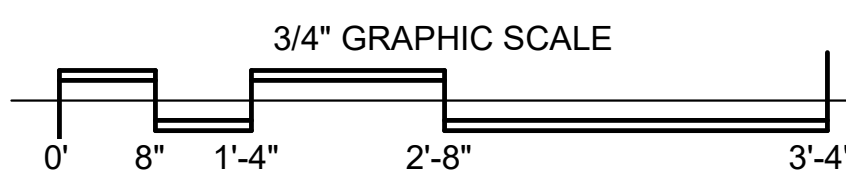
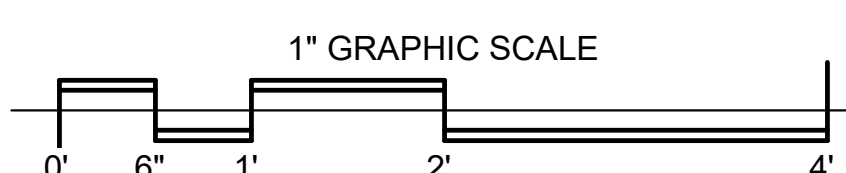


7 BICYCLE PARKING
1/4" = 1'-0"



4 STAIR SECTION
3/4" = 1'-0"

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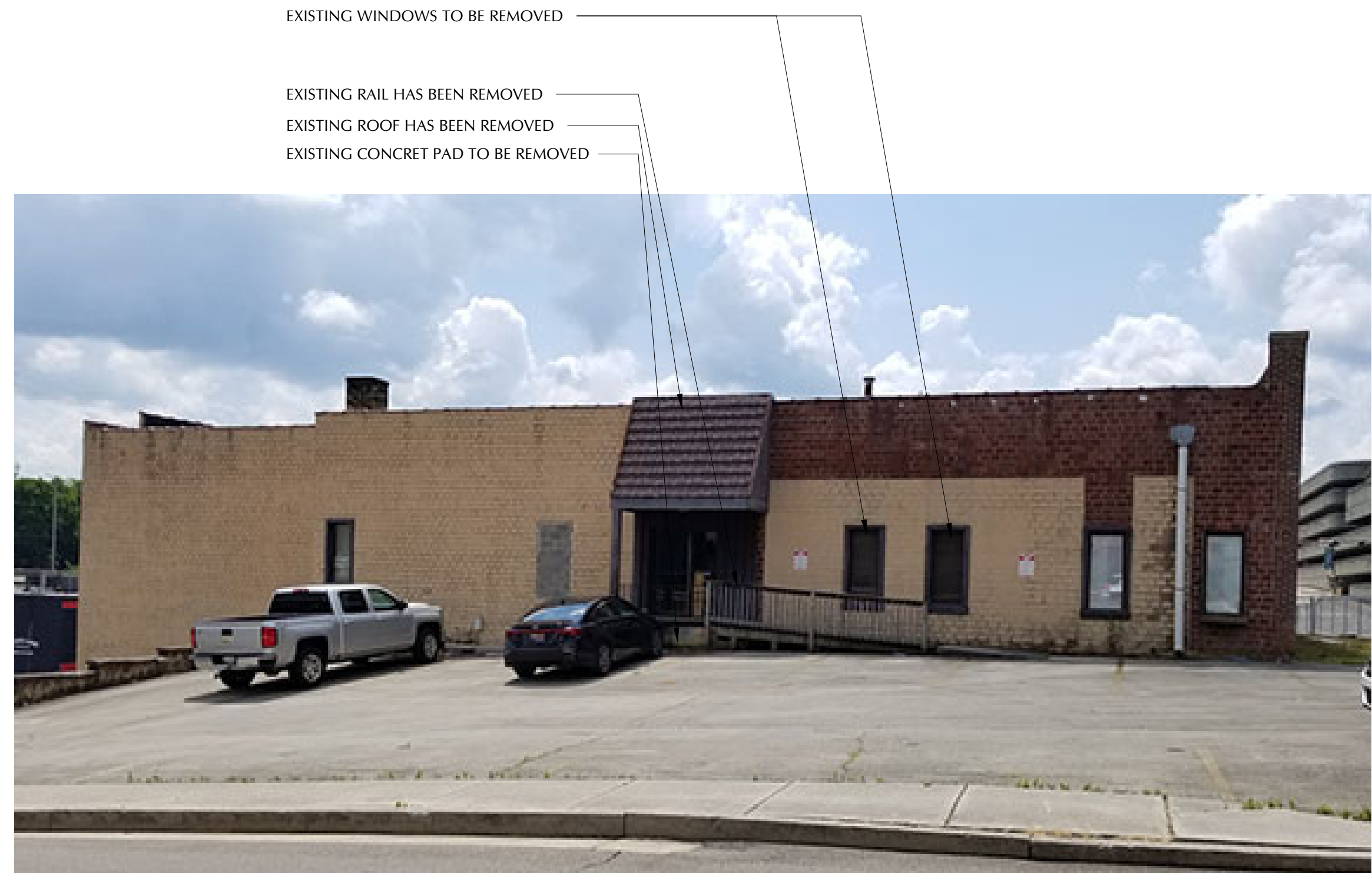




1
A3.1 EXISTING NORTH ELEVATION



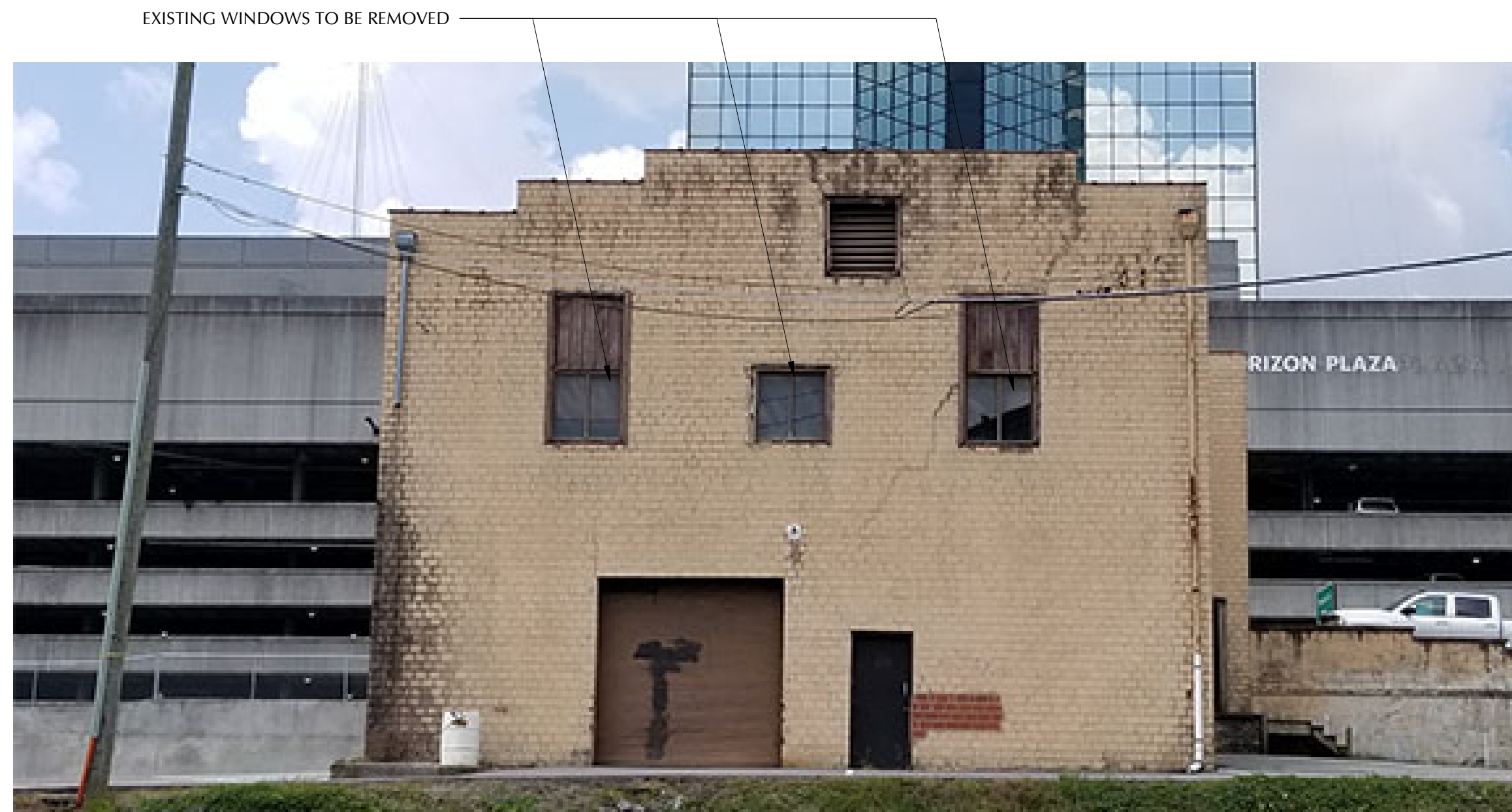
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A3.1 EXISTING NORTHEAST ELEVATION



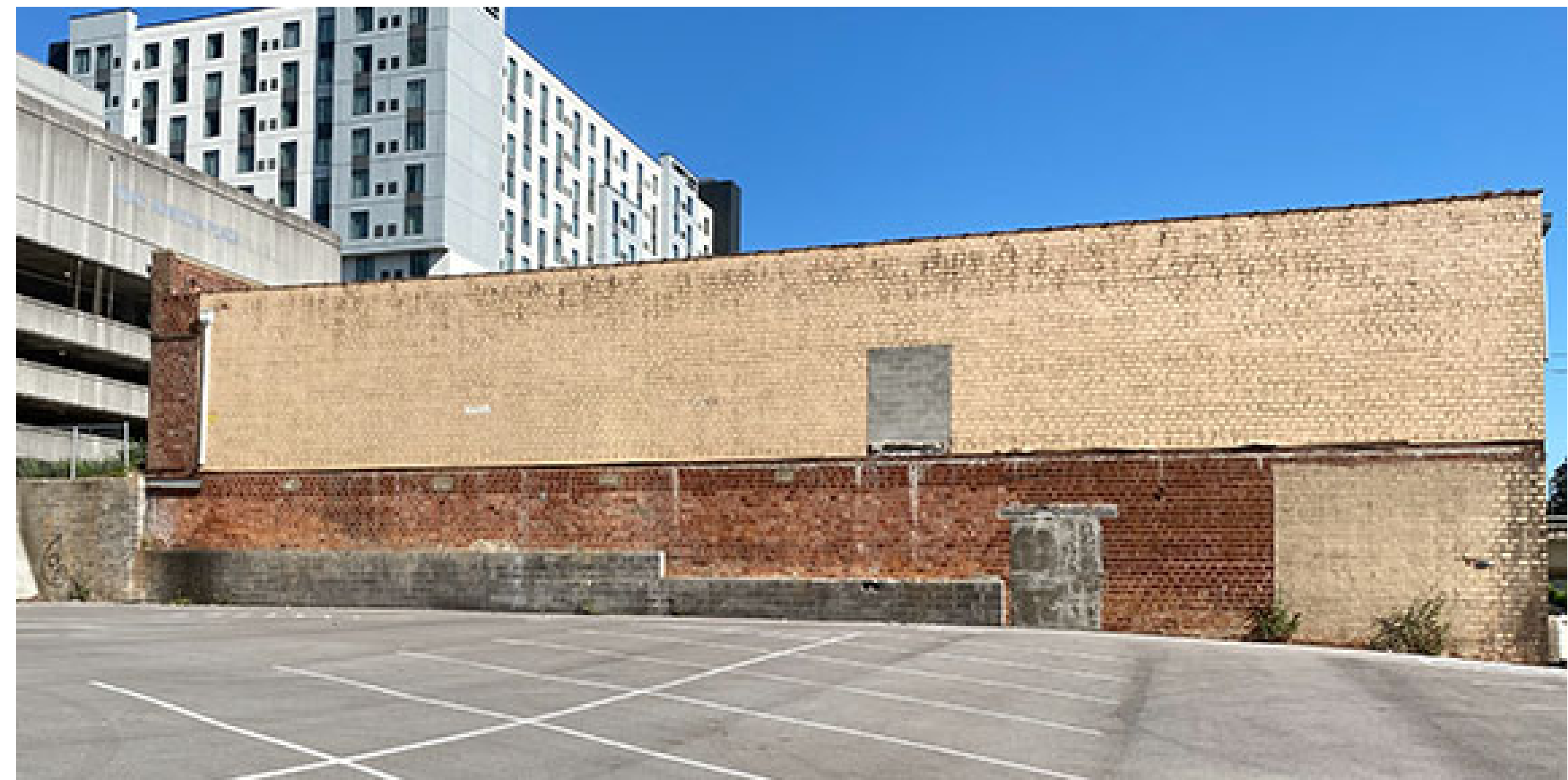
3
A3.1 EXISTING EAST ELEVATION



4
A3.1 EXISTING SOUTHEAST ELEVATION



5
A3.1 EXISTING SOUTH ELEVATION



6
A3.1 EXISTING WEST ELEVATION



7
A3.1 SURROUNDING PROPERTIES



8
A3.1 SURROUNDING PROPERTIES



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EXISTING
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A3.1



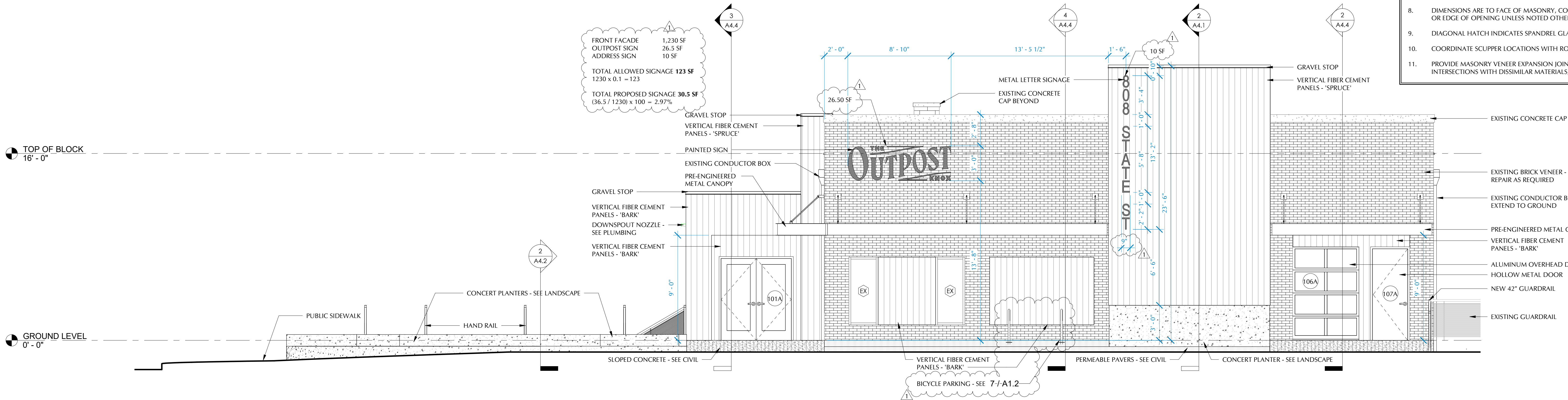
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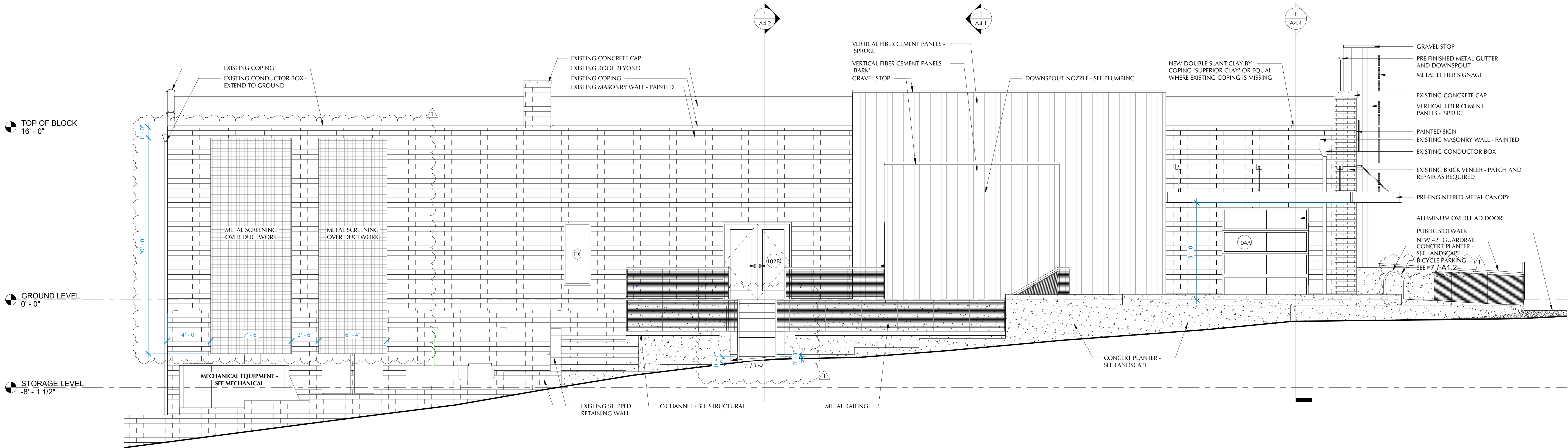


ELEVATION NOTES

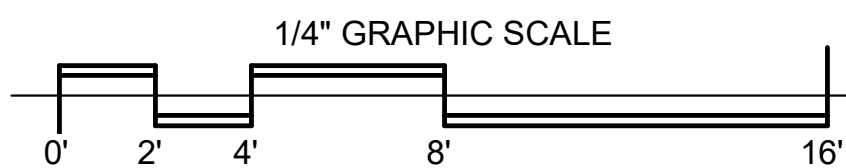
1. CJ = CONTROL JOINT, SEE DETAIL XXXX
2. ICJ = INSIDE CONTROL JOINT, SEE DETAIL XXXX
3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 25'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT
4. PROVIDE CONTROL JOINTS MINIMUM 2'-0" OFF EDGE OF OUTSIDE CORNER IF NOT SHOWN ALIGNED WITH FRAME. ALIGN DOWNSPOUT TO COVER CONTROL JOINTS WHERE APPLICABLE
5. PROVIDE HORIZONTAL CONTROL JOINTS AT LOCATIONS SHOWN ON ELEVATIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS
6. VERTICAL CONTROL JOINT FILLER TO MATCH MASONRY COLOR. HORIZONTAL CONTROL JOINT FILLER TO MATCH GROUT COLOR
7. COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
8. DIMENSIONS ARE TO FACE OF MASONRY, COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE
9. DIAGONAL HATCH INDICATES SPANDREL GLAZING PANEL, TYP.
10. COORDINATE SCUPPER LOCATIONS WITH ROOF PLAN
11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS, TYP.



1 FRONT FACADE A3.2 1/4" = 1'-0"



2 RIGHT ELEVATION A3.2 1/4" = 1'-0"



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BUILDING ELEVATIONS

REVISIONS

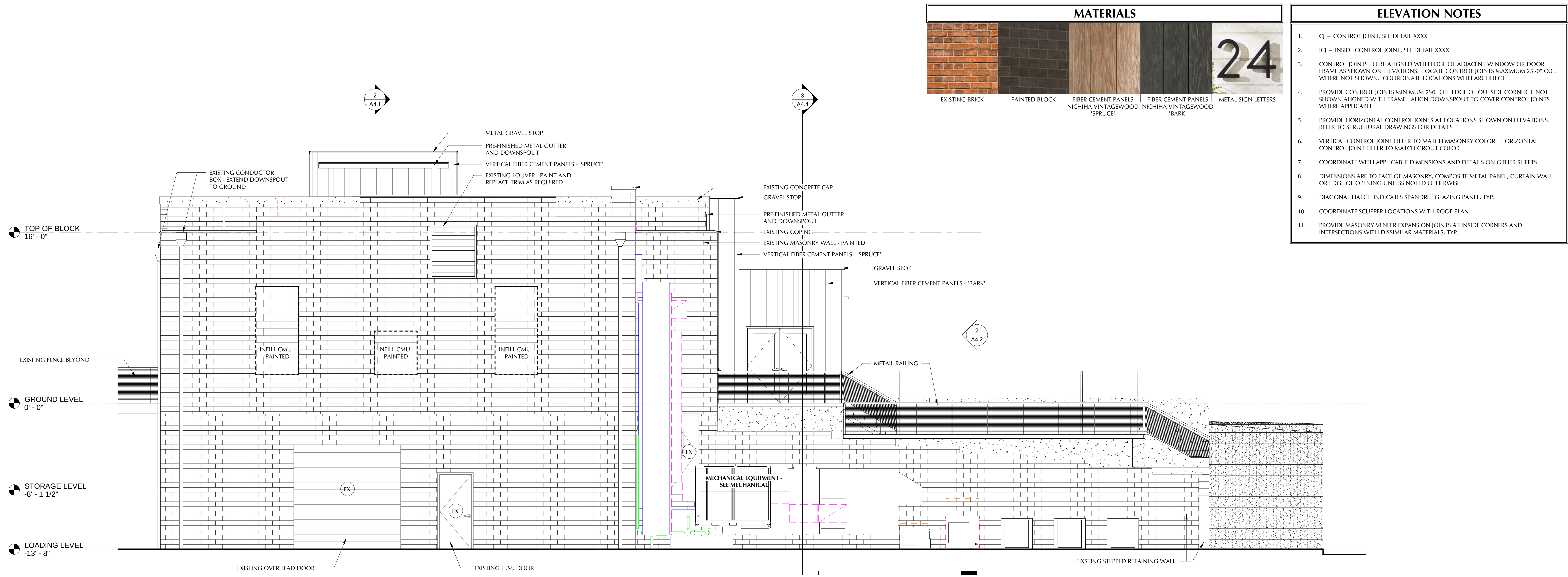
Revision #	Description	Date
1	Revision 1	Date 1

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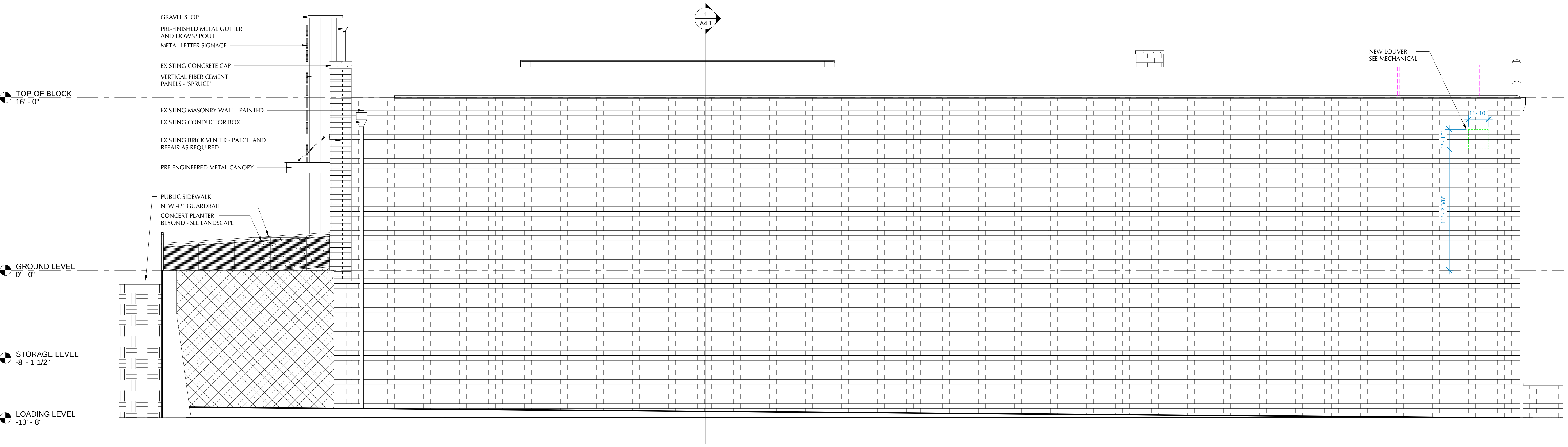
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A3.2



1 SOUTH ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

MATERIALS

EXISTING BRICK

PAINTED BLOCK

FIBER CEMENT PANELS
NICHHA VINTAGEWOOD
'SPRUCE'

FIBER CEMENT PANELS
NICHHA VINTAGEWOOD
'BARK'

METAL SIGN LETTERS

24

- ELEVATION NOTES
1. CI - CONTROL JOINT, SEE DETAIL XXXX
 2. IQI - INSIDE CONTROL JOINT, SEE DETAIL XXXX
 3. CONTROL JOINTS TO BE ALIGNED WITH EDGE OF ADJACENT WINDOW OR DOOR FRAME AS SHOWN ON ELEVATIONS. LOCATE CONTROL JOINTS MAXIMUM 25'-0" O.C. WHERE NOT SHOWN. COORDINATE LOCATIONS WITH ARCHITECT
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 8. DIMENSIONS ARE TO FACE OF MASONRY. COMPOSITE METAL PANEL, CURTAIN WALL OR EDGE OF OPENING UNLESS NOTED OTHERWISE
 9. DIAGONAL HATCH INDICATES SPANDREL GLAZING PANEL, TYP.
 10. COORDINATE SCUPPER LOCATIONS WITH ROOF PLAN
 11. PROVIDE MASONRY VENEER EXPANSION JOINTS AT INSIDE CORNERS AND INTERSECTIONS WITH DISSIMILAR MATERIALS, TYP.

JA

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SEAL

ARCHITECT

12/10/21

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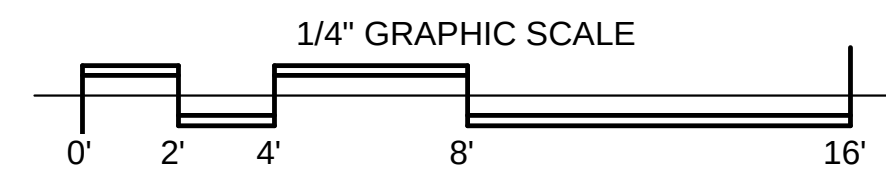
BUILDING
ELEVATIONS

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A3.3





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3D VIEWS

REVISIONS

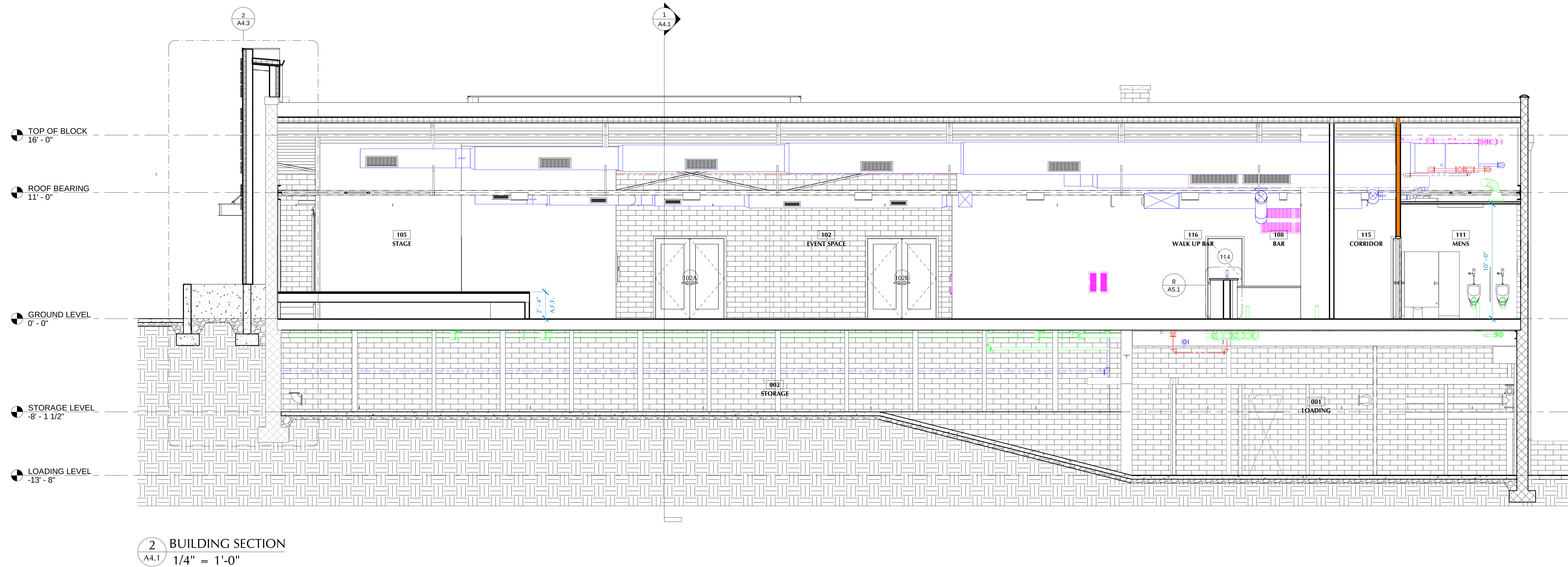
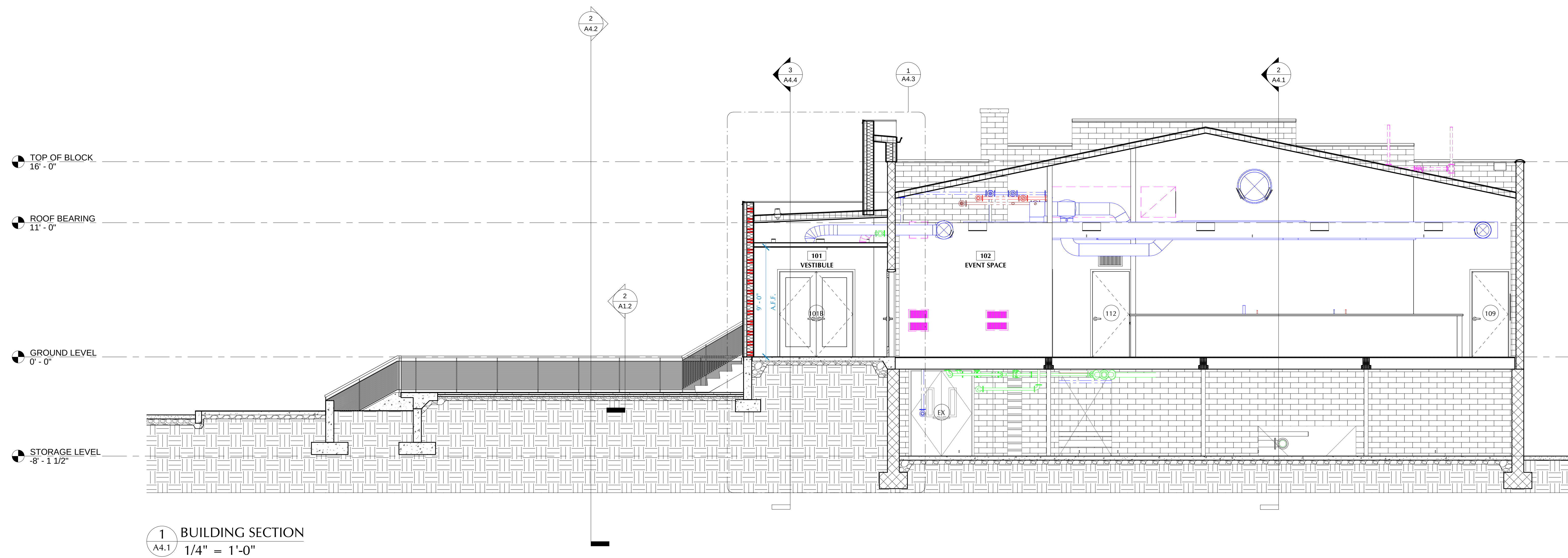
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A3.4



Building Renovation for:
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BUILDING SECTIONS

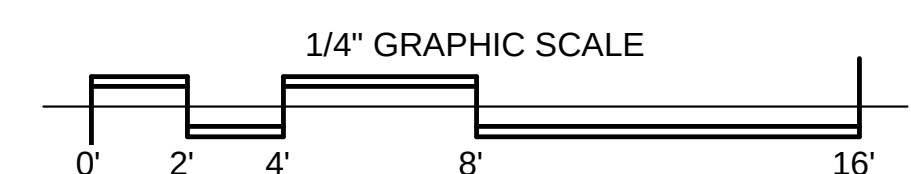
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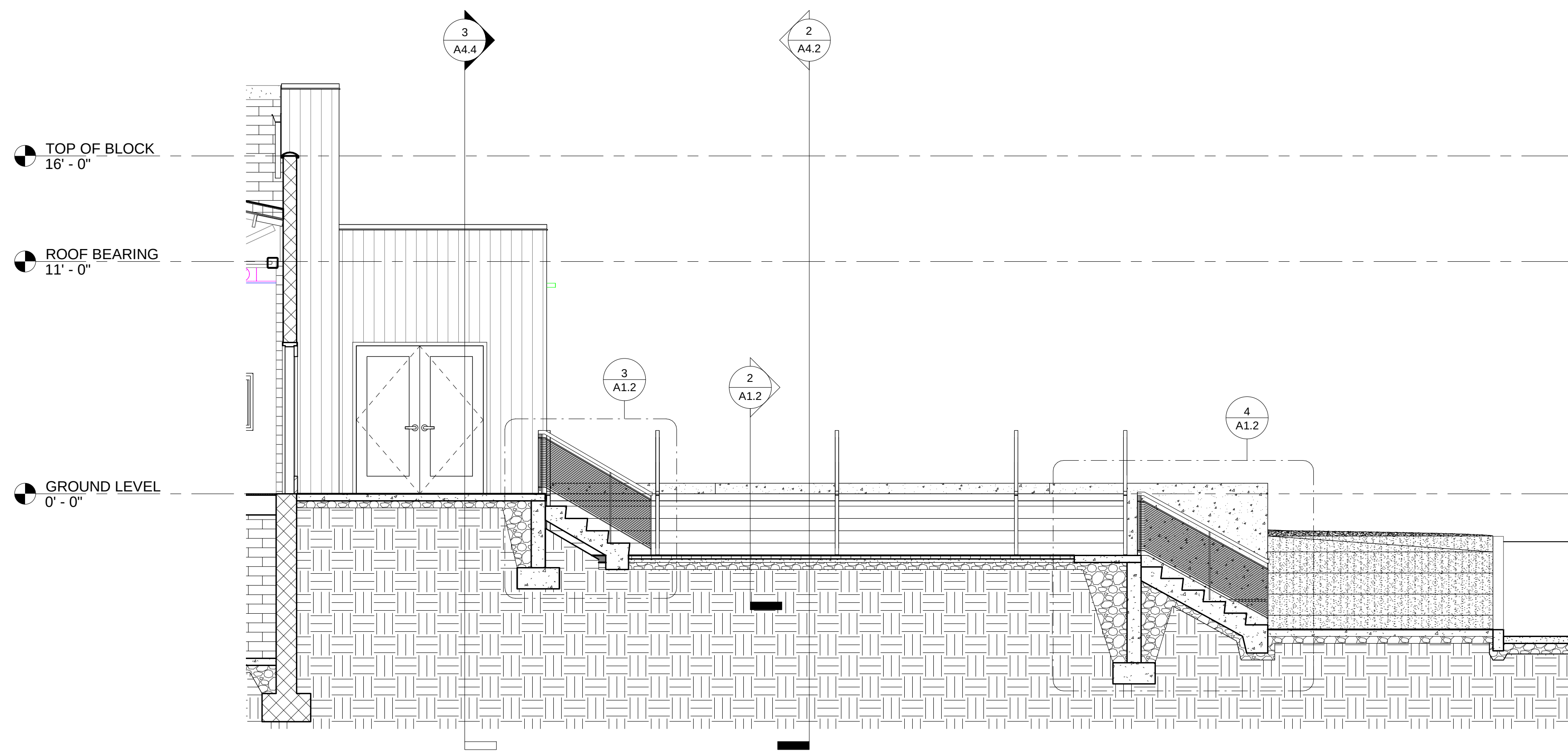
A4.1



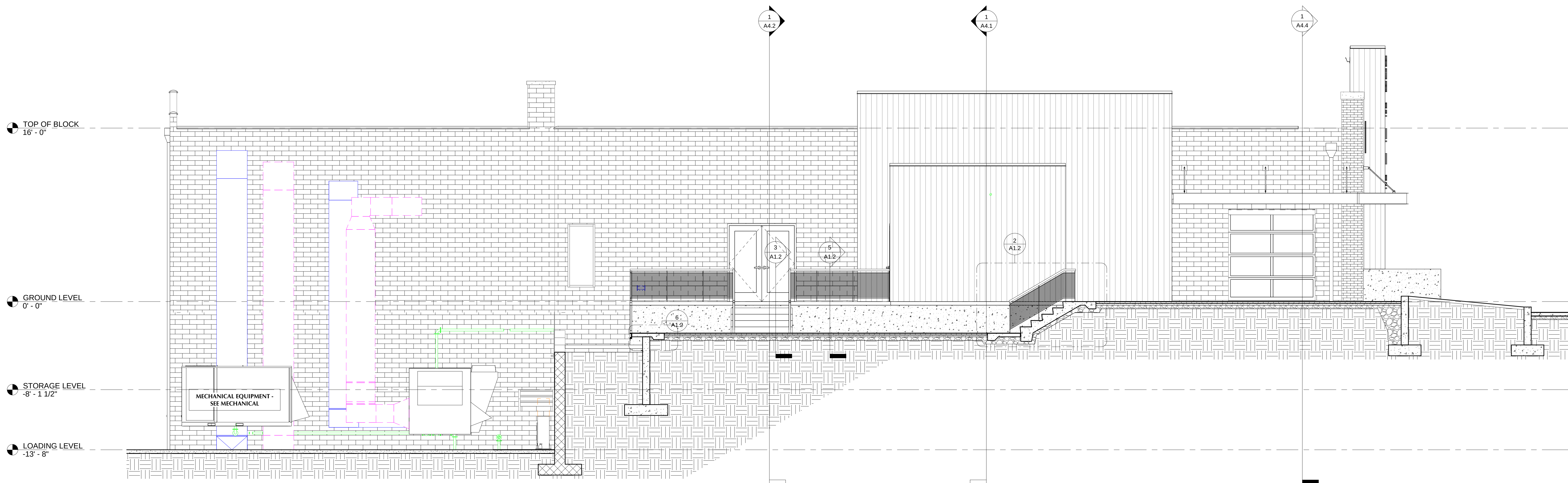


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1 PATIO SECTION
A4.2 1/4" = 1'-0"



2 PATIO SECTION
A4.2 1/4" = 1'-0"

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PATIO SECTIONS

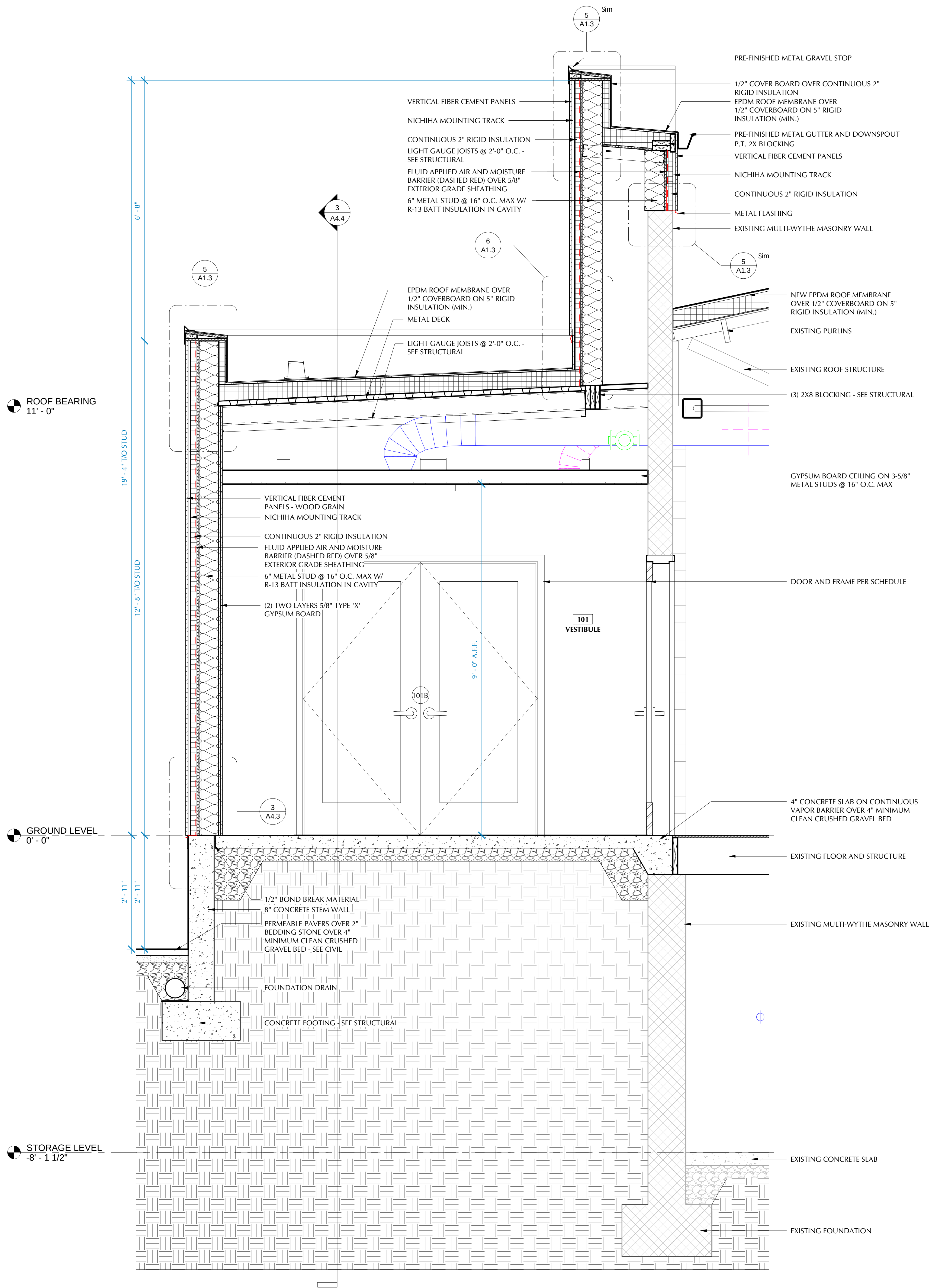
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Revision # Description Date

4-A-22-SU
3/2/2022

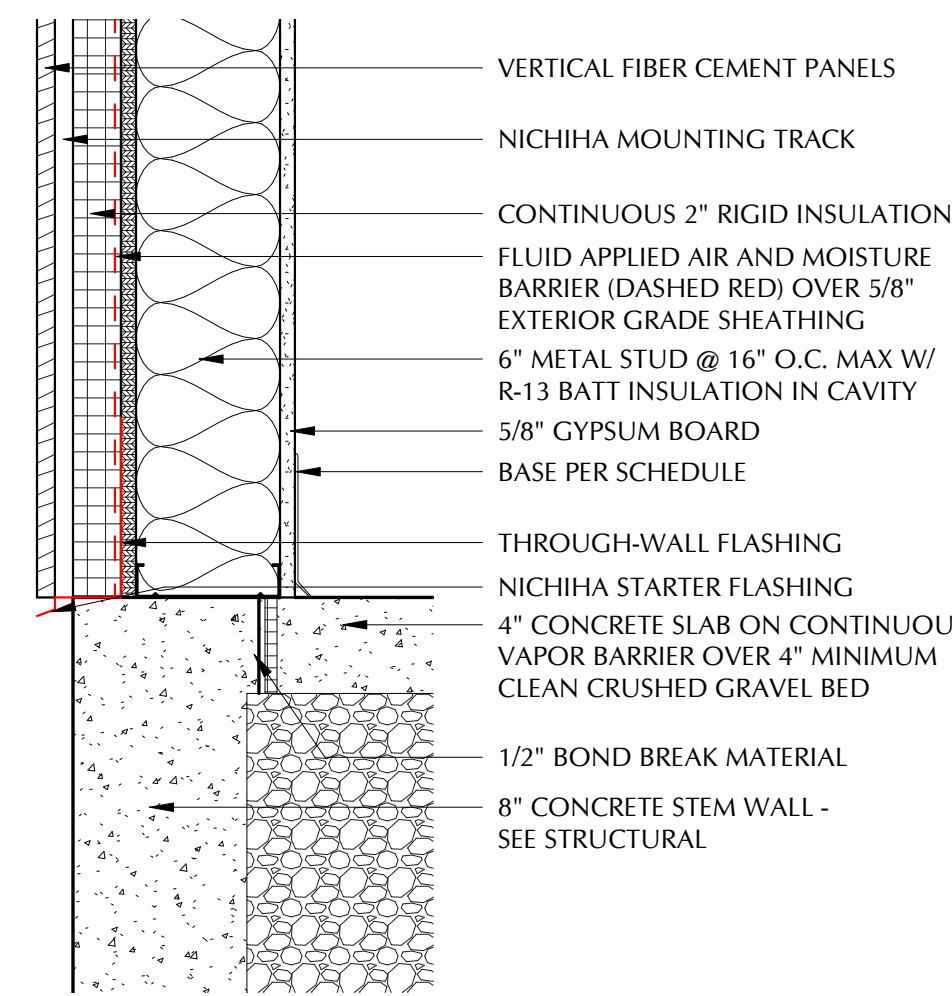
DATE: 12/6/2021

PROJECT NO: 213081.2

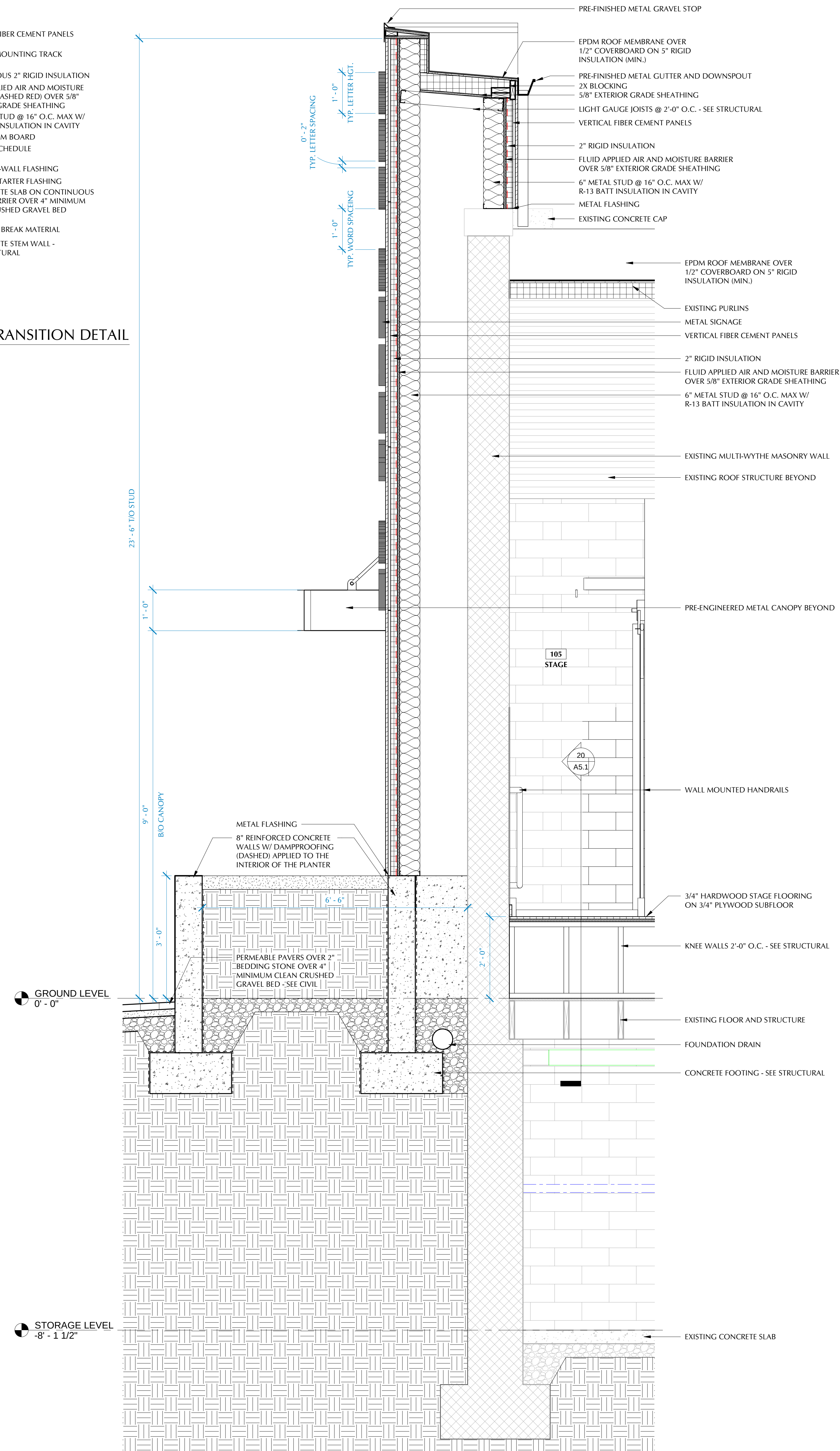
A4.2



1 WALL SECTION
A4.3 3/4" = 1'-0"



3 WALL TO WALL TRANSITION DETAIL
A4.3 1 1/2" = 1'-0"



2 WALL SECTION
A4.3 3/4" = 1'-0"



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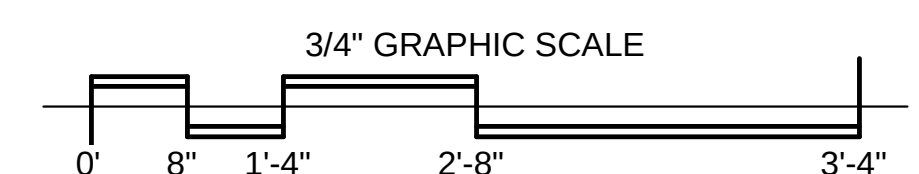
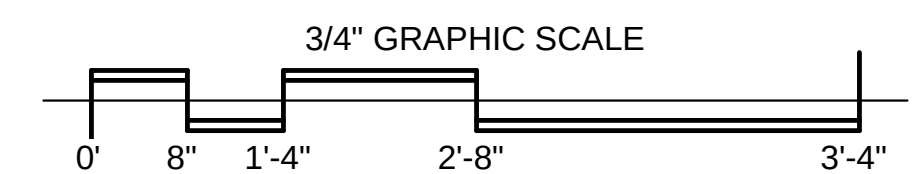
WALL SECTIONS

REVISIONS		
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A4.3



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WALL SECTIONS

REVISIONS

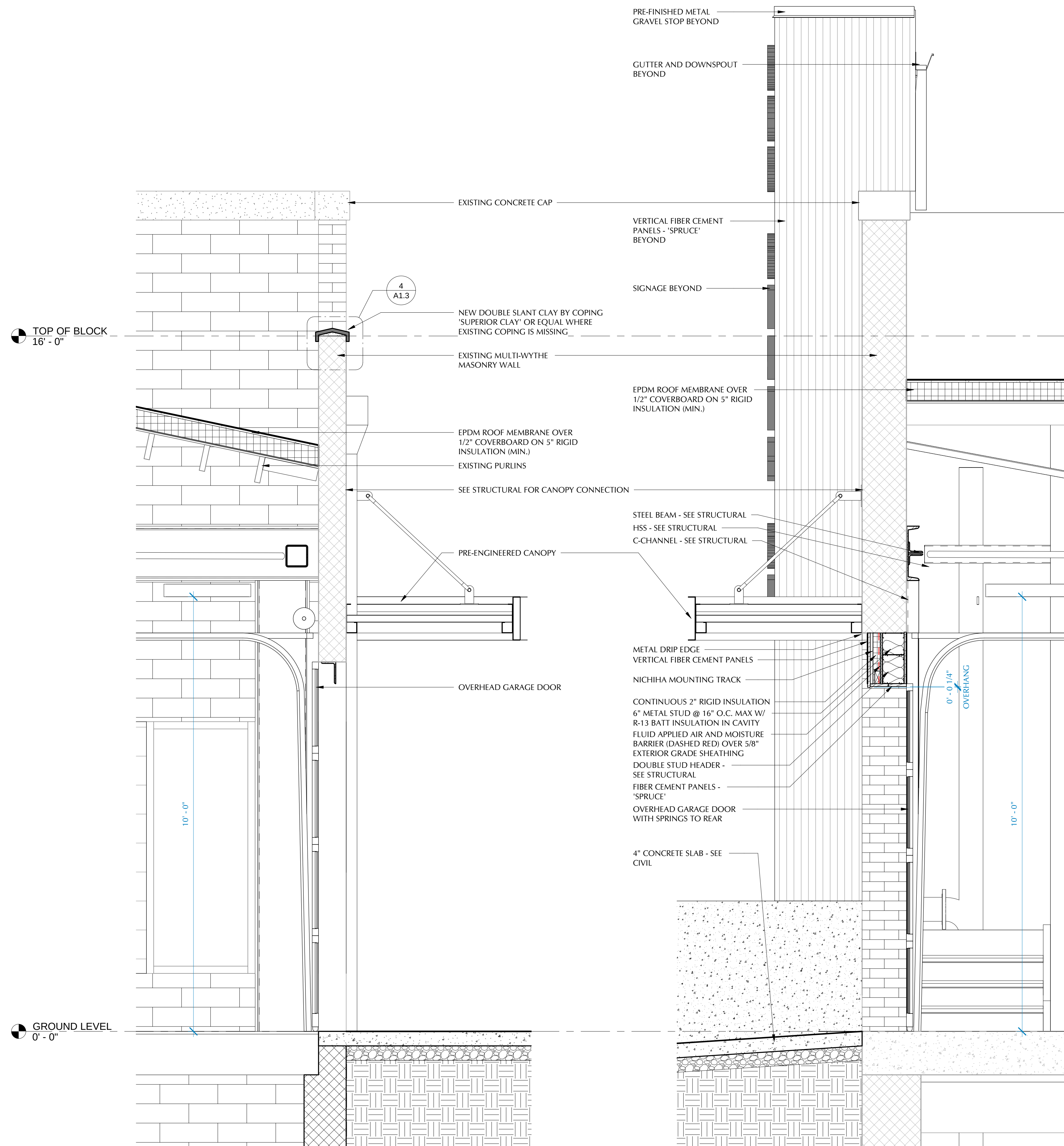
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DATE: 12/6/2021

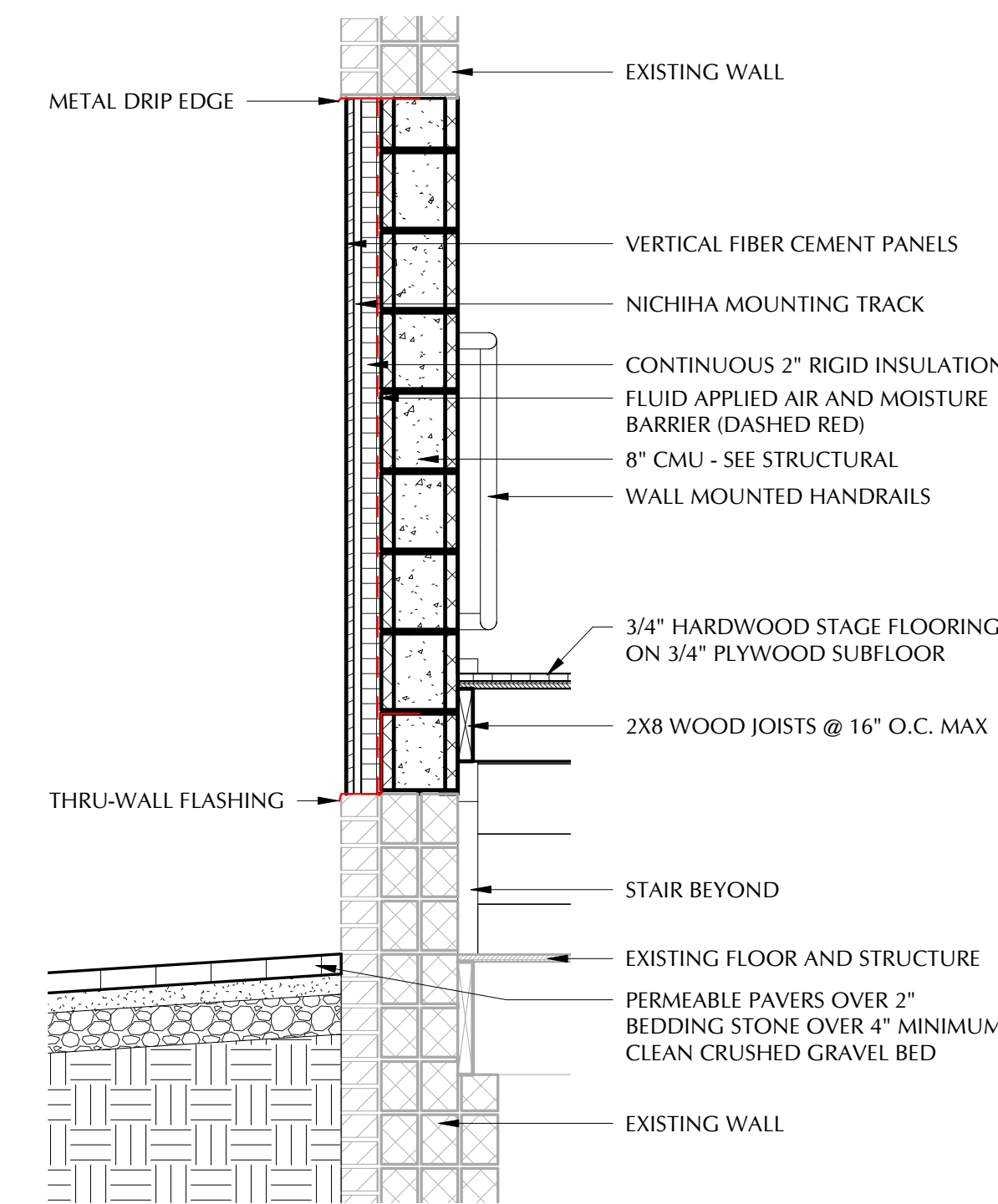
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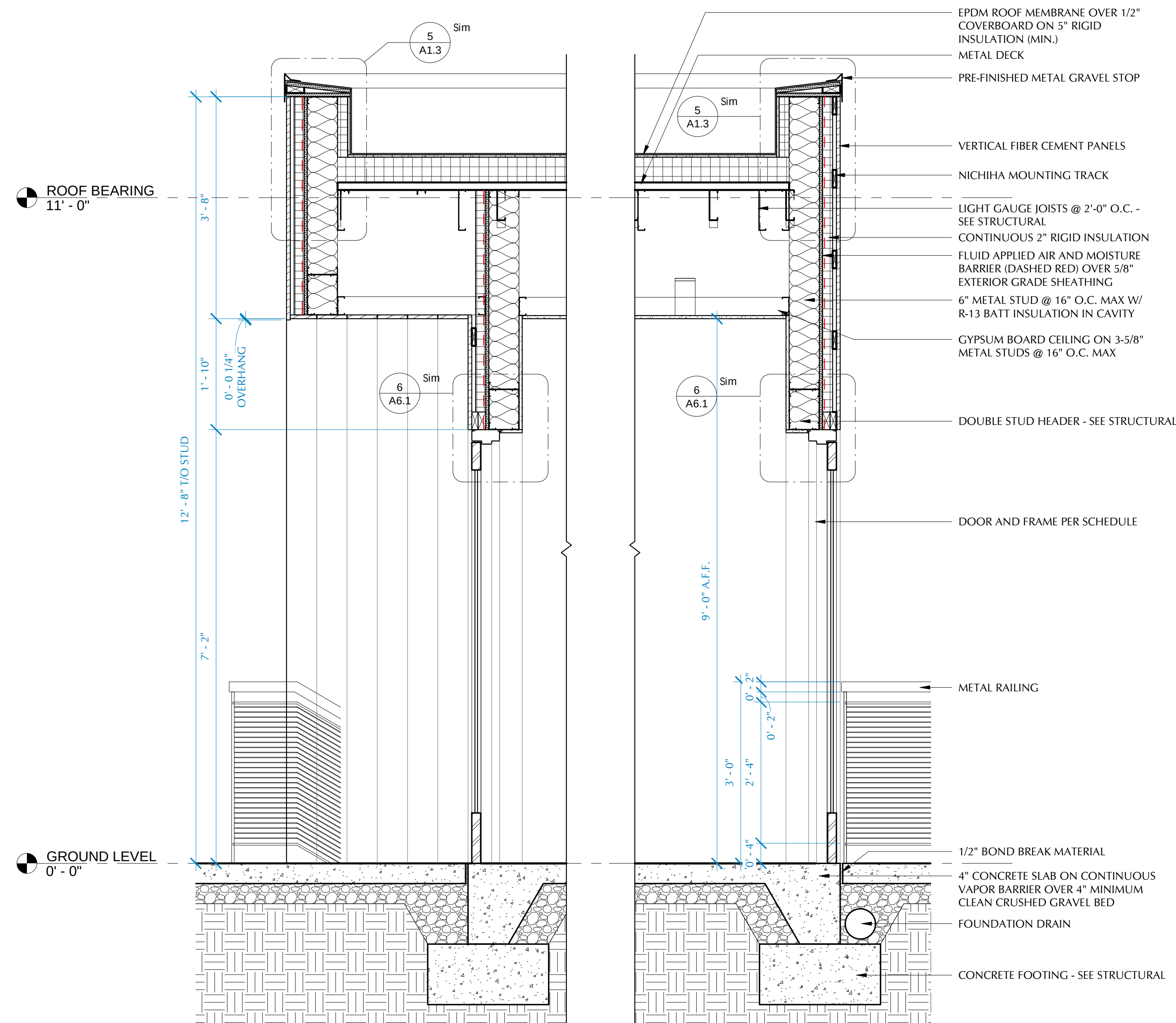


1 WALL SECTION
3/4" = 1'-0"

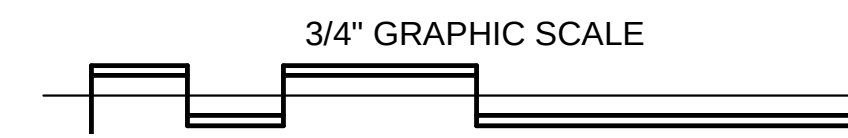
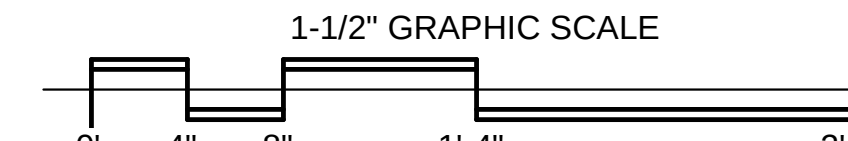
2 WALL SECTION
3/4" = 1'-0"

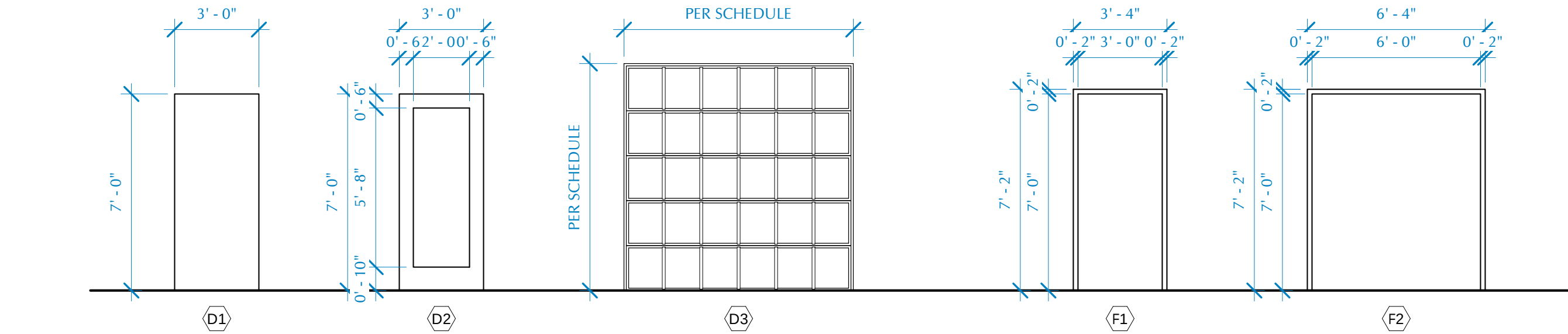


4 WALL INFILL SECTION
3/4" = 1'-0"



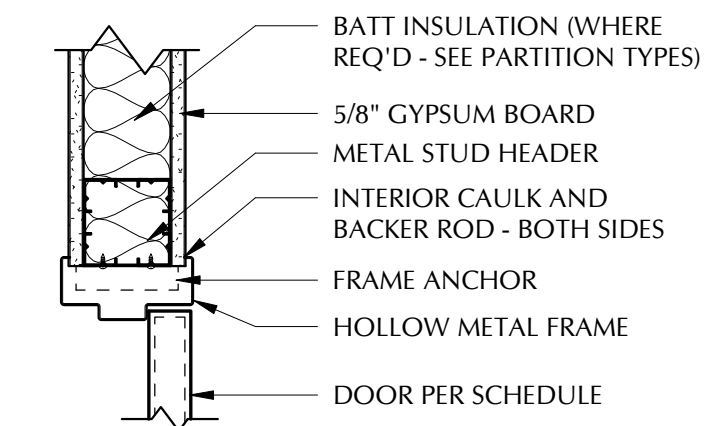
3 WALL SECTION
3/4" = 1'-0"



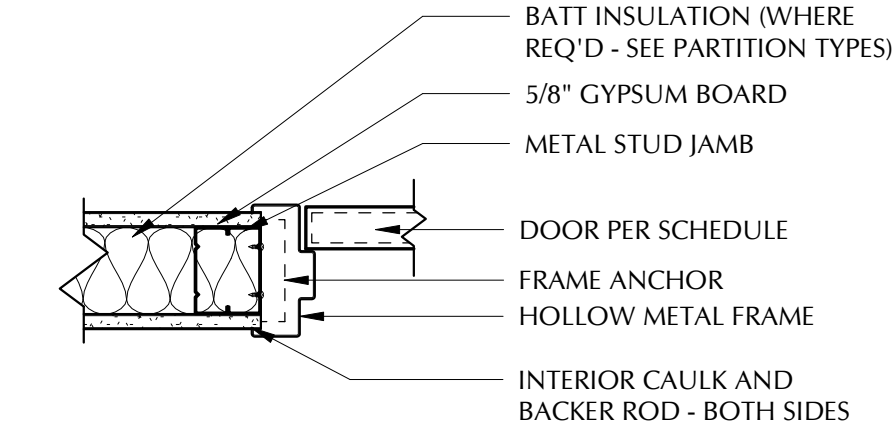


1 DOOR AND FRAME ELEVATIONS
A6.1 1/4" = 1'-0"

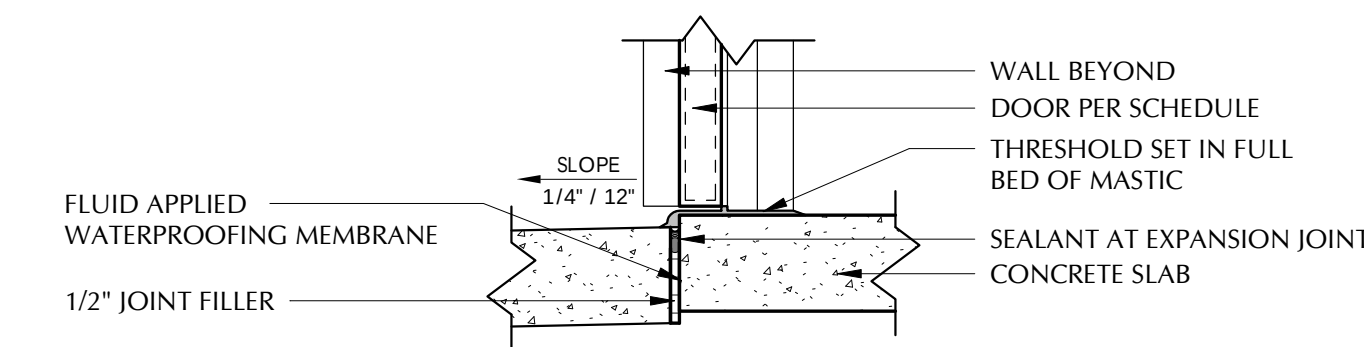
DOOR & FRAME SCHEDULE									
NO.	SIZE		DOOR			FRAME		HARDWARE	NOTES
	W	H	THK	MTL	ELEV	MTL	ELEV		
101A	6'-0"	7'-0"	0'-1 3/4"	FG/FG	D2/D2	HM	F2		ALUMINUM STOREFRONT
101B	6'-0"	7'-0"	0'-1 3/4"	FG/FG	D2/D2	HM	F2		ALUMINUM STOREFRONT
102A	6'-0"	7'-0"	0'-1 3/4"	FG/FG	D2/D2	HM	F2		ALUMINUM STOREFRONT
102B	6'-0"	7'-0"	0'-1 3/4"	FG/FG	D2/D2	HM	F2		ALUMINUM STOREFRONT
103	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
104A	8'-0"	8'-0"	0'-0"		D3				OVERHEAD DOOR
104B	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
106A	5'-8"	8'-0"	0'-0"		D3				OVERHEAD DOOR
106B	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
107A	3'-0"	7'-10"	0'-1 3/4"	HM	D1	HM	1		
107B	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
109	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
110	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
111	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
112	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
113	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
114	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		
117	3'-0"	7'-0"	0'-1 3/4"	WD	D1	HM	F1		



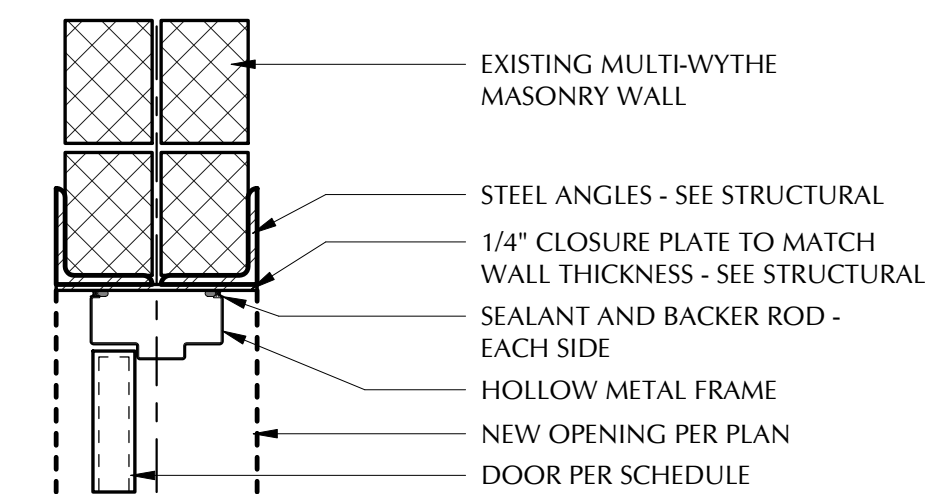
2 HM DOOR HEAD
A6.1 1 1/2" = 1'-0"



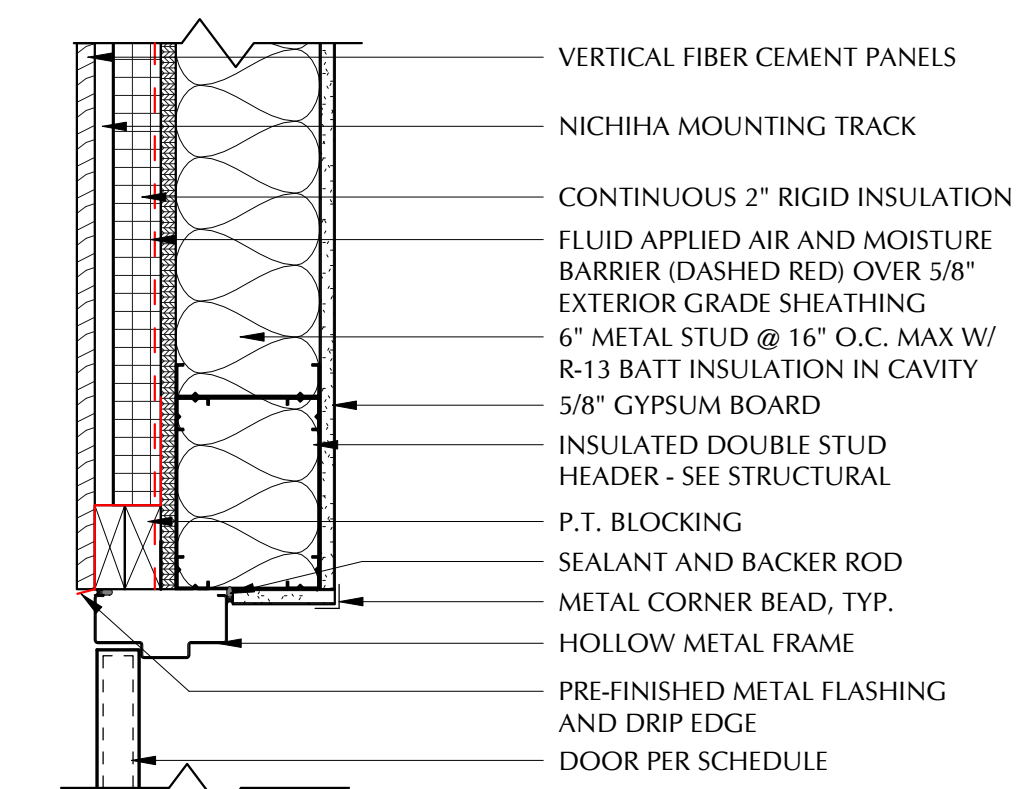
3 HM DOOR JAMB
A6.1 1 1/2" = 1'-0"



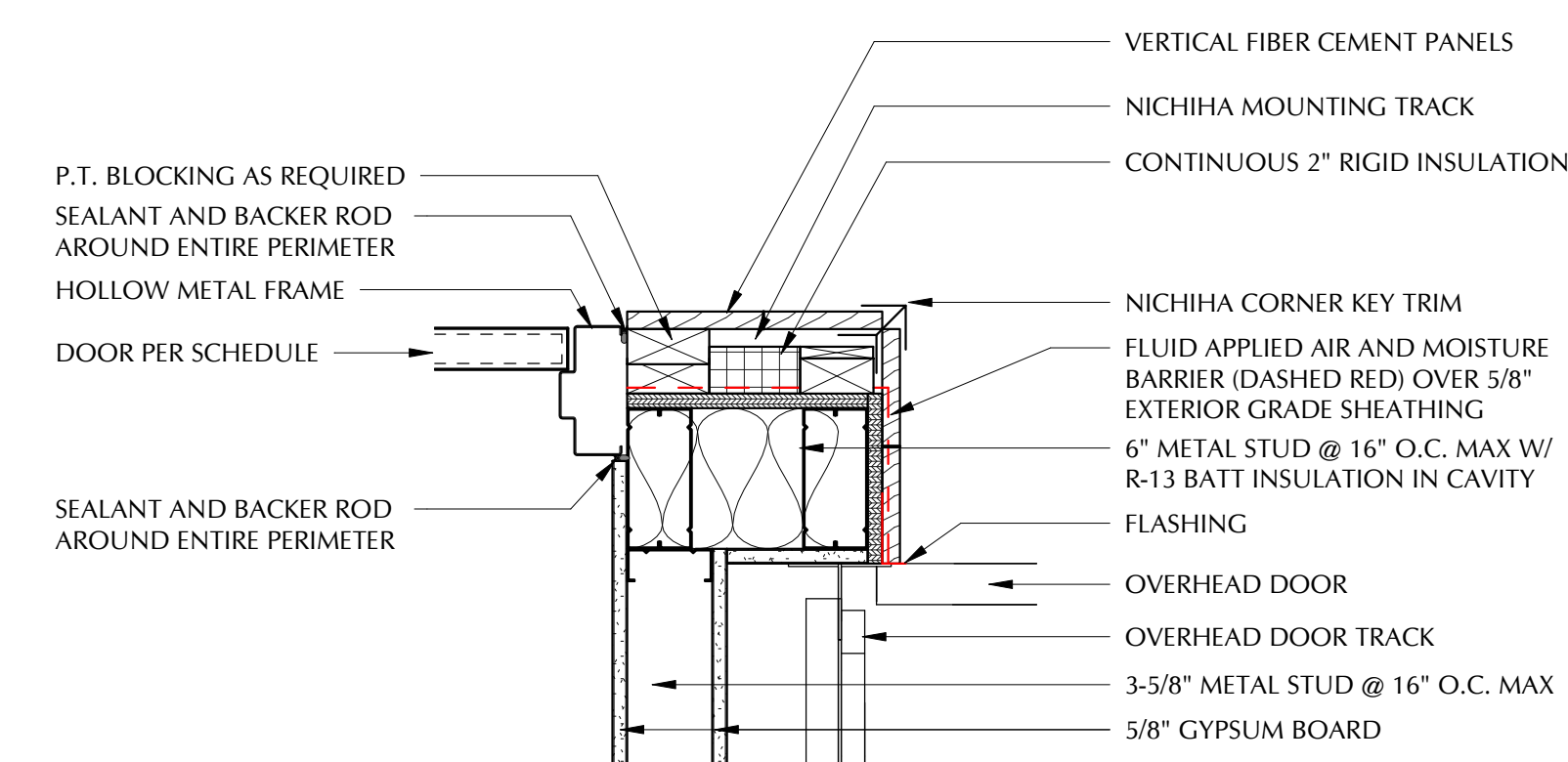
4 THRESHOLD DETAIL
A6.1 1 1/2" = 1'-0"



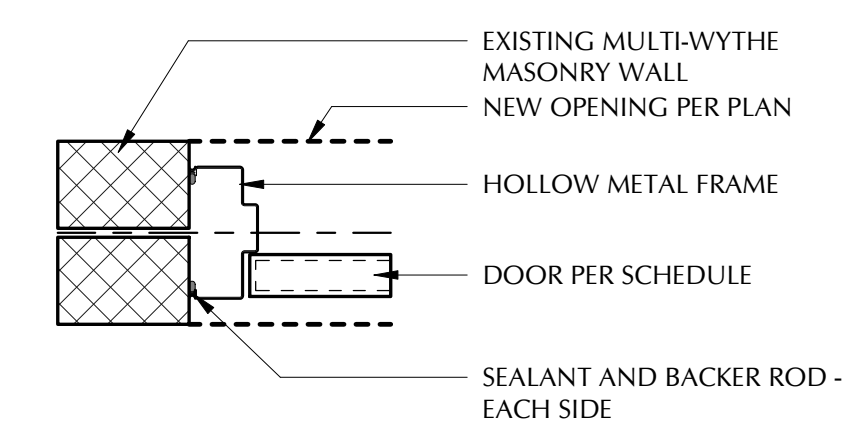
5 HM DOOR HEAD @ NEW OPENINGS
A6.1 1 1/2" = 1'-0"



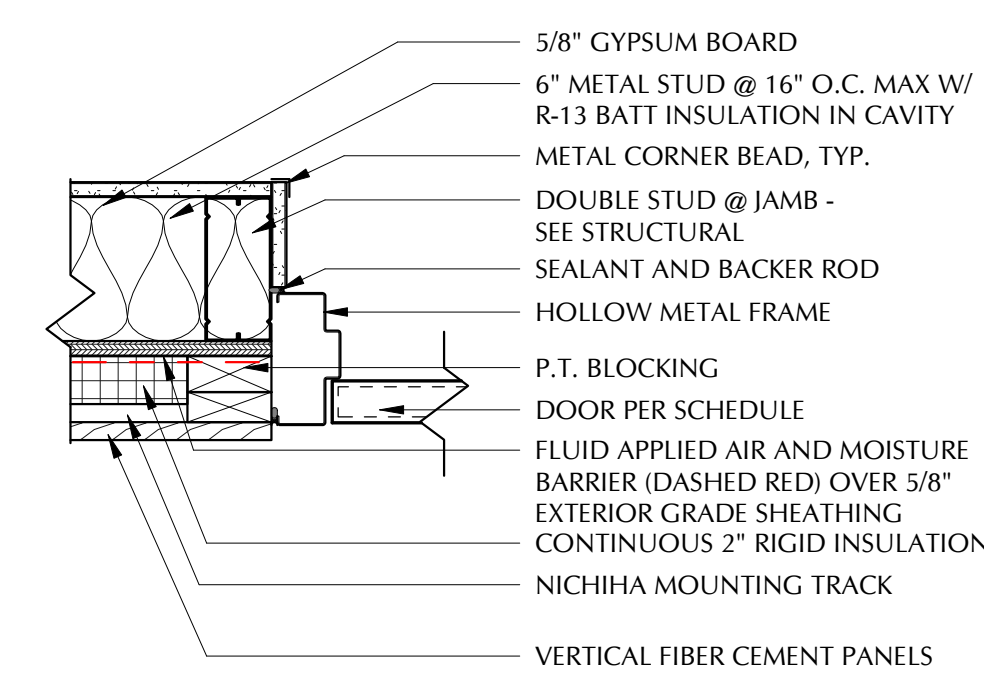
6 HM DOOR HEAD @ WOOD PLANK
A6.1 1 1/2" = 1'-0"



7 ENLARGED PLAN DETAIL
A6.1 1 1/2" = 1'-0"



8 HM DOOR JAMB @ NEW OPENINGS
A6.1 1 1/2" = 1'-0"



9 HM DOOR JAMB @ WOOD PLANK
A6.1 1 1/2" = 1'-0"



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DOOR AND FRAME
SCHEDULE AND
ELEVATIONS

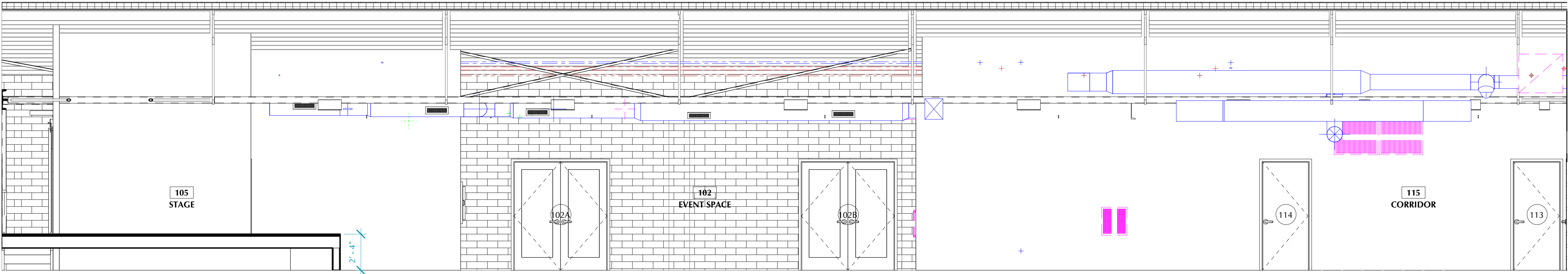
REVISIONS
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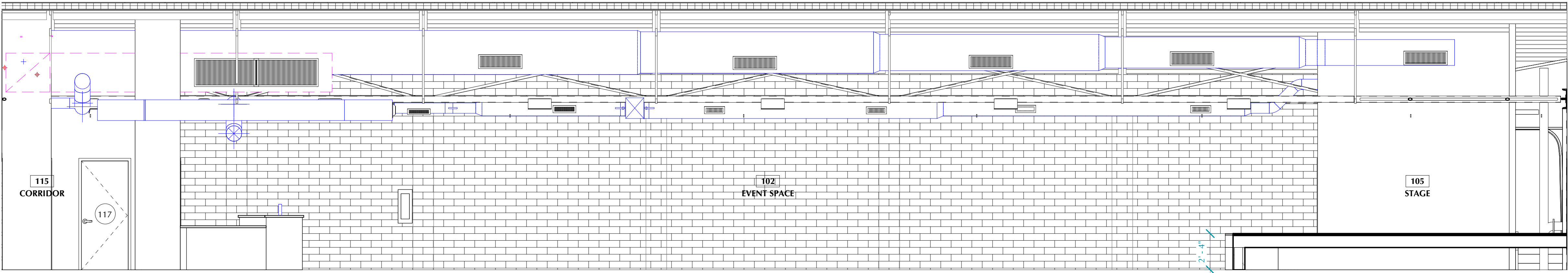
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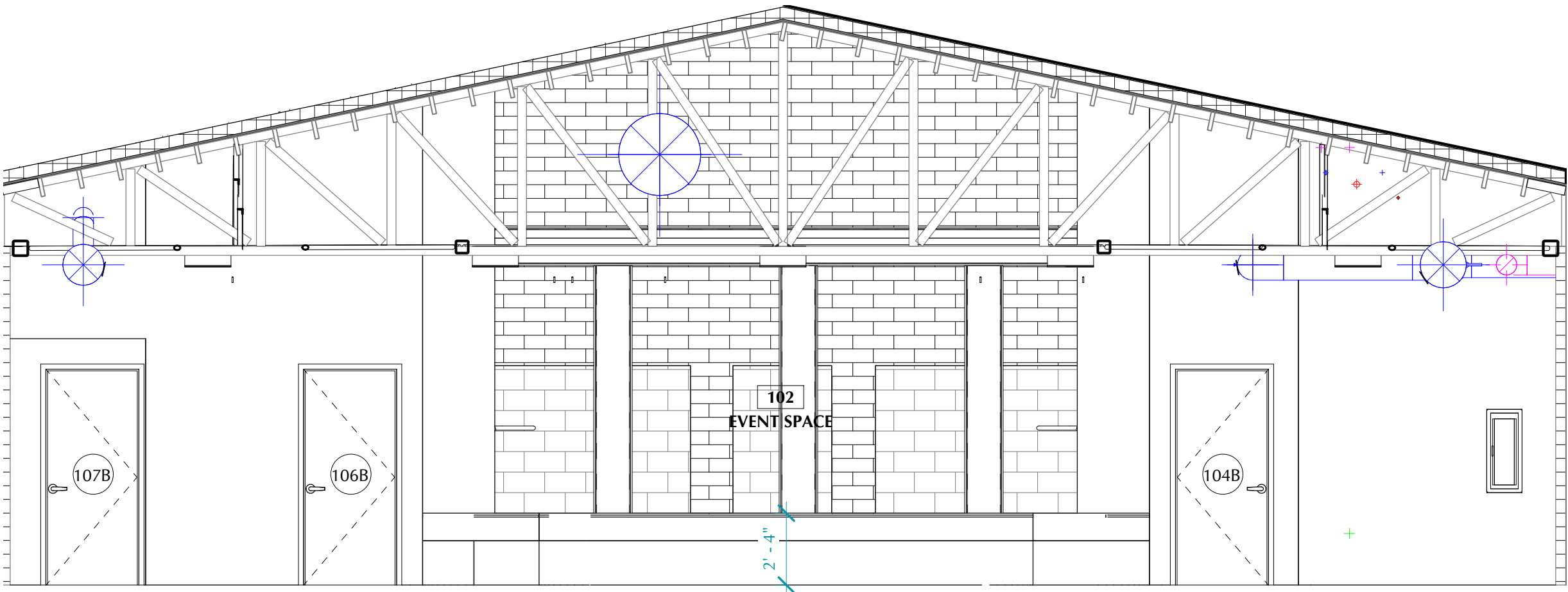
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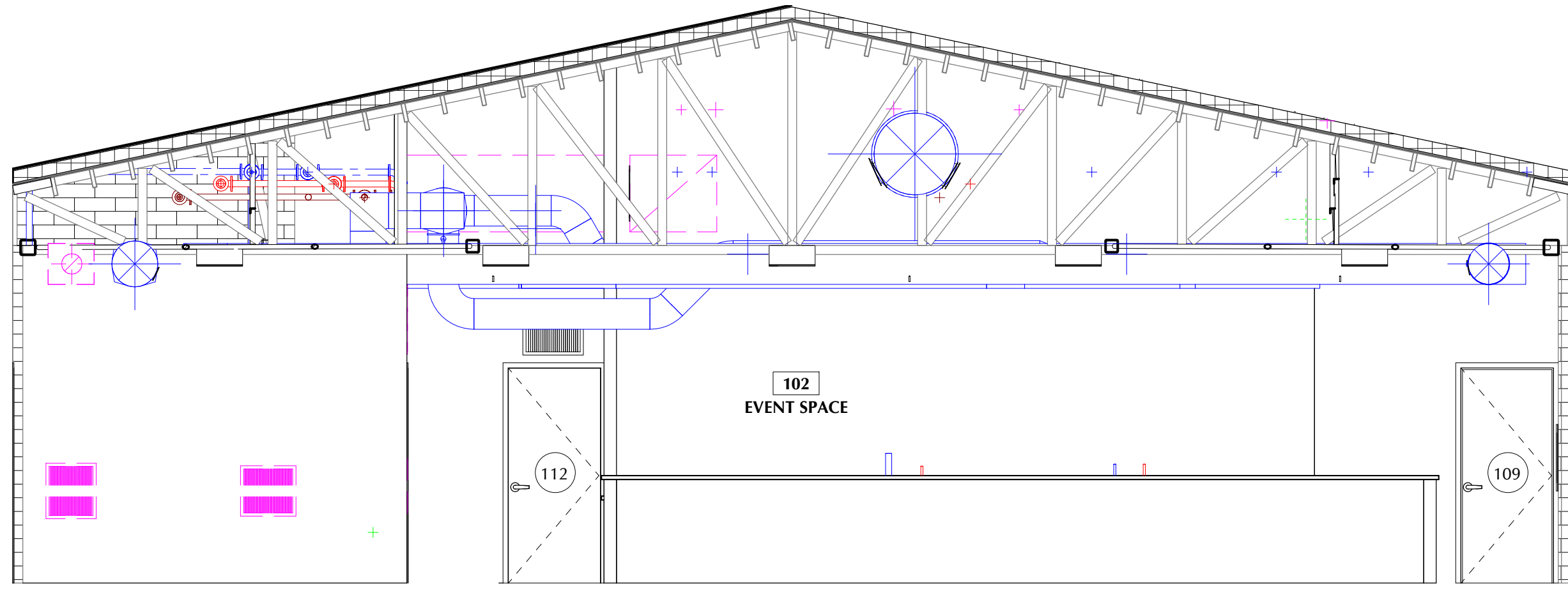
1 EVENT SPACE 102
A7.1 1/4" = 1'-0"



2 EVENT SPACE 102
A7.1 1/4" = 1'-0"



3 EVENT SPACE 102
A7.1 1/4" = 1'-0"



4 EVENT SPACE 102
A7.1 1/4" = 1'-0"



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INTERIOR
ELEVATIONS

REVISIONS

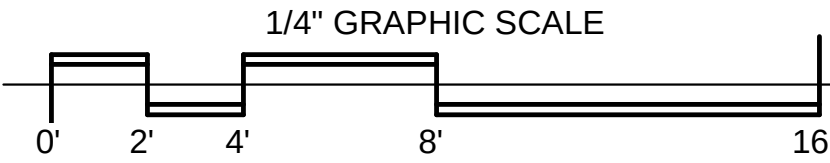
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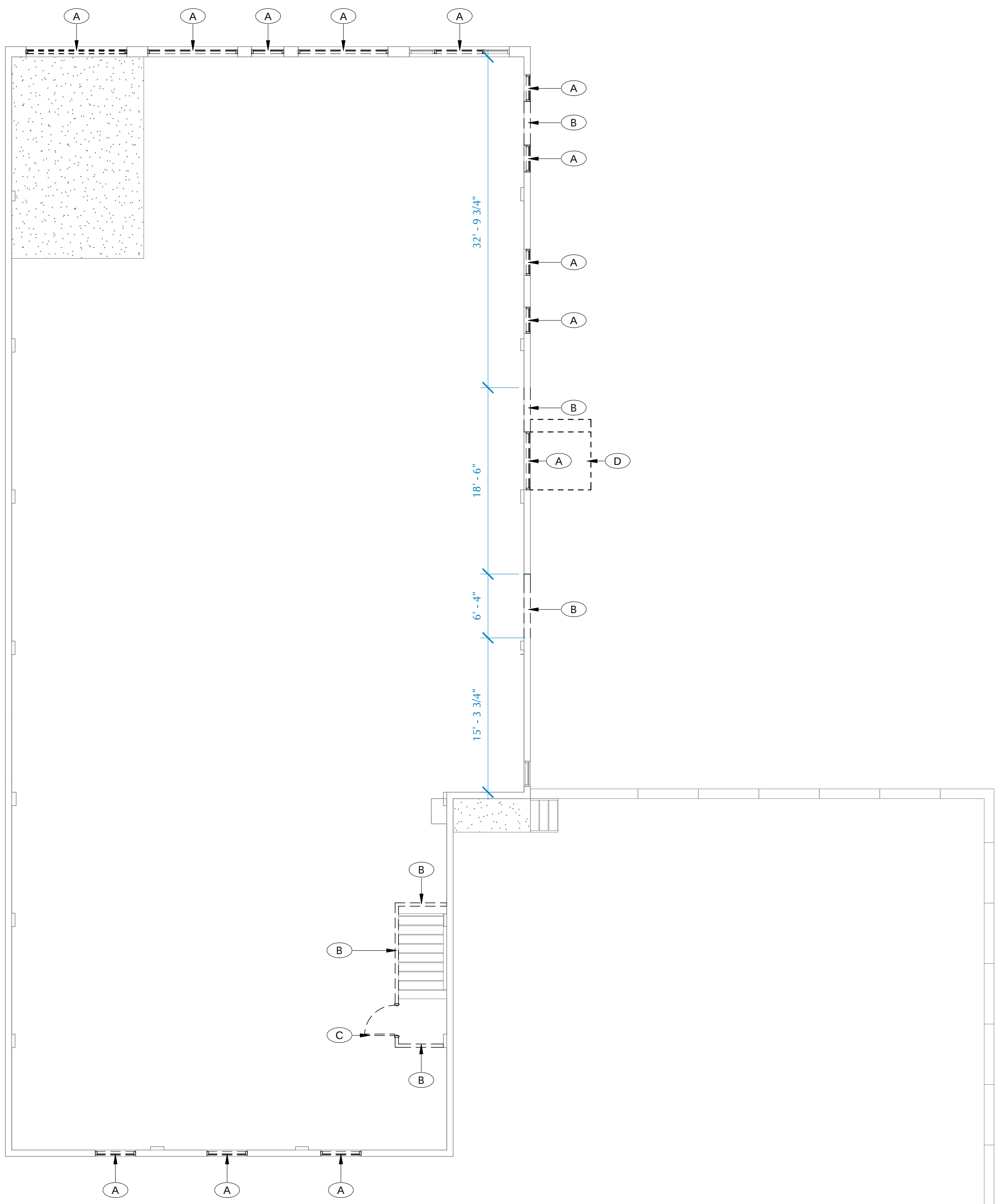
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PROJECT NO: 213081.2

A7.1





2
AD1.1
1/8" = 1'-0"
GROUND LEVEL DEMOLITION PLAN

DEMOLITION NOTES

1. REPRESENTATIONS OF EXISTING SITE AND BUILDING CONDITIONS ARE PROVIDED FOR REFERENCE ONLY. INTERPOLATED FROM DOCUMENTS PROVIDED BY THE OWNER. THE OWNER AND ARCHITECT ASSUME NO RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS OF SUCH DATA. REPRESENTATIONS ARE NOT INTENDED TO SUPPLANT FIRST HAND OBSERVATIONS. INTEGRATION OF NEW WORK WITH EXISTING WORK IS SUBJECT TO MINOR ADJUSTMENT IN THE FIELD. NOTIFY THE ARCHITECT IF EXISTING CONDITIONS VARY SIGNIFICANTLY FROM THOSE INDICATED ON THE DOCUMENTS PRIOR TO EXECUTING AFFECTED WORK.
2. THE DOCUMENTS ARE NOT INTENDED TO INDICATE ALL MATERIALS TO BE REMOVED, RELOCATED OR REPAIRED. THE CONTRACTOR SHALL NOT RECEIVE ADDITIONAL PAYMENT FOR DEMOLITION, PATCHING OR REPAIR WORK THAT CAN BE REASONABLY INFERRED FROM EXAMINATION OF SITE CONDITIONS AND CONTRACT DOCUMENTS. VERIFY WITH OWNER AND ARCHITECT WHICH ITEMS TO BE REMOVED SHALL BE REUSED IN THE PROJECT OR TURNED OVER TO THE OWNER. ITEMS NOT SO DESIGNATED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND BE DISPOSED OF OFF SITE PER AHJ REGULATIONS.
3. DASHED LINES INDICATE ITEMS TO BE REMOVED OR DEMOLISHED.
4. DIMENSIONS INDICATED AS A +/- ARE SUBJECT TO MINOR ADJUSTMENT IN THE FIELD. OTHER DIMENSIONS ARE FIXED UNLESS DIRECTED OTHERWISE. NOTIFY THE ARCHITECT IF ACTUAL DIMENSIONS VARY MORE THAN 2" FROM DIMENSION INDICATED ON THE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF FIELD DIMENSIONS, PARTICULARLY WHERE NEW WORK IS TO BE FITTED WITHIN EXISTING CONSTRUCTION.
5. ANY EXISTING STRUCTURE, WALLS, CEILING, ETC. TO REMAIN WHERE STRUCTURAL STABILITY MAY BE LESSENED BY REMOVAL AS NOTED ON DRAWINGS SHALL BE BRACED AND LEFT IN STABLE CONDITION UNTIL NEW CONSTRUCTION COMMENCES.
6. ALL EXISTING PLUMBING AND GAS LINES SHALL BE CAPPED AFTER REMOVAL OF EXISTING FIXTURES. ALL UTILITIES TO BE CAPPED IN AREAS AFFECTED AS REQUIRED AND REROUTED PER FINAL LAYOUT. PROVIDE RATED CONSTRUCTION OR OPENING PROTECTIVES MATCHING EXISTING CONSTRUCTION WHERE REQUIRED.
7. CEILINGS INDICATED TO BE REMOVED SHALL INCLUDE ALL CEILING FINISHES, SUSPENSION SYSTEMS AND FRAMING SOLELY CONSTRUCTED FOR THE CEILING SYSTEM UNLESS NOTED OTHERWISE.
8. PATCH AND REPAIR ALL NEW OPENINGS IN EXISTING CONSTRUCTION AND SURFACES EXPOSED DUE TO DEMOLITION TO MATCH ADJACENT OR NEW FINISH.
9. REMOVE ANY WALL HANGINGS, PLAQUES AND FURNISHINGS AFFECTED BY DEMOLITION AND RENOVATION AND TURN OVER TO OWNER.
10. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT THE GENERAL PUBLIC FROM INJURY BY DEMOLITION WORK AND TO PROVIDE FREE AND SAFE PASSAGE TO AND FROM OCCUPIED PORTIONS OF THE BUILDING.
11. CONTRACTOR TO PREVENT DAMAGE TO EXISTING SIDEWALK AND PARKING AREA DURING CONSTRUCTION OR INSTALLATION OF SERVICES.
12. DO NOT INTERRUPT EXISTING UTILITIES IN USE BY OCCUPIED FACILITIES UNLESS AUTHORIZED IN WRITING BY THE AHJ.
13. LOCATE, IDENTIFY, SHUT OFF, CAP AND DISCONNECT UTILITIES AT PROPERTY LINE OR VALVE. PROVIDE BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN SERVICES TO ADJACENT PROPERTIES AND FACILITIES. PROVIDE A MINIMUM 72 HOUR ADVANCE NOTICE TO PROPERTY OWNERS IF SHUT DOWN OF UTILITY SERVICE IS REQUIRED DURING CHANGE OVER.
14. CONTRACTOR TO COORDINATE WORK SCHEDULE WITH OWNERS REPRESENTATIVE TO ACCOMMODATE LEVEL OF NOISE PRODUCED BY SCHEDULED WORK WITH BUILDING OCCUPANTS DURING DEMOLITION.
15. REMOVE ALL EXISTING FINISHES AT DEMOLISHED AREAS UNLESS NOTED OTHERWISE. REMOVE EXISTING FINISHES AS REQUIRED AT OTHER AREAS SCHEDULED TO RECEIVE NEW FINISHES.
16. PROTECT ALL FINISHES OR FIXTURES WHICH ARE EXISTING TO REMAIN. REPAIR OR REPLACE AS REQUIRED.
17. SALVAGEABLE ITEMS SHALL BE STORED, RE-USED, OR DISPOSED OF AT THE OWNER'S DIRECTION.

DEMOLITION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

DEMOLITION KEYNOTES

- (A) EXISTING STOREFRONT TO BE REMOVED.
- (B) EXISTING WALL TO BE REMOVED
- (C) EXISTING DOOR TO BE REMOVED
- (D) EXISTING CONCRETE PAD AND STAIR TO BE REMOVED



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DEMOLITION PLANS

REVISIONS

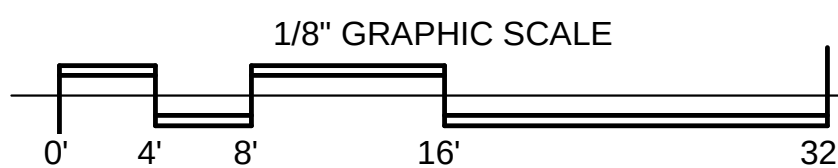
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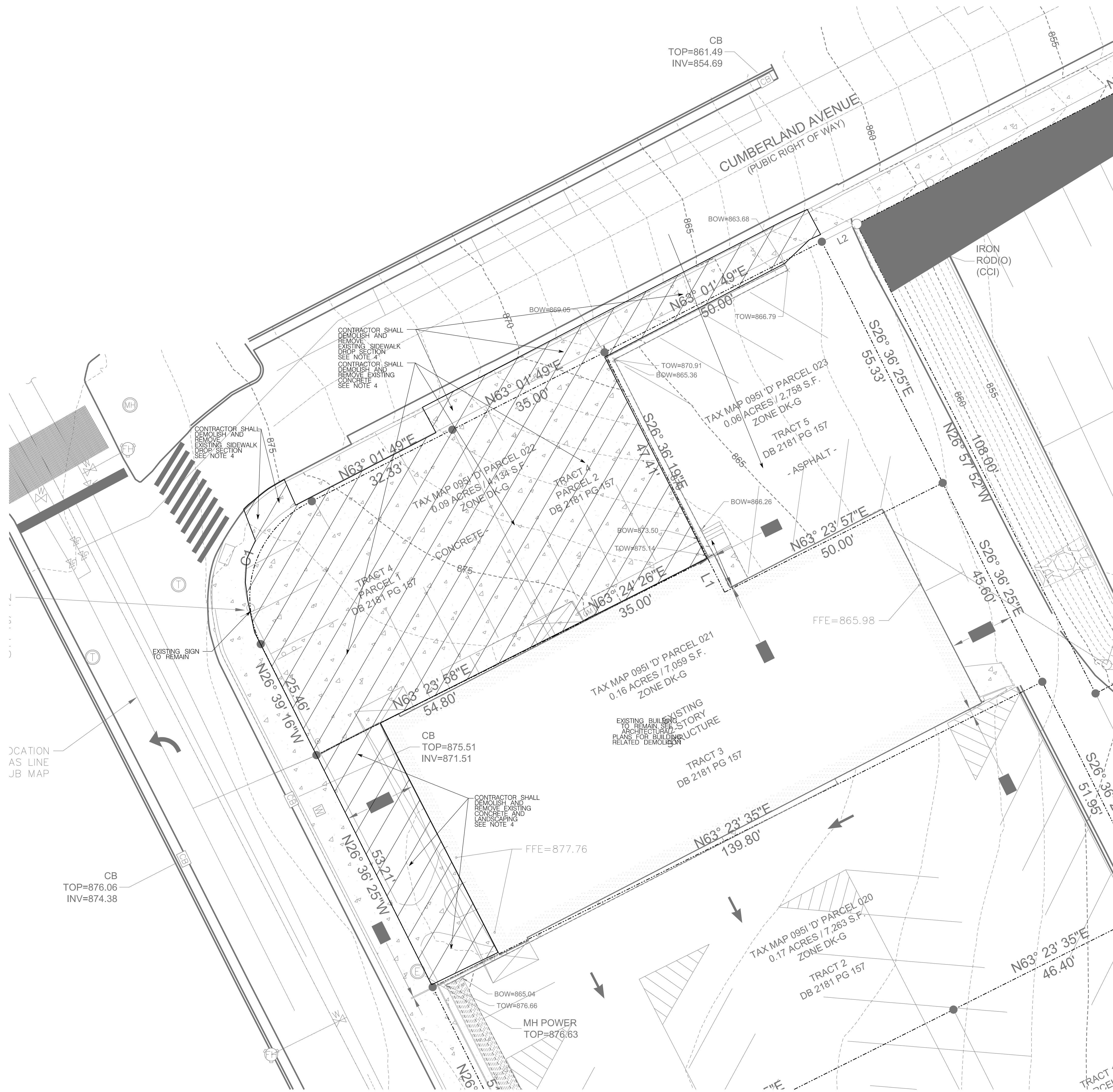
4-A-22-SU
3/2/2022

DATE: 12/6/2021

PROJECT NO: 213081.2

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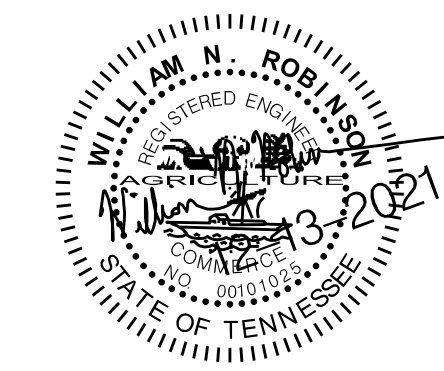




LEGEND:		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT

SITE DEMOLITION NOTES

1. SITE BOUNDARY AND TOPOGRAPHIC SURVEY IS FROM A SURVEY BY MICHAEL BRADY INC DATED 01/20/20. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ENGINEER DOES NOT ACCEPT ANY RESPONSIBILITY FOR EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
2. CONTRACTOR SHALL CALL TN ONE CALL TO LOCATE SITE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL UTILIZE ONE CALL INFORMATION, SITE RECORDS, AND ANY OTHER MEANS AT HIS DISPOSAL TO DETERMINE THE LOCATION OF EXISTING UTILITIES.
3. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EROSION AND SEDIMENTATION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE FUNCTIONAL.
4. CONTRACTOR SHALL REMOVE EXISTING ASPHALT PAVEMENT, CURBS, SIDEWALKS AND/OR OTHER RELATED MATERIALS TO THE LIMITS INDICATED ON THIS PLAN AND DISPOSE OF THE WASTE MATERIALS AS DIRECTED BY THE OWNER. AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. COORDINATE DEMOLITION WITH THE OWNER, PROVIDE TEMPORARY ACCESS ROUTES AS REQUIRED. PERFORM DEMOLITION IN ACCORDANCE WITH THE PROJECT PHASING PLANS.
5. THE CONTRACTOR SHALL REMOVE EXISTING TREES WITHIN THE AREA OF WORK DEPICTED ON THE FOLLOWING DRAWINGS AND AS REQUIRED IN THE FIELD. CONTRACTOR SHALL REMOVE ENTIRE TREE INCLUDING ROOTBALL UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL DISPOSE OF WASTE OFFSITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS. MULCHED BRANCHES MAY BE USED FOR EROSION CONTROL, BUT MUST BE REMOVED WHEN THE SITE HAS BEEN STABILIZED.
6. PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING CONCRETE AND/OR PAVEMENT ALONG ALL LIMITS OF CONCRETE AND/OR PAVEMENT DEMOLITION.
7. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE. DISPOSE OF DEMOLITION WASTE OFF THE OWNERS PROPERTY IN A LEGAL MANNER.
8. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK. WATER USE SHALL NOT BE EXCESSIVE TO THE POINT OF SUSPENDING SOLIDS/SEDIMENT IN RUNOFF WATER.
9. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, FENCES, TREES, UTILITIES, AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL PREPARE THE PROJECT SITE FOR THE PROPOSED CONSTRUCTION DEPICTED ON THE FOLLOWING DRAWINGS FOR THIS PROJECT. NO ADDITIONAL PAYMENT SHALL BE MADE FOR WORK REQUIRED AND NOT SPECIFICALLY NOTED ON THIS DRAWING. DEMOLITION WORK MAY BE INDICATED ON DRAWINGS BY OTHER DISCIPLINES.



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SITE
DEMOLITION
PLAN

REVISIONS

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3/2/2022

DATE: 12.13.21

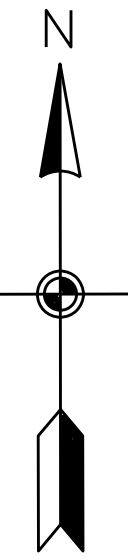
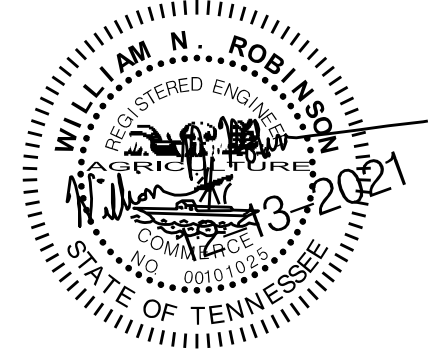
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C1.1



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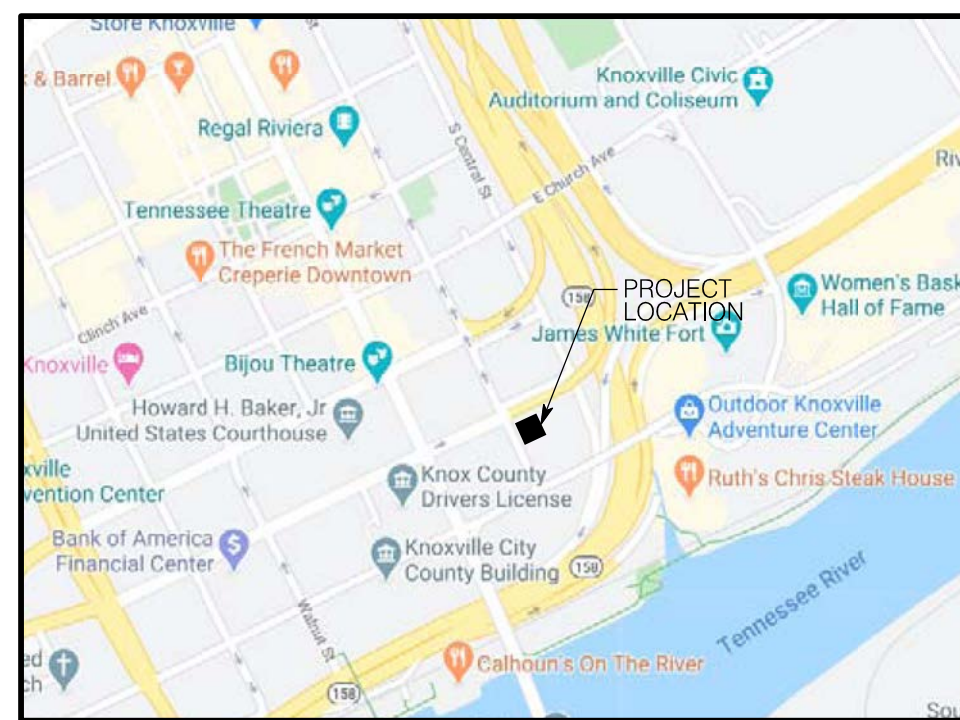


SCALE
0 10 20 FEET
SCALE: 1"=10'

LEGEND:		
EXISTING	PROPOSED	
---	---	GROUND CONTOUR ELEVATION
535	535	SPOT ELEVATION
535.25	535.25	STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
	SD	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
FW	FW	POTABLE WATER
NG	NG	NATURAL GAS
UE	UE	UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
NA	S-X	SILT FENCING
NA		CURB
NA		CONCRETE PAVEMENT
NA		ASPHALT PAVEMENT
NA		CONSTRUCTION ENTRANCE
NA		EROSION CONTROL MAT

SITE LAYOUT NOTES

- USE: PARKING, ZONING: DK-G, PARCEL 095ID021, 22, 23
- TOTAL BUILDING AREA:
- TOTAL SITE: 0.31 AC, TOTAL DIST AREA: 0.06 AC, TOTAL NEW IMPRV: 0.00 AC.
- DEED REFERENCE: 2181-157, CITY BLOCK: 01022, WARD: 06
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 0283G.
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM NAVD 88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY MBI SURVEYING DATED 01/20/20. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION, THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- PARKING SUMMARY:
TOTAL REQUIRED: 0
TOTAL PROVIDED: 0
- SETBACKS:
NOT APPLICABLE
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
- DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMP ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.



PROJECT LOCATION MAP = NOT TO SCALE

Building Renovation for:

THE OUTPOST

808 State Street
Knoxville, Tennessee 37902

SITE LAYOUT PLAN

REVISIONS

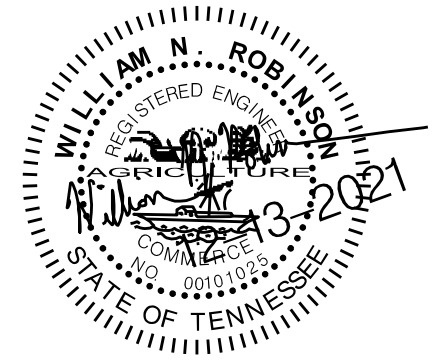
Revision #	Description	Date
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4-A-22-SU
3/2/2022

DATE: 12.13.21

PROJECT NO: 213081.2

C1.2



Building Renovation for:
THE OUTPOST
808 State Street
Knoxville, Tennessee 37902

SITE GRADING
PLAN

REVISIONS

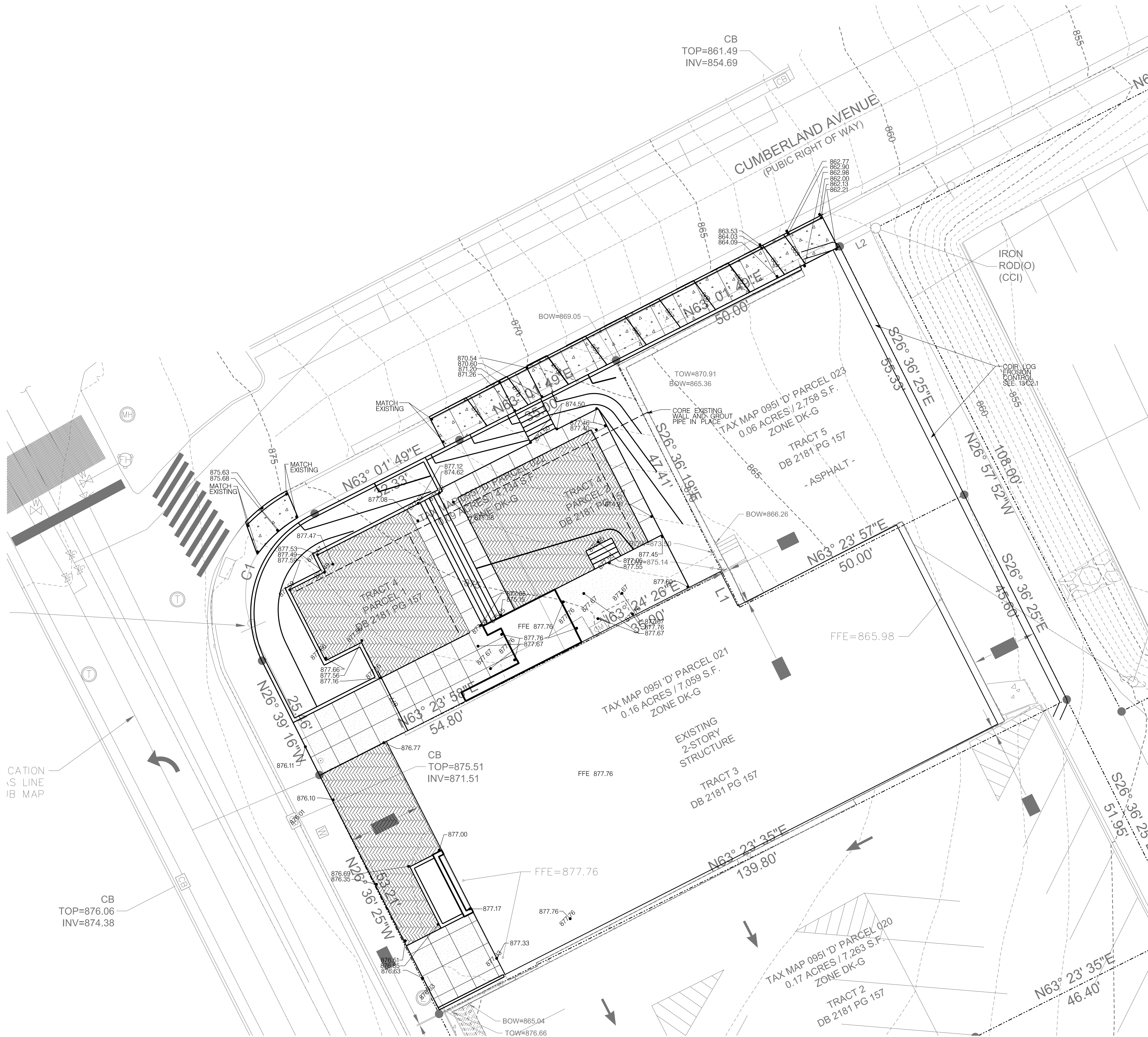
Revision #	Description	Date
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4-A-22-SU
3/2/2022

DATE: 12.13.21

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C1.3



LEGEND

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25	535.25	SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
		EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
FW	FW	POTABLE WATER
NG	NG	NATURAL GAS
UE	UE	UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
	NA	FIRE HYDRANT
		SURFACE FLOW
NA	S-X	SILT FENCING
NA		CURB
NA		CONCRETE PAVEMENT
NA		ASPHALT PAVEMENT
NA		CONSTRUCTION ENTRANCE
NA		EROSION CONTROL MAT

SITE GRADING NOTES

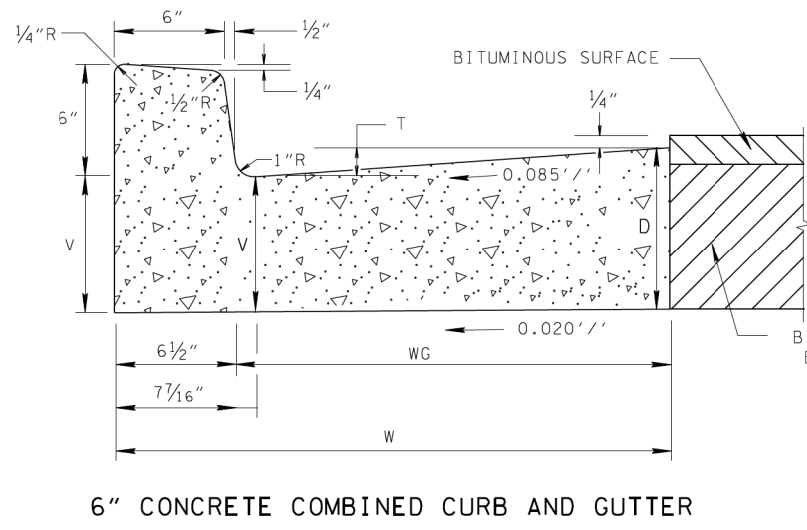
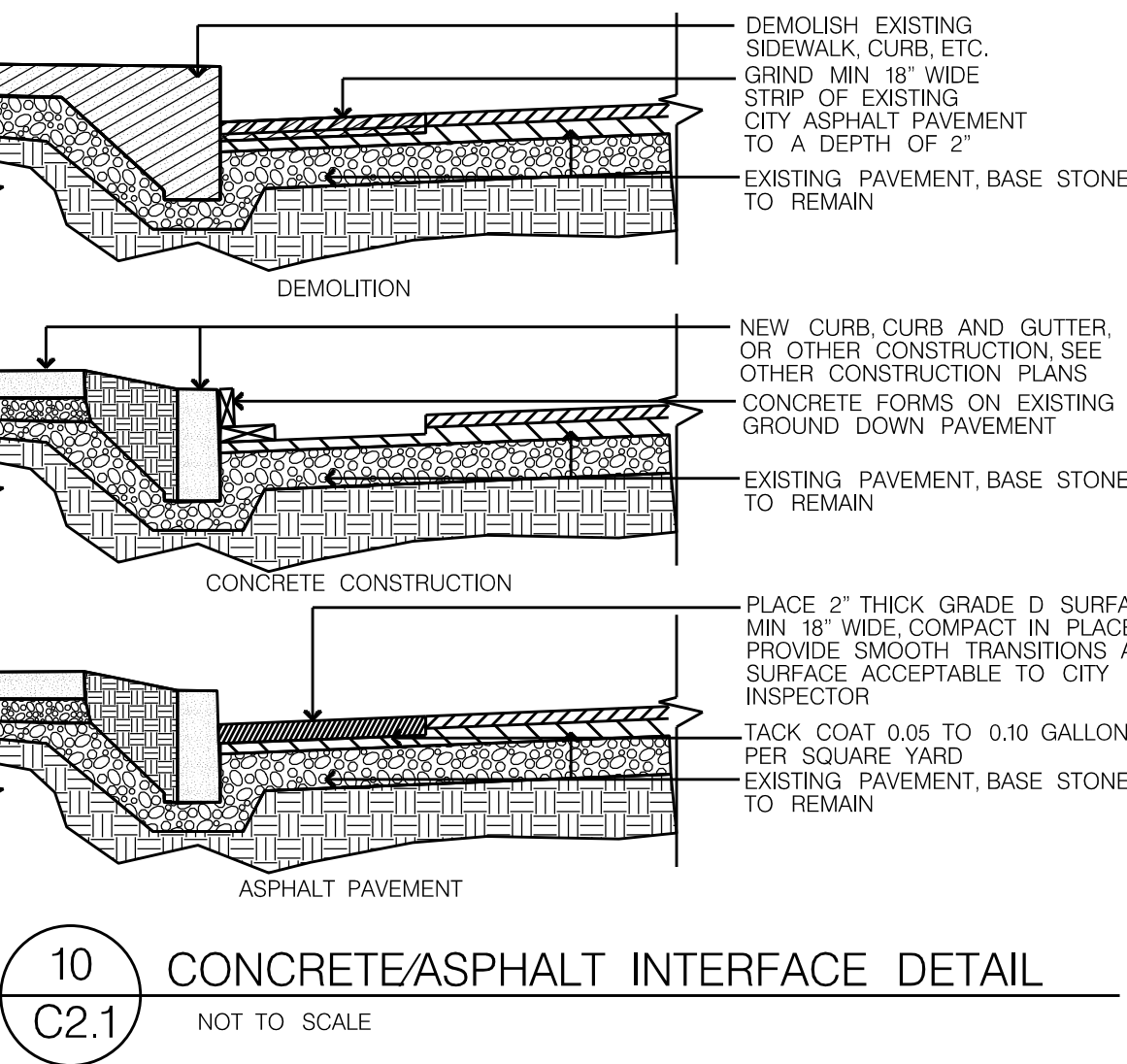
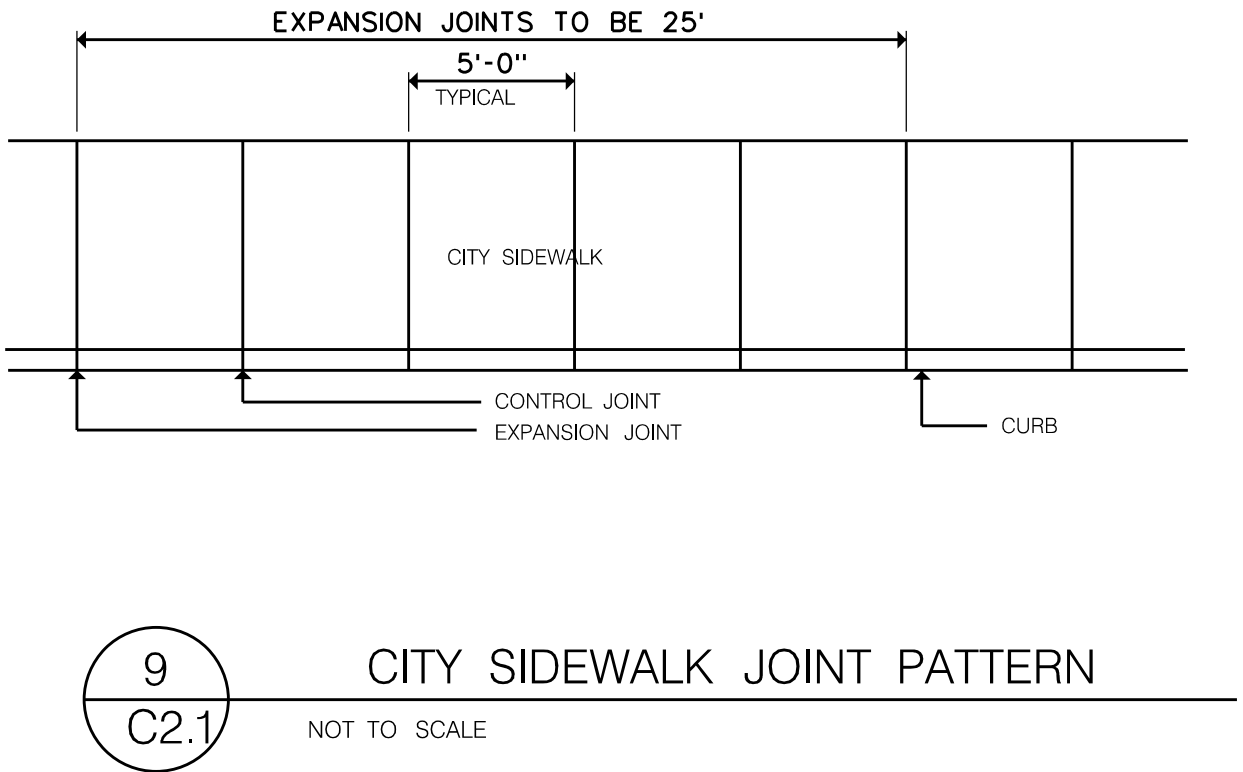
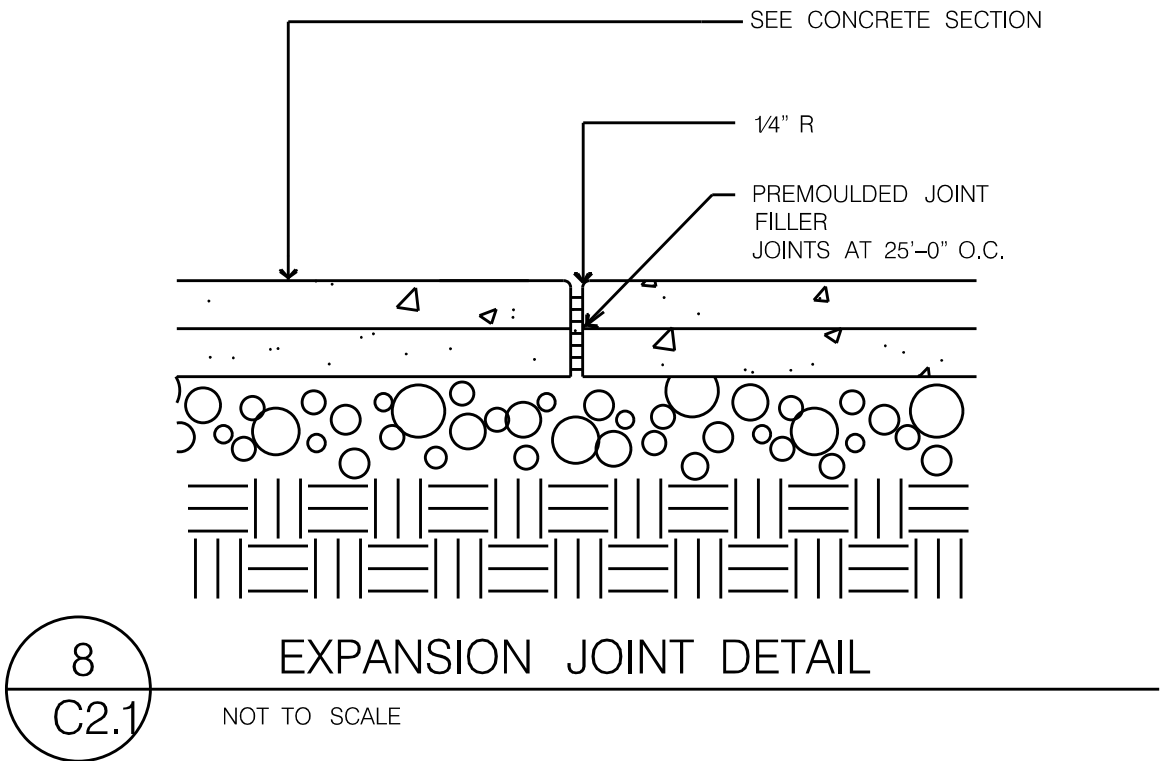
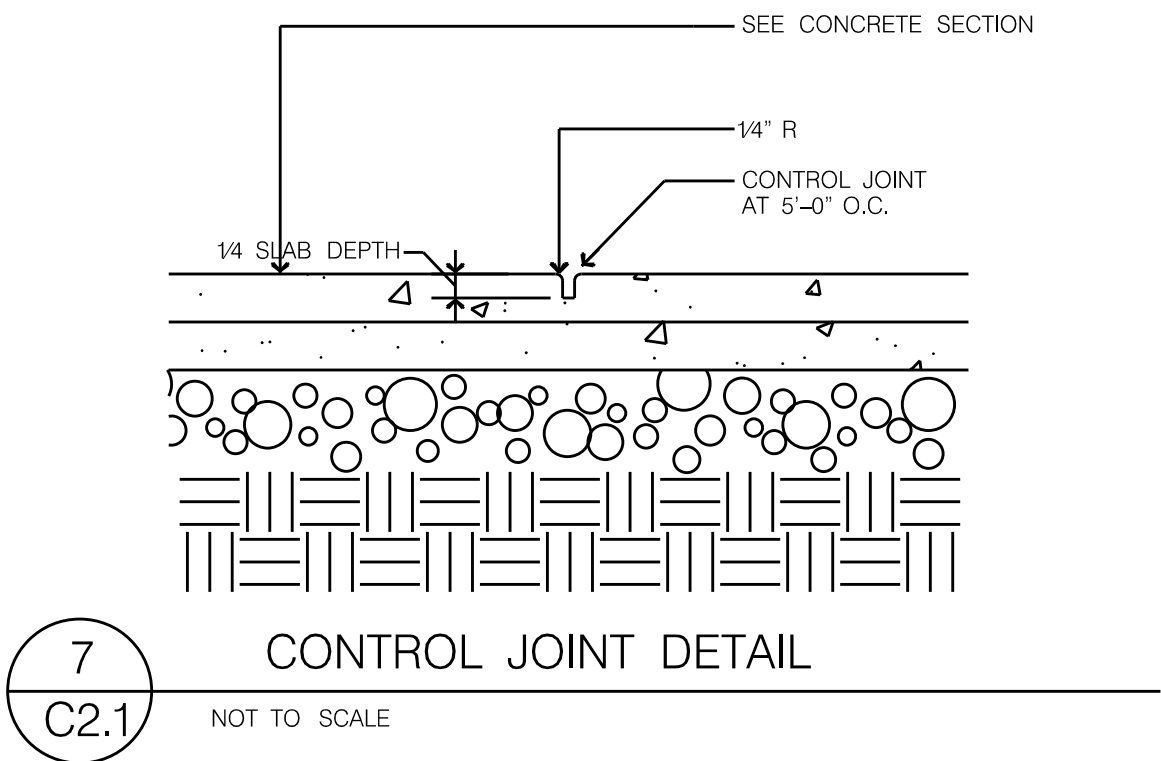
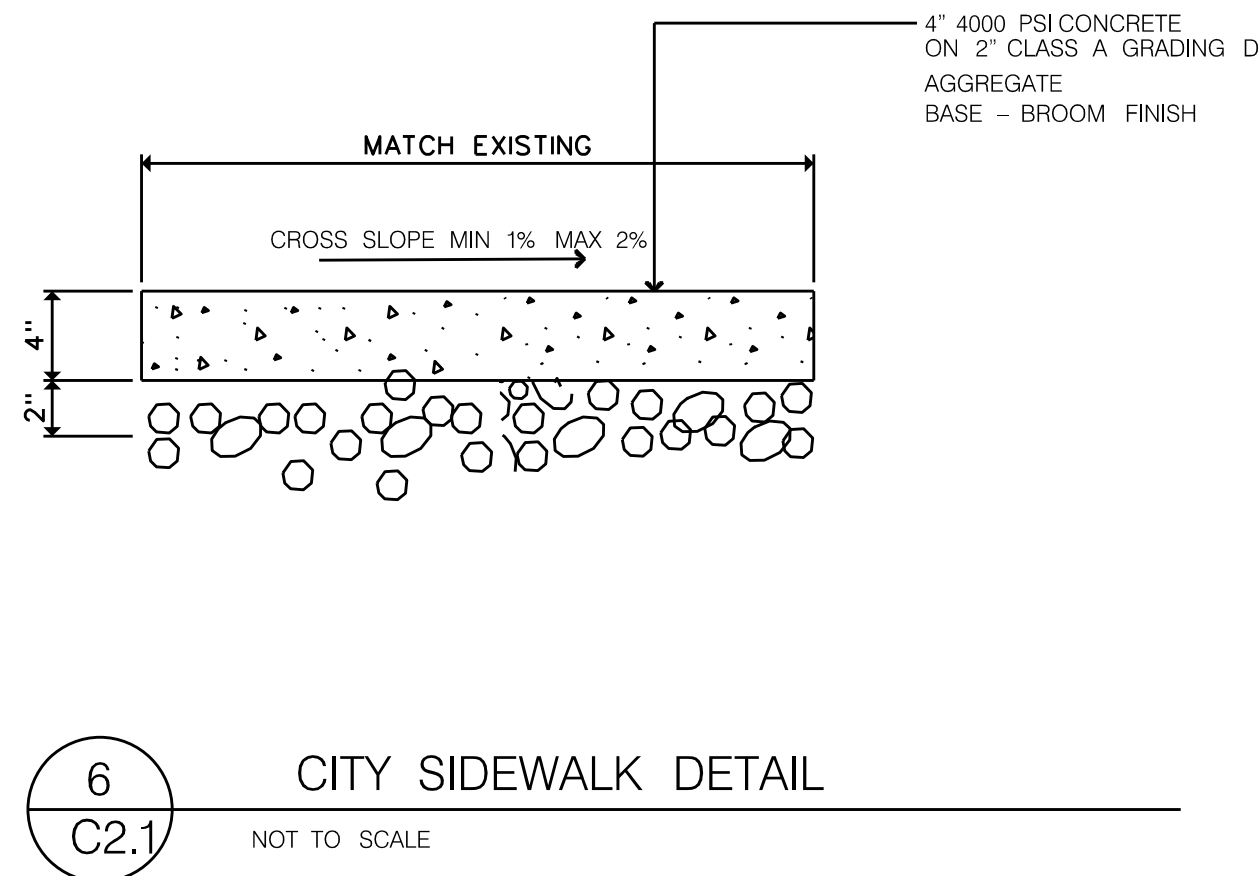
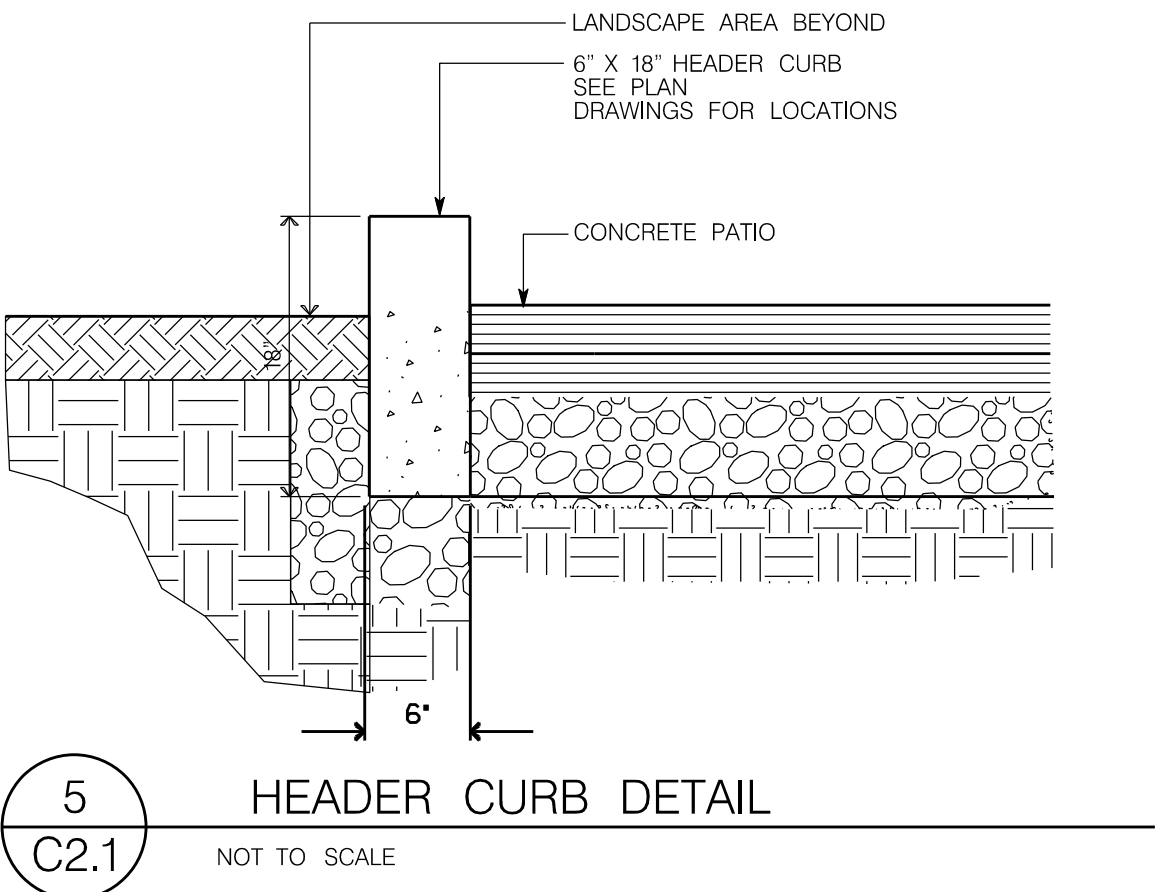
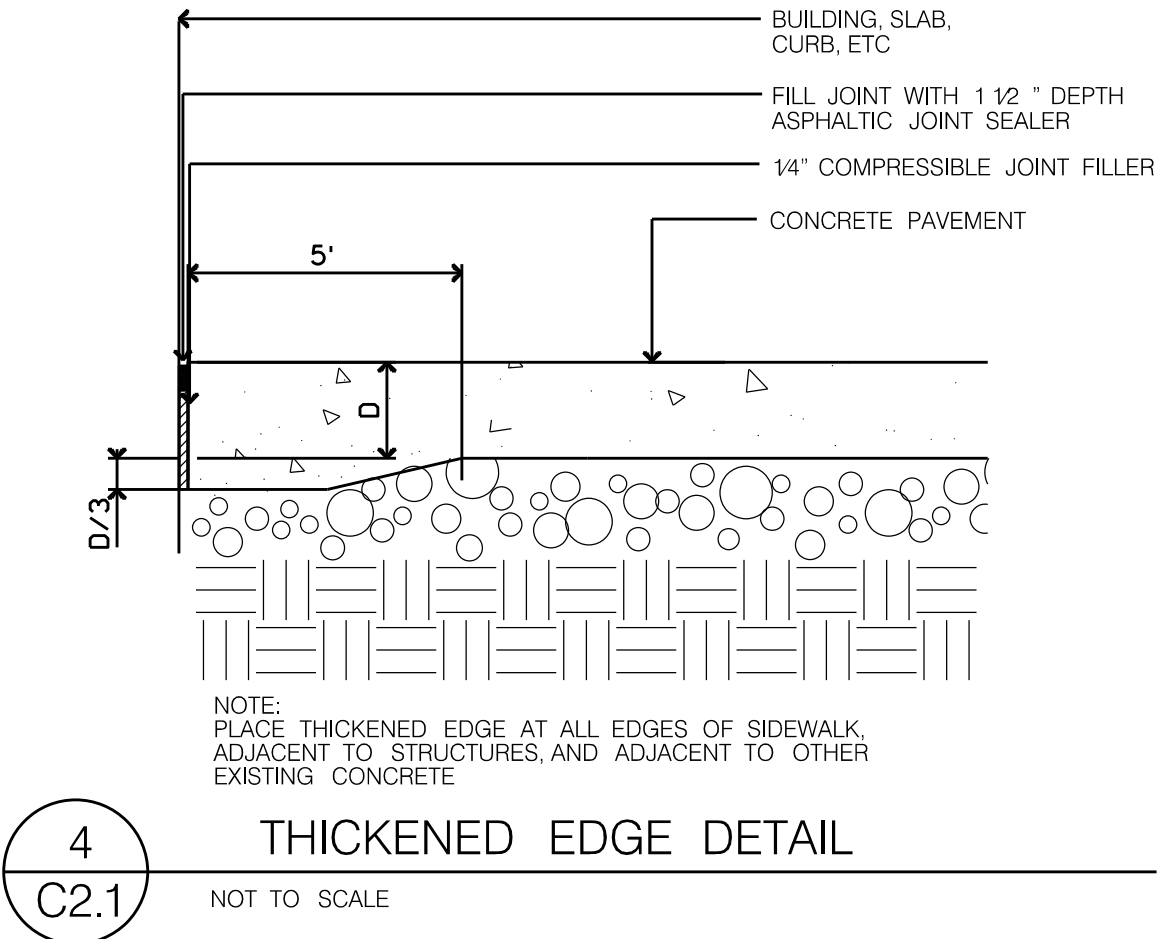
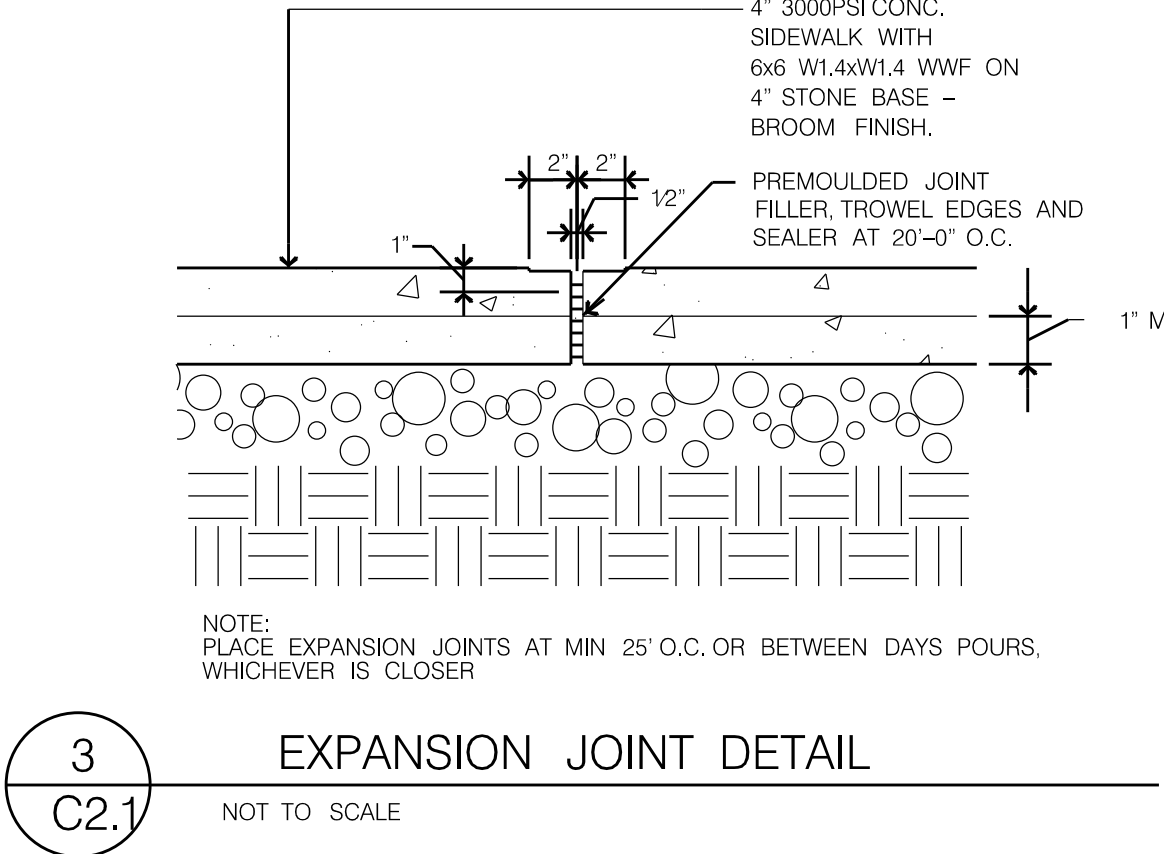
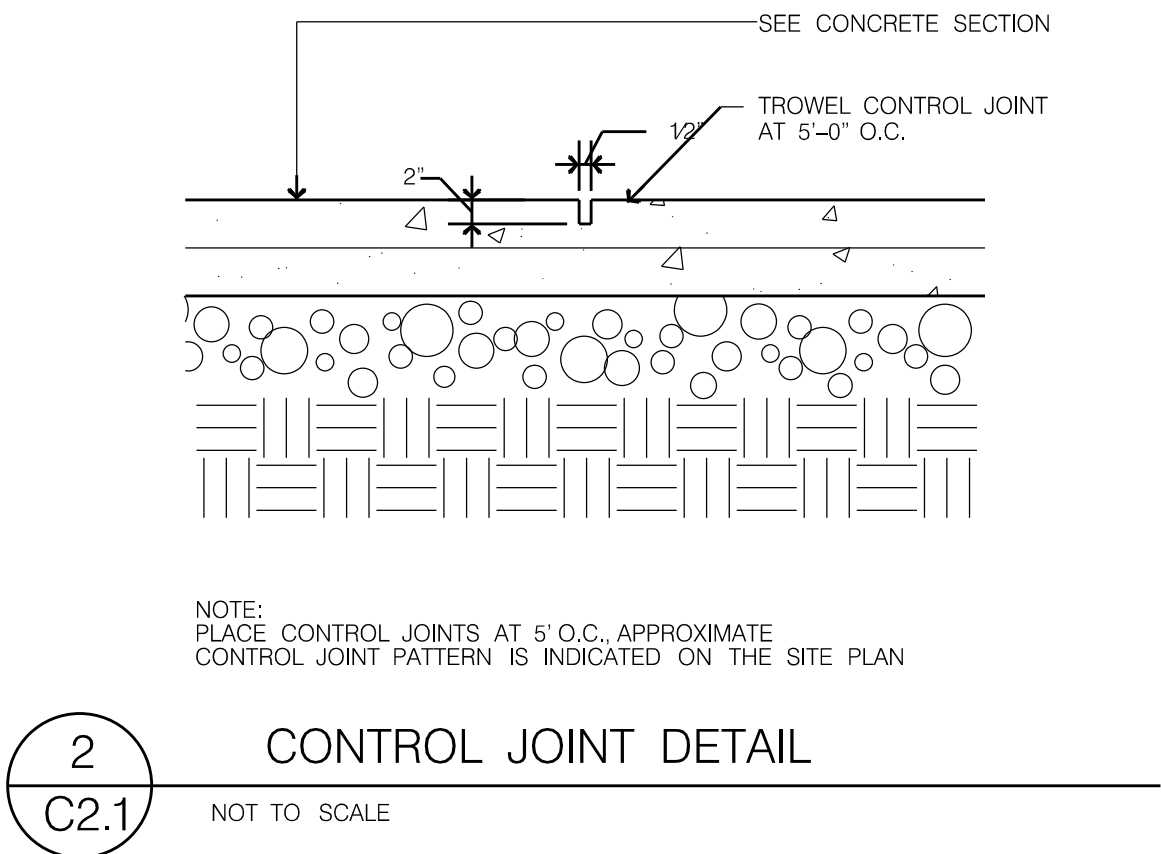
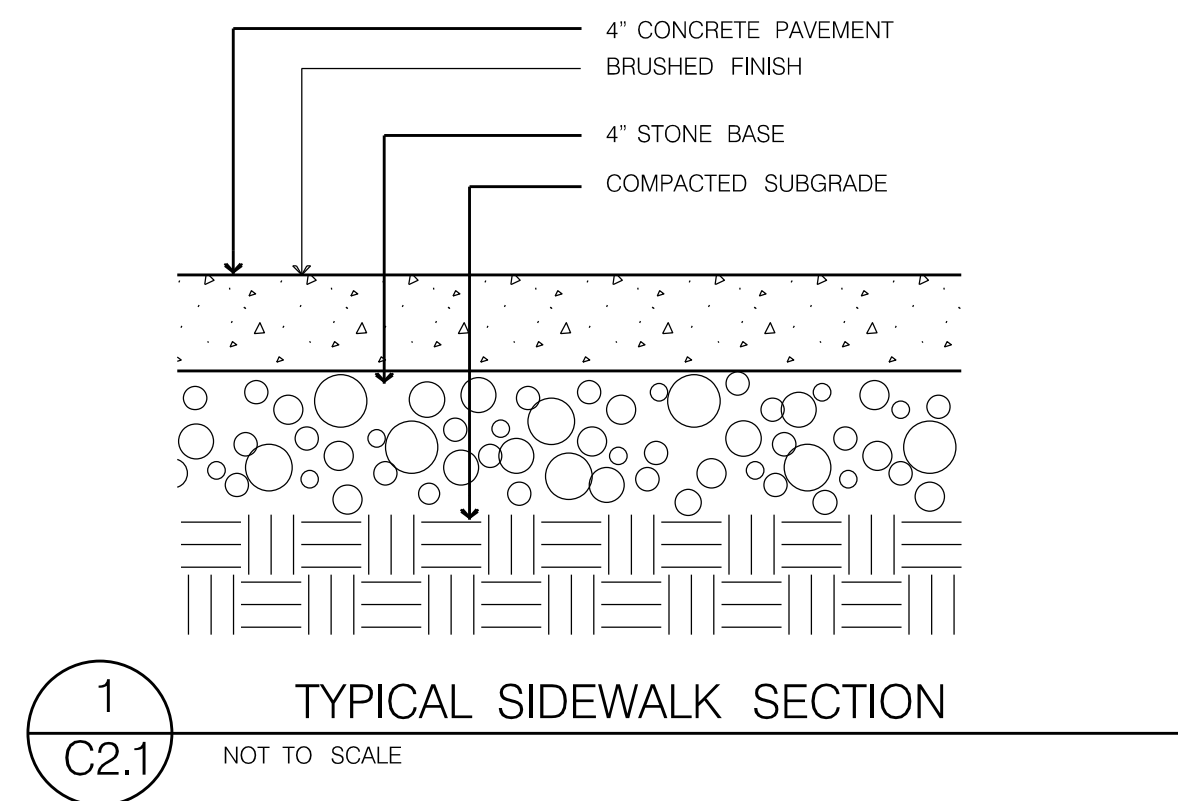
- SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS MONUMENT.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY MICHAEL BRADY INC. DATED 02/2021. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
- THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
- THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
- ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
- NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS (7 DAYS FOR 3:1 OR STEEPER SLOPES) AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE LOCK IN OF EROSION MAT.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
- PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
- NO VEHICLE MAINTENANCE OR CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
- CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND WASHINGTON PIKE, FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
- CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE.
- LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.
- STABILIZATION WILL BE COMPLETED WITHIN 15 DAYS (7 DAYS FOR >35% SLOPES) ON PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED.

PERMANENT SEEDING RECOMMENDATIONS FOR HIGH MAINTENANCE AREAS (REGION III)
TDEC MANUAL TABLE 7.9-1 PREFERRED SEED MIXTURES USING NATIVES OR NATURALIZED PLANTS AND PLANTING DATES

ZONE		BEST	MARGINAL	RATE MIX (LB/ACRE)
REGION III	<2500 FT ELEV.: HIGH MAINTENANCE	AUG 15 – SEPT 1 MAR 1 – APR 1	SEPT 1 – SEPT 15 APR 1 – JUNE 10	15 BROWTOP MILLET (NURSE CROP) 45 RED FESCUE 45 HARD FESCUE 25 CHEWING FESCUE

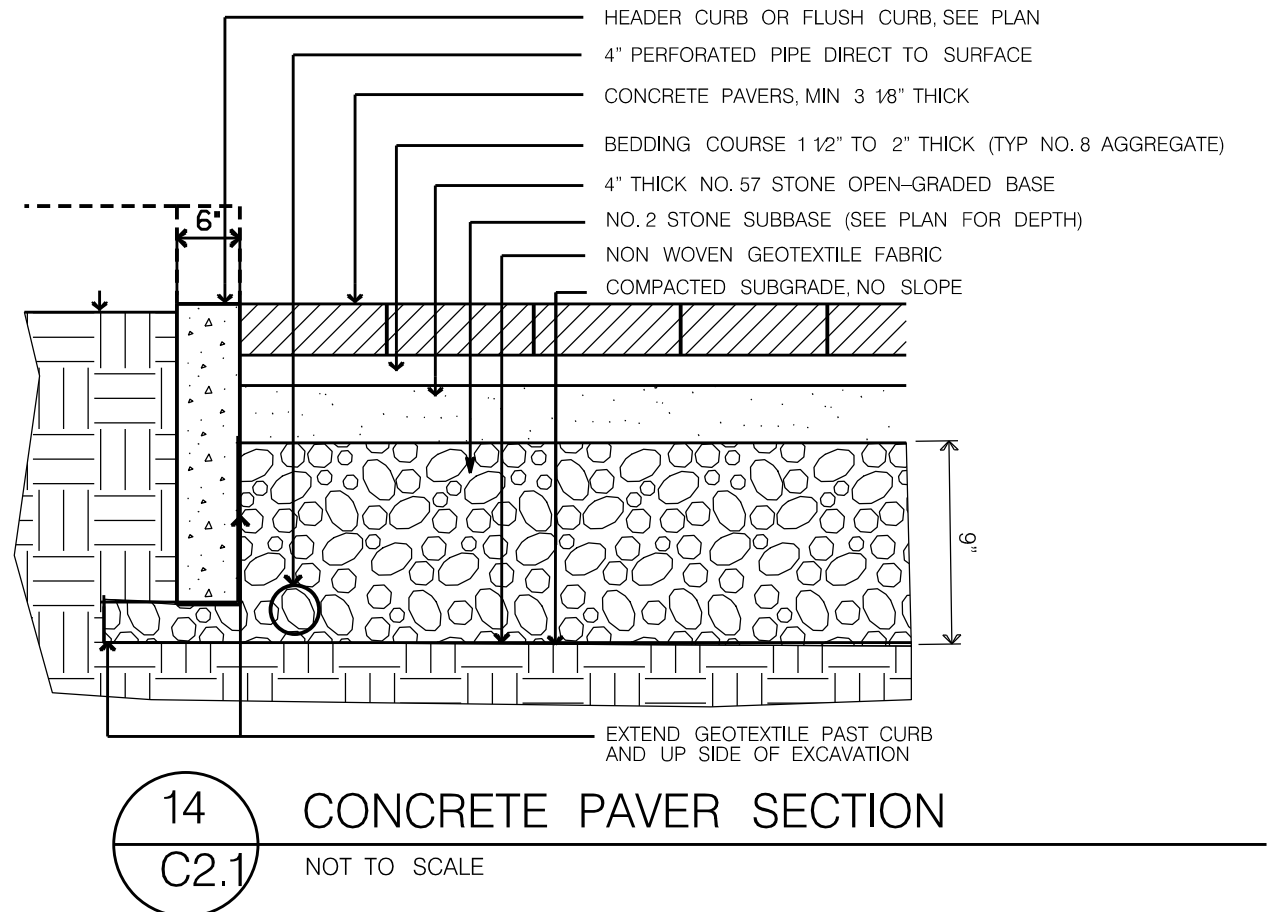
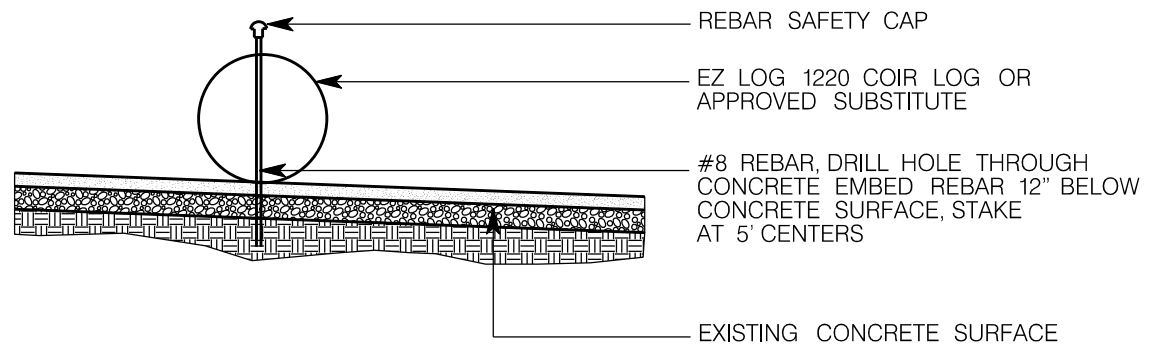
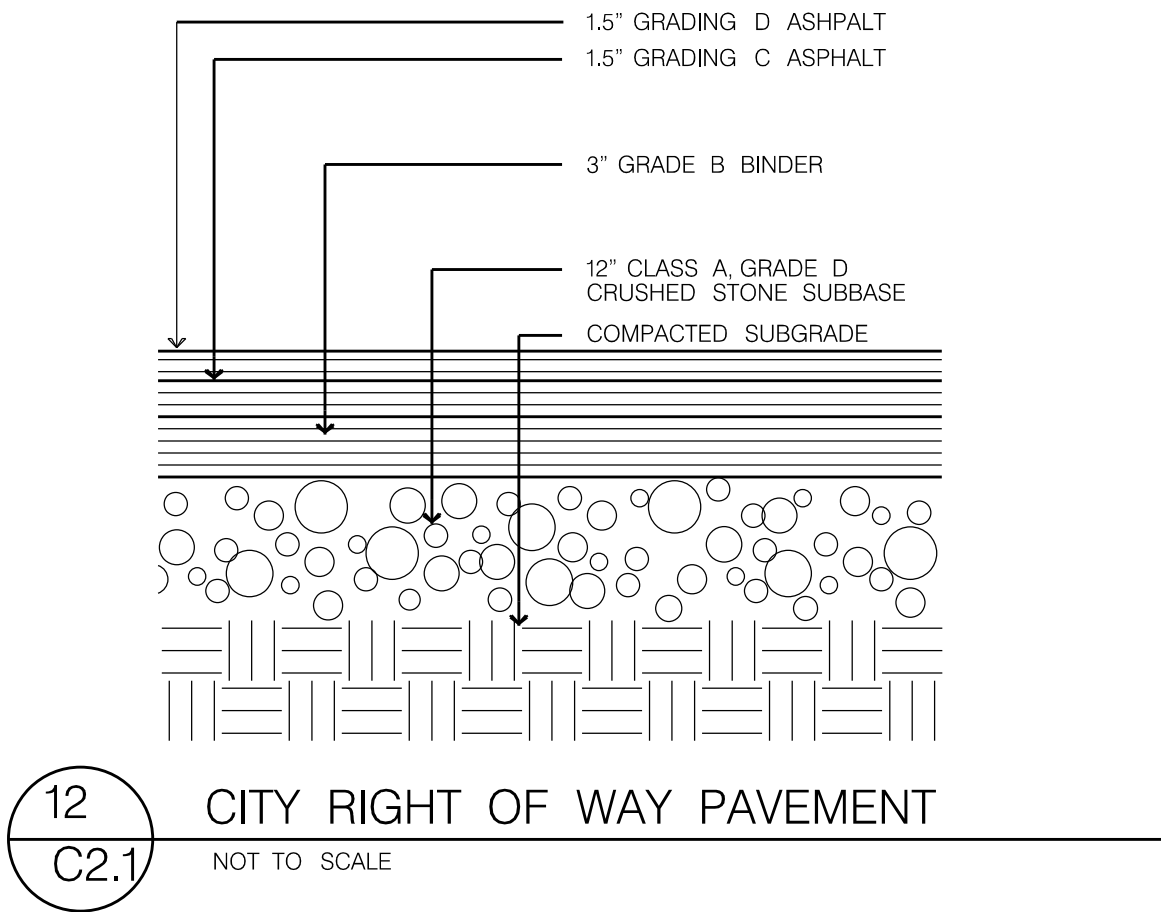
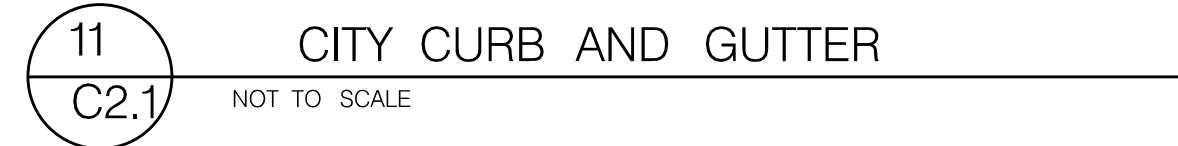
TDEC MANUAL TABLE 7.9-2 ALLOWABLE SEED MIXES AND PLANTING DATES

ZONE		BEST	MARGINAL	RATE MIX (LB/ACRE)
REGION III	<2500 FT ELEV.: HIGH MAINTENANCE	AUG 15 – SEPT 1 MAR 1 – APR 1	JULY 25 – AUG 15 SEPT 1 – SEPT 15 APR 1 – MAY 10	200 KY 31 FESCUE



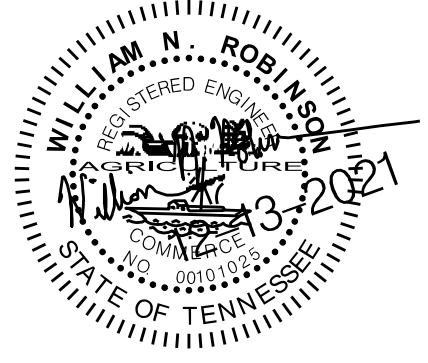
TYPE	TOTAL WIDTH (W) IN INCHES	WIDTH OF GUTTER (WG) IN INCHES	VERTICAL DROP (TD) IN INCHES	VERTICAL DEPTH (VD) OF GUTTER AT FLOW LINE
6-30	30	23 1/2	2	AS NOTED
6-36	36	29 1/2	2 1/2	0 - 1.93"
6-42	42	35 1/2	3	ON TYPICAL X-SECTIONS 0 - 1.91"
				0 - 2.29"

VERTICAL DEPTH (VD) MUST ALWAYS EXCEED SIX (6) INCHES.



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Building Renovation for:
THE OUTPOST
808 State Street
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SITE DETAILS

REVISIONS

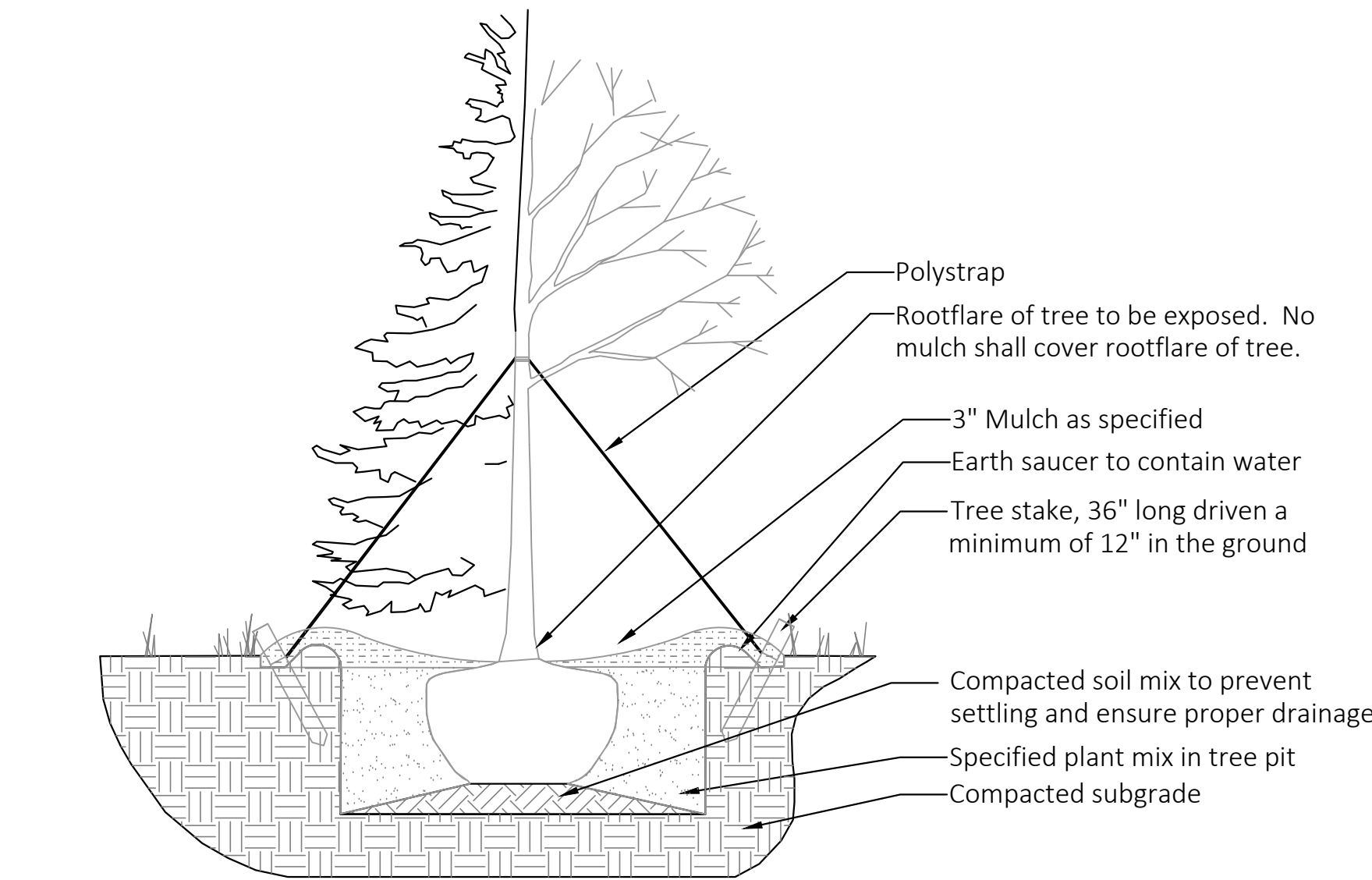
Revision #	Description	Date

4-A-22-SU
3/2/2022

DATE: 12.13.21

PROJECT NO: 213081.2

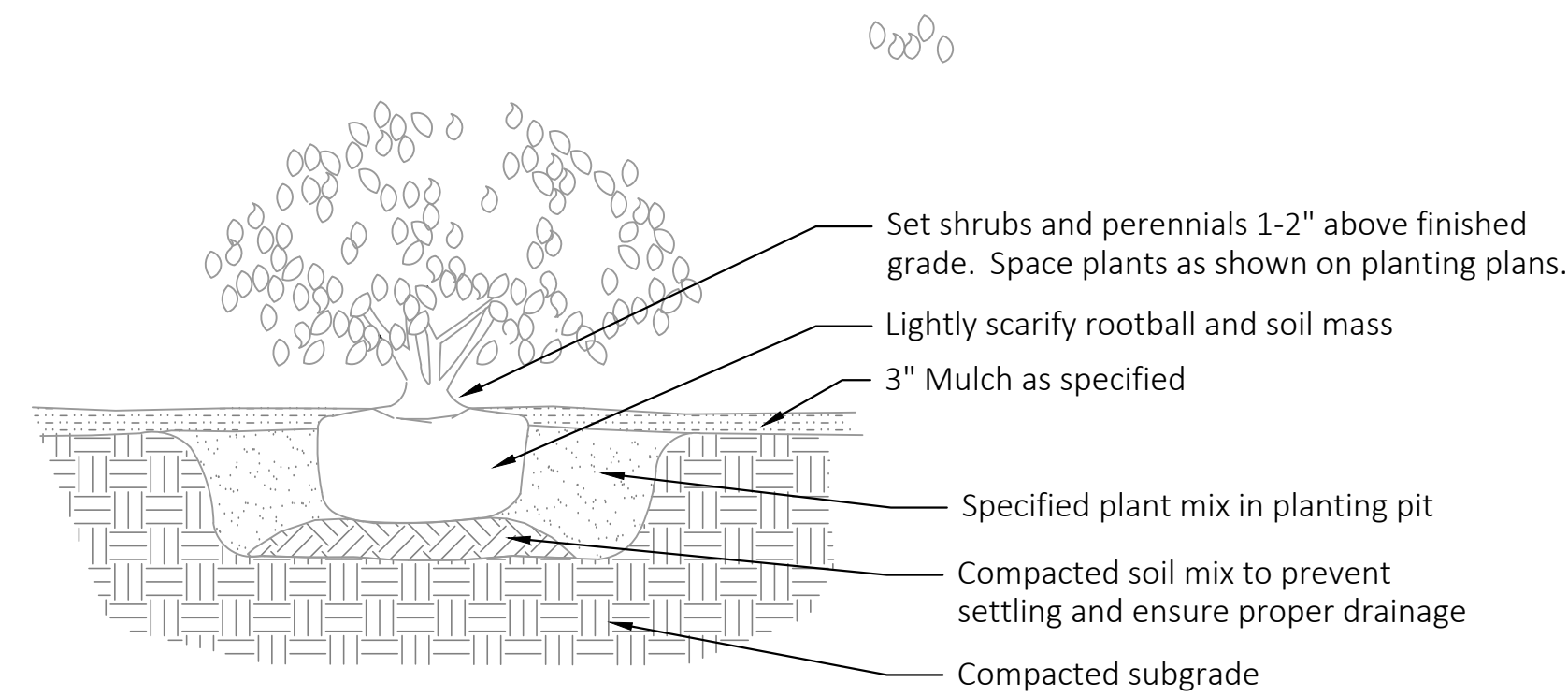
C2.1



- General Notes:**
- Excavate tree pit to a depth equal to depth of rootball plus 24", and a width equal to two times the diameter of the rootball.
 - Fill tree pit with water and confirm percolation rate. (Notify landscape architect if poor drainage conditions exist.)
 - Install tree 2-3" above finished grade. Avoid any damage to rootball or trunk of tree.
 - Add specified plant mix and soil amendments.
 - Remove burlap on top 2/3 of tree rootball.
 - Immediately soak tree pit with water and remove any air pockets that may have occurred during backfilling.
 - Stake and guy tree with specified materials.

General Tree Planting

Scale: NTS



Shrub & Perennial Planting

Scale: NTS

LANDSCAPE REQUIREMENT NOTES:

12.5 PARKING LOT PERIMETER LANDSCAPE YARD
- N/A, parking is less than 10,000 SF

12.6 INTERIOR PARKING LOT LANDSCAPE
- N/A, parking is less than 20,000 SF

12.7 SITE LANDSCAPE
N/A, existing structure w/ less than 30% SF additions

12.8 BUFFER YARDS
No buffer yard required as there are no adjacent residential zoning.

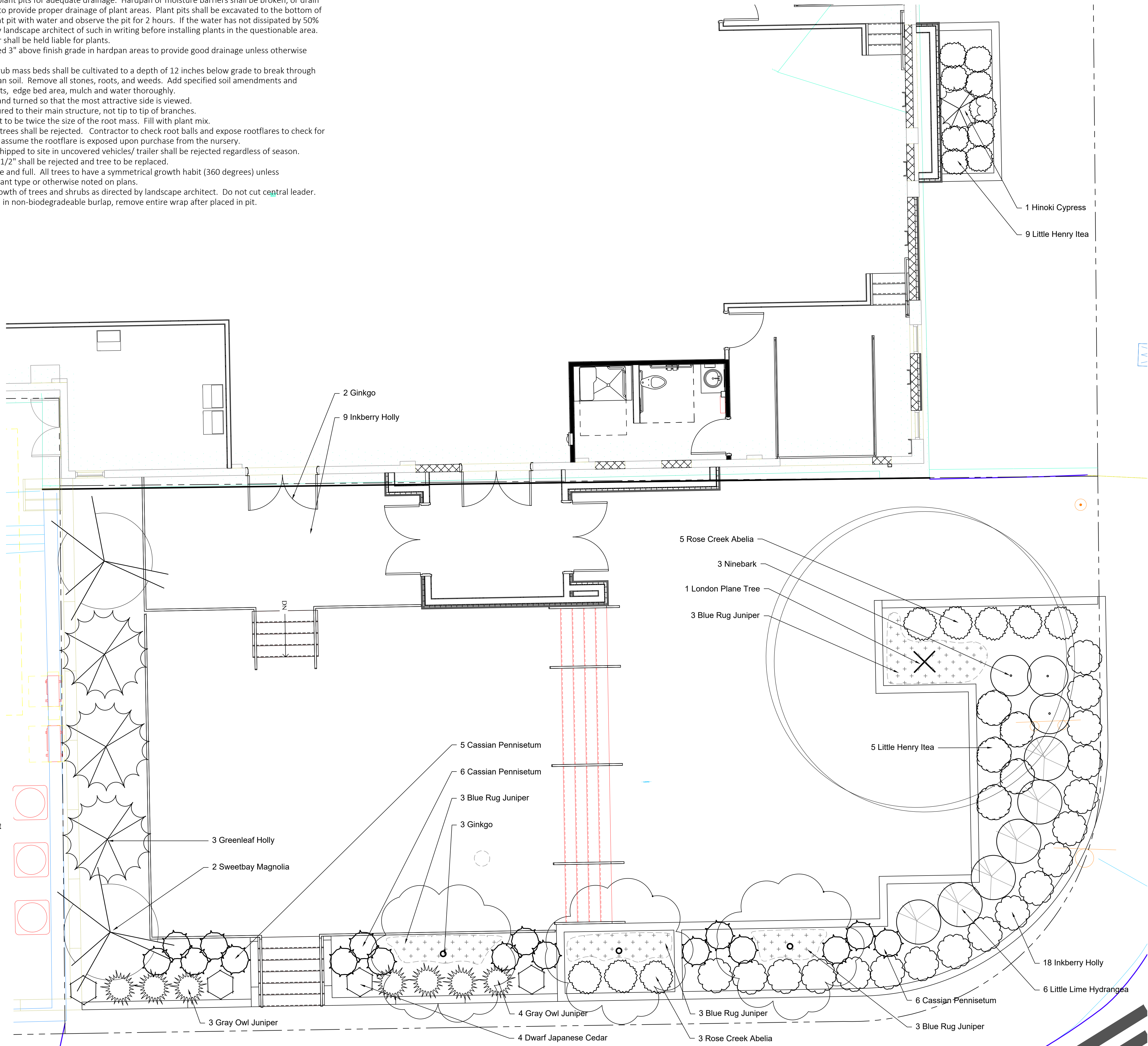
Trees
- Total property area = .3 acres. 8 trees per acre required. .3*.8 = 2.5, 3 trees required. 9 trees proposed

PLANTING LEGEND:

Qty	Botanical Name	Common Name	Size	Notes	Mature Height
Deciduous Trees					
3	Ginkgo biloba	Ginkgo	2" cal.	central leader, full and dense, male	25' to 50"
1	Platanus x acerifolia	London Plane Tree	2" cal.	central leader, full and dense	40' to 50'
Evergreen Trees					
3	Ilex opaca	Green Leaf Holly	6' ht.	central leader, full and dense	15' to 20'
2	Magnolia virginiana	Sweetbay Magnolia	6' ht.	central leader, full and dense	20' to 35'
1	Chamaecyparis obtusa	Hinoki Cypress	6' ht.	central leader, full and dense	
Deciduous Shrubs					
6	Hydrangea paniculata	Lime Light Hydrangea	3 gallon	full and dense	
9	Itea virginica 'Sprich'	Little Henry Itea	3 gallon	full and dense	
3	Physocarpus	Ninebark	3 gallon	full and dense	
17	Pennisetum alopecuroides	Cassian	3 gallon	full and dense	
Evergreen Shrubs					
12	Juniperus horizontalis	Blue Rug Juniper	3 gallon	full and dense	
18	Ilex glabra	Inkberry Holly	3 gallon	full and dense	
7	Juniperus virginiana	Grey Owl Juniper	3 gallon	full and dense	
4	Cryptomeria japonica 'nana glubosa'	Dwarf Japanese Cedar	3 gallon	full and dense	
8	Abelia x chinensis	Rose Creek Abelia	3 gallon	full and dense	

Planting Notes:

- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to provide allowance for soil ammendments, percolation tests, soil tests, mulch and irrigation.
- Irrigation system to be drip unless otherwise noted and approved.
- Contractor to complete work within schedule established by owner.
- Contractor to provide one year warranty for all plant material from date of substantial completion.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
- The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
- All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. quality of the plant material to be judged by the landscape architect. Inferior plant material to be rejected.
- Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
- No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
- Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on site approval prior to installation.
- Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
- Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
- Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil amendments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
- Set all plants plumb and turned so that the most attractive side is viewed.
- Plants shall be measured to their main structure, not tip to tip of branches.
- Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
- Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root girdling. Do not assume the rootflare is exposed upon purchase from the nursery.
- Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
- All tree scars over 1-1/2" shall be rejected and tree to be replaced.
- All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
- Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
- If rootball is wrapped in non-biodegradeable burlap, remove entire wrap after placed in pit.



Landscape Plan



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Building Renovation for:

THE OUTPOST

808 State Street

Knoxville, Tennessee 37902

LANDSCAPE
PLAN

REVISIONS

Revision # Description Date

4-A-22-SU

3/2/2022

DATE: 12.10.21

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