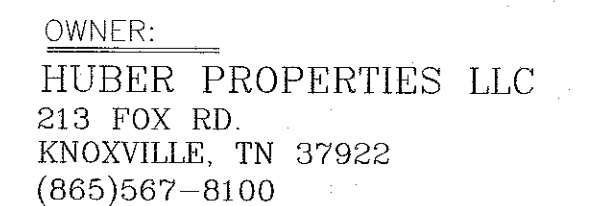
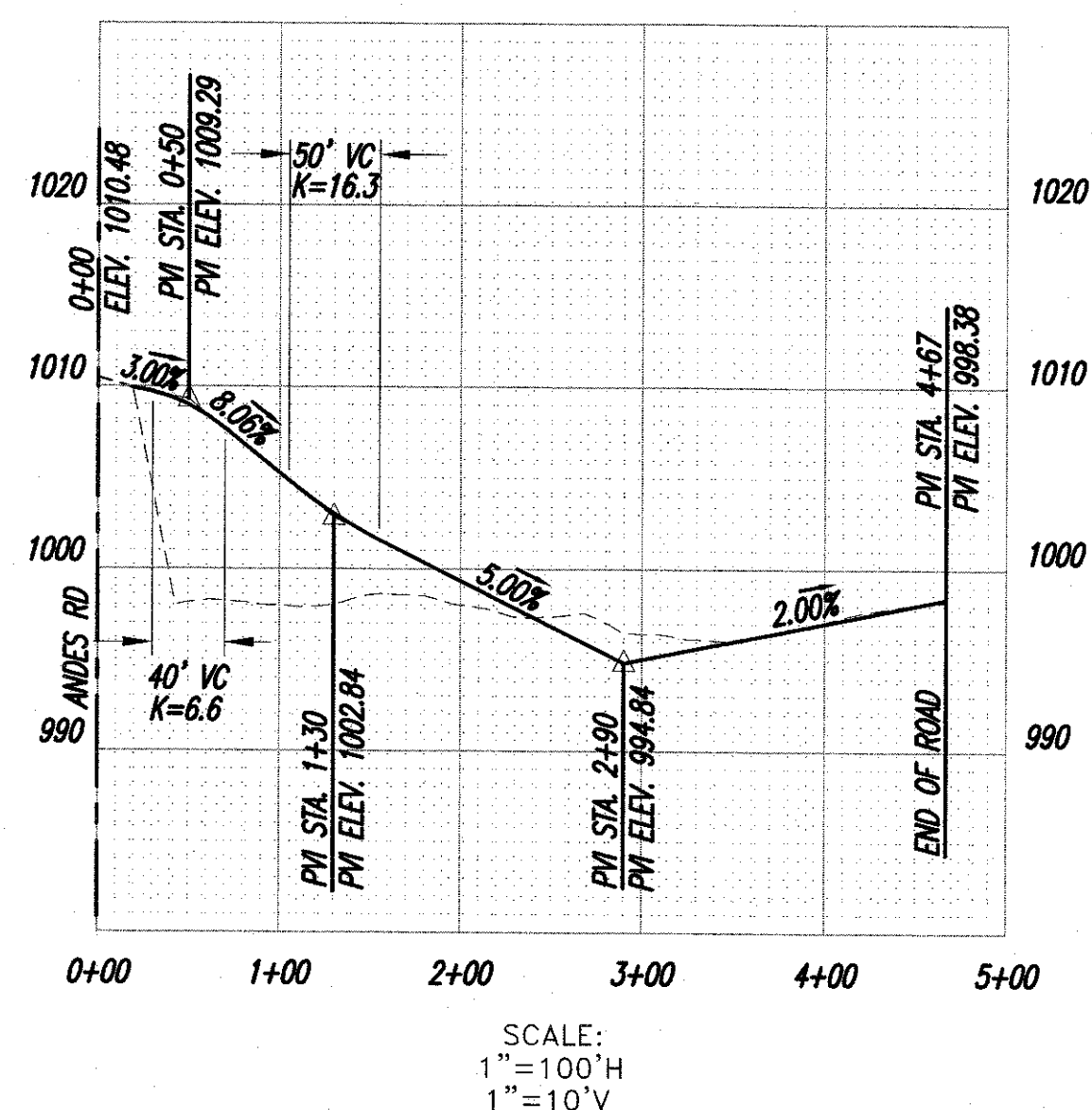


- PARKING REQUIREMENTS

21 UNITS @ 1.5 SPACES/UNIT=31.5 SPACES
 32 SPACES REQUIRED
 49 SPACES PROVIDED

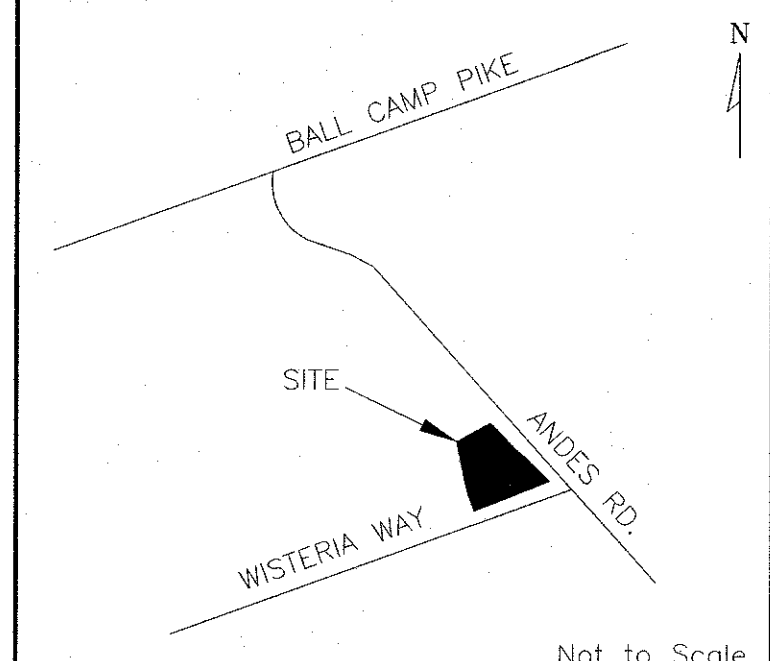


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REFERENCE DEED: INSTR#200808290014953
REVISED 2/21/17: MPC COMMENTS

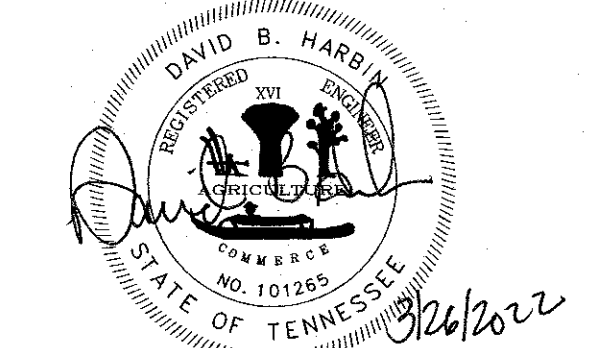
LEGEND	
● IPF	IRON PIN FOUND
○ IPS	IRON PIN SET
⊙ SSMH	SANITARY SEWER MANHOLE
○ CO	CLEAN-OUT
⊙ PP	POWER POLE
→ GUY	GUIDE WIRE
WV	WATER VALVE
WM	WATER METER
GV	GAS VALVE
=====	DRAINAGE PIPE
—X—	FENCE
---	GAS LINE
---	OVERHEAD ELECTRIC
---	WATER LINE
---	SANITARY SEWER LINE



LOCATION MAP

OWNER:
HUBER PROPERTIES LLC
213 FOX RD.
KNOXVILLE, TN 37922
(865)567-8100

- NOTES:
- IRON PINS FOUND (IPF) SHOWN ON PLAT. ALL OTHERS SET BY BHN&P, UNLESS NOTED OTHERWISE ON PLAT.
 - SURVEYED AS MONUMENTED AND POSSESSED.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED ALL UNDERGROUND UTILITIES.
 - THIS PROPERTY IS ZONED PR.
 - THIS PROPERTY CONTAINS 1.87 ACRES SUBDIVIDED INTO 7 LOTS.
 - BUILDING SETBACK LINES WILL BE AS FOLLOWS:
FRONT.....20'
SIDES.....5'
REAR.....15' (UNLESS CONTROLLED BY A 25' PERIPHERAL SETBACK)
 - VARIANCES REQUIRED:
REDUCTION OF RIGHT OF WAY DEDICATION ON ANDES ROAD FROM 30' TO 22' FROM CENTERLINE.
HARDSHIP COUNTY HAS ALREADY PURCHASED RIGHT OF WAY FOR FUTURE ROAD PROJECT.
VERTICAL CURVE LENGTH FROM 62.25 FEET TO 25 FEET
HARDSHIP: TOPOGRAPHY, KNOX COUNTY NEW ROAD WILL BE CONSTRUCTED WITH 10 TO 15 HIGHER THAN EXISTING GROUND
 - ALL ACCESS IS TO BE FROM INTERNAL J.P.E.
 - MAXIMUM FOOTPRINT OF EACH NEW STRUCTURE SHALL BE 2,000 SQUARE FEET OR LESS IN ORDER TO NOT EXCEED THE 10,000 SQUARE FEET ADDITIONAL IMPERVIOUS AREA. THIS PROJECT IS EXEMPT FROM KNOX COUNTY STORMWATER QUANTITY AND QUALITY REGULATIONS. (TWO STRUCTURES ARE EXISTING ON THIS SITE.)

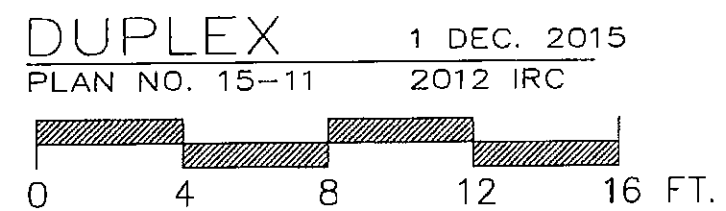
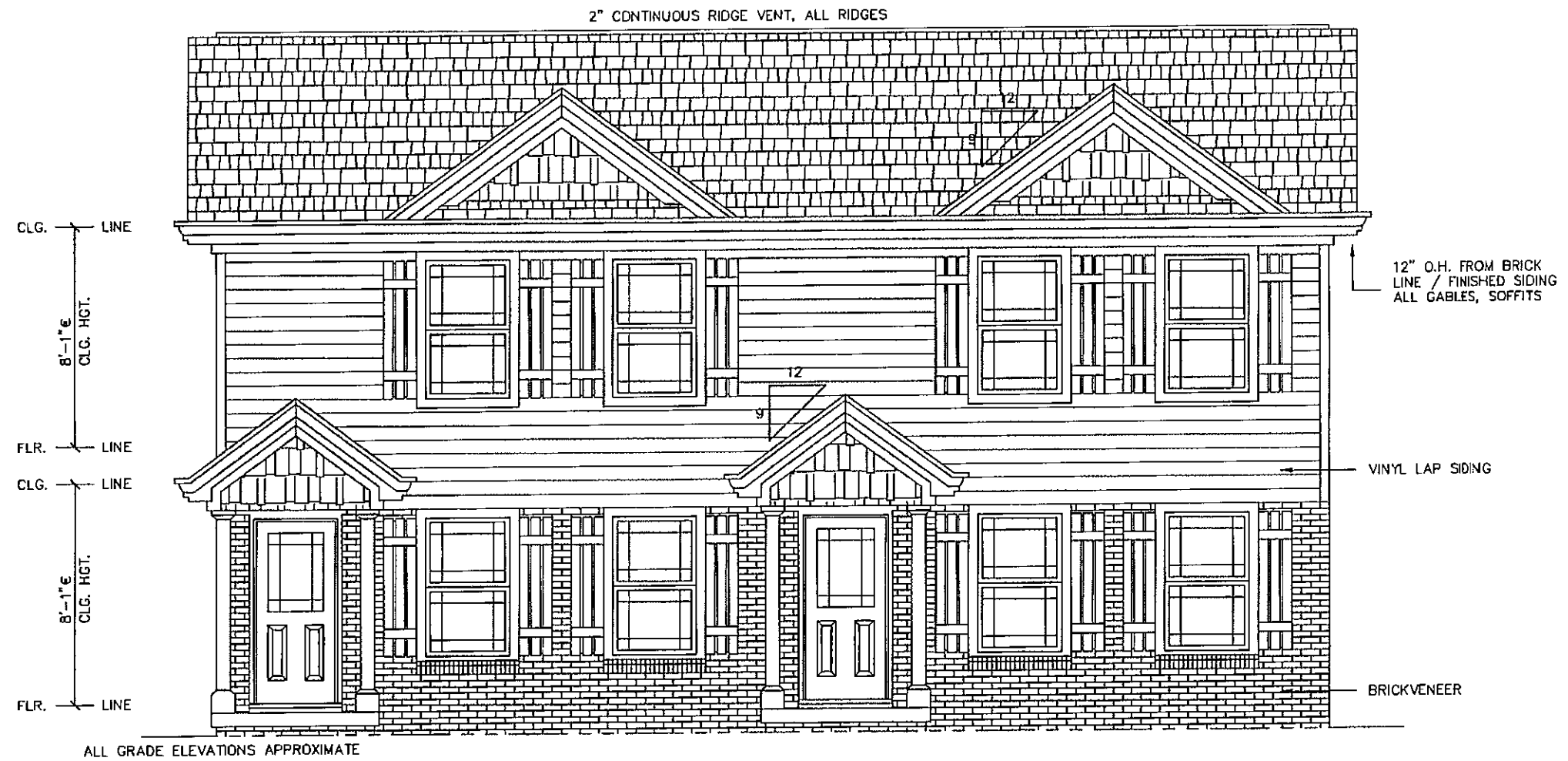


CERTIFICATION OF CONCEPT PLAN.
I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.
REGISTERED ENGINEER *David B. Harbin*
TENNESSEE CERTIFICATE NO. 101265

GRADING PLAN
FOR
HUBER PROPERTIES/ANDES ROAD
TAX MAP 91, PARCEL 123
DISTRICT 6, KNOX COUNTY, TN
SCALE: 1" = 40' NOVEMBER 16, 2016
40 20 0 40 80

BATSON, HIMES, NORVELL & POE
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
email@bhn-p.com

4-A-22-UR
Revised: 3/28/2022



DIMENSION NOTE:

ALL DIMENSIONS ARE INDICATED FROM OUTSIDE FRAMING LINE TO C/L OF PARTITIONS UNLESS SHOWN OTHERWISE - PLEASE OBSERVE DIMENSION LEADER-LINES CAREFULLY

EGRESS WINDOWS:

EACH BEDROOM MUST HAVE ONE WINDOW RATED FOR EMERGENCY EGRESS WHICH PROVIDES A CLEAR OPENING OF 5.0 SQ. FT. (5.7 SQ. FT. @ SECOND FLOOR) & 44" MAX. SILL HGT. - MIN. NET CLEAR OPENING SHALL BE 20" WIDE - MIN. HGT. 24"

NOTE:

WINDOWS LOCATED IN STAIRS, LANDINGS, BATHS, & WHERE SILL IS LESS THAN 18" FROM FINISHED FLOOR SHALL REQUIRE USE OF TEMPERED GLASS

FIRE RESISTANT CONSTRUCTION:

BETWEEN UNITS PROVIDE A COMMON 1-HR FIRE RESISTANCE RATED WALL ASSEMBLY TESTED IN ACCORDANCE WITH U-305. ASSEMBLY SHALL BE CONTINUOUS FROM THE FOUNDATION TO THE UNDERSIDE OF THE ROOF SHEATHING, DECK OR CONCRETE SLAB.

MAIN FLOOR PLAN

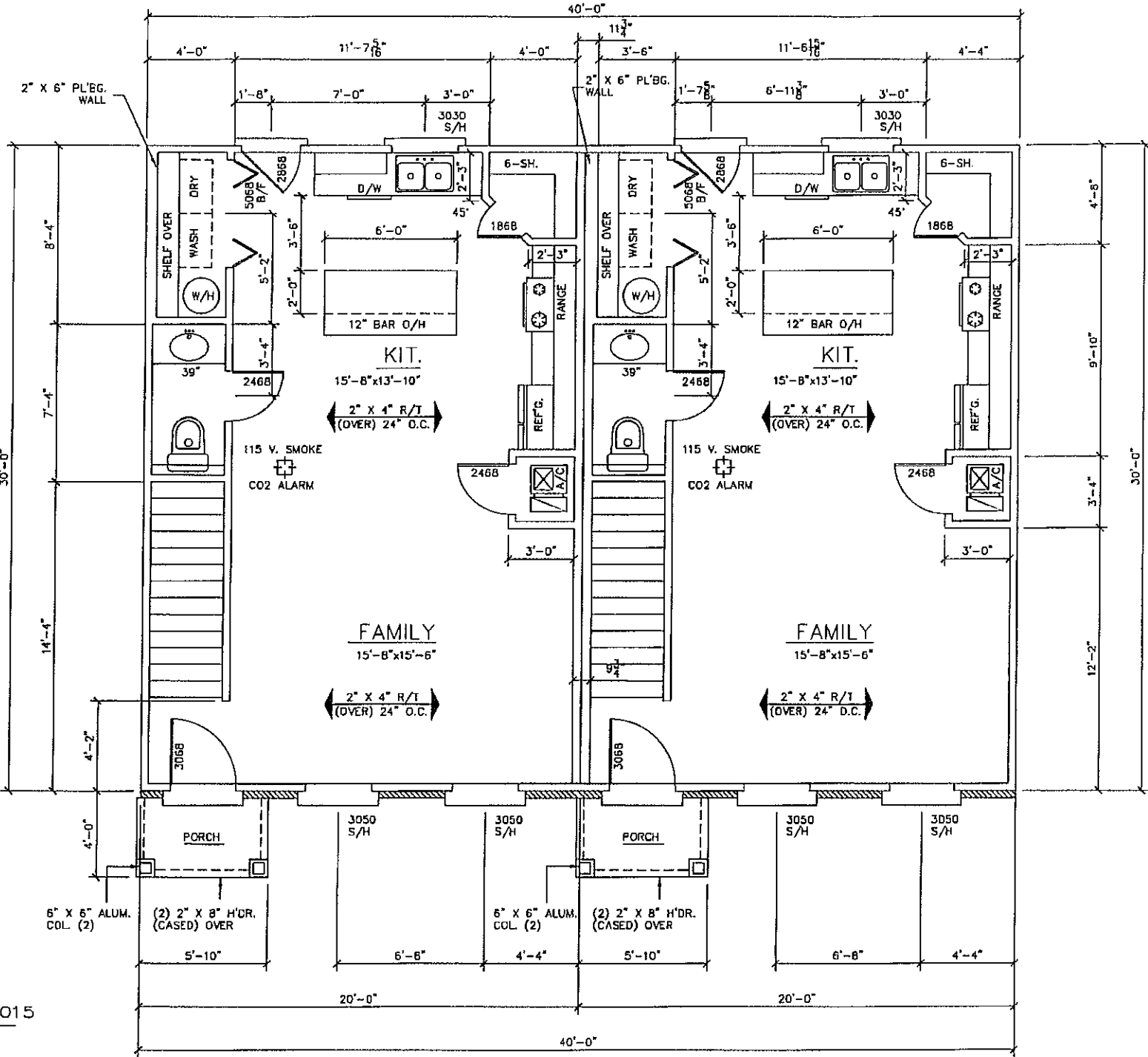
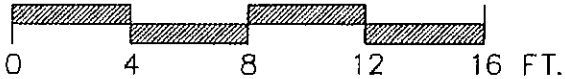
8'-1"± FINISHED CEILING HEIGHT

600 SQ. FT. MAIN FLOOR LIVING AREA
600 SQ. FT. SECOND FLOOR LIVING AREA
1,200 SQ. FT. TOTAL LIVING AREA PER UNIT
22 SQ. FT. FRONT PORCH AREA

NOTE:

AREA CALCULATIONS ARE MEASURED FROM OUTSIDE FRAMING LINES (EXCLUSIVE OF BRICK OR STUCCO VENEER) VERIFY ONSITE BY ACTUAL CONSTRUCTION DIMENSIONS

DUPLEX 1 DEC. 2015
PLAN NO. 15-11 2012 IRC



DIMENSION NOTE:

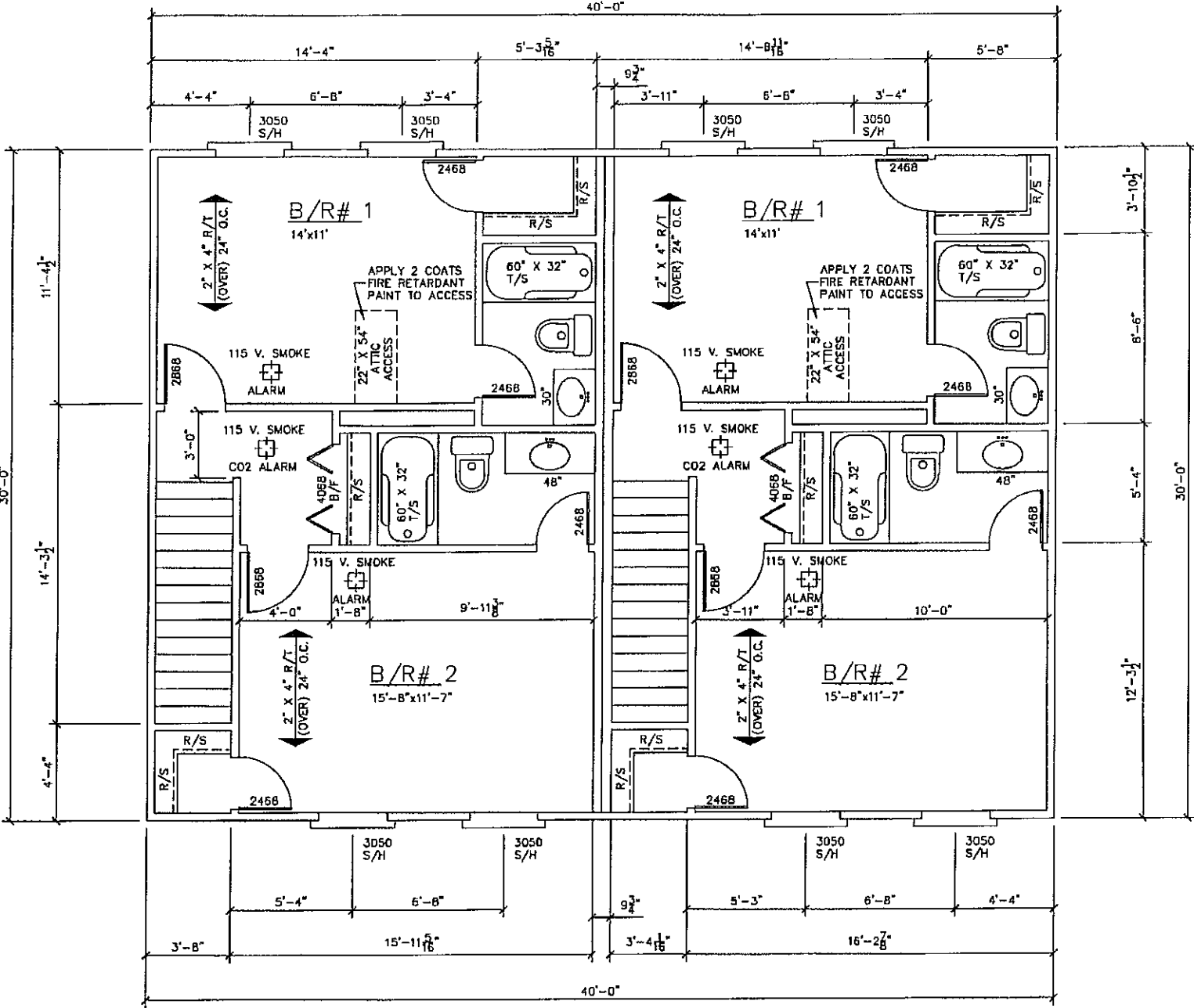
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DUPLEX

1 DEC. 2015

PLAN NO. 15-11

2012 IRC

