POWELL SHOPPING CENTER

2109 W EMORY RD & 0 DRAWBRIDGE CT POWELL, TN 37849

PROJECT INFORMATION:

OWNER
NAME: DISNEY JOINT VENTURE
CONTACT: DWIGHT DISNEY

ADDRESS: 2141 WEST EMORY RD
POWELL, TN 37849

PROPERTY DATA

ADDRESS: 2109 W EMORY RD

MAP: 056
PARCEL ID: 056NA00205
ZONING: CA (GENERAL BUSINESS ZONE)

POWELL, TN 37849

VERTICAL DATUM: NAVD 88

PARKING SETBACKS: 10' FRONT

10' SIDE

BUILDING SETBACKS: 20' FRONT

5' SIDE

ADDRESS: 0 DRAWBRIDGE CT

POWELL, TN 37849

PARCEL ID: 056NB019

ZONING: PR (PLANNED RESIDENTIAL)

VERTICAL DATUM: NAVD 88

PARKING SETBACKS: 5' REAR

LIST OF DRAWINGS:

G000 COVER SHEET

SURVEY
SS101 SITE SURVEY

CIVIL AND SITE ENGINEERING
C001 CIVIL NOTES & LEGENDS
C200 SITE DEMOLITION PLAN
C300 SITE LAYOUT PLAN
C400 EROSION PREVENTION & SEDIMENT CONTROL & SITE

C400 EROSION PREVENTION & SEDIMENT CONTROL & SITE GRADING PLAN
C600 SITE UTILITY PLAN
C800 CIVIL DETAILS

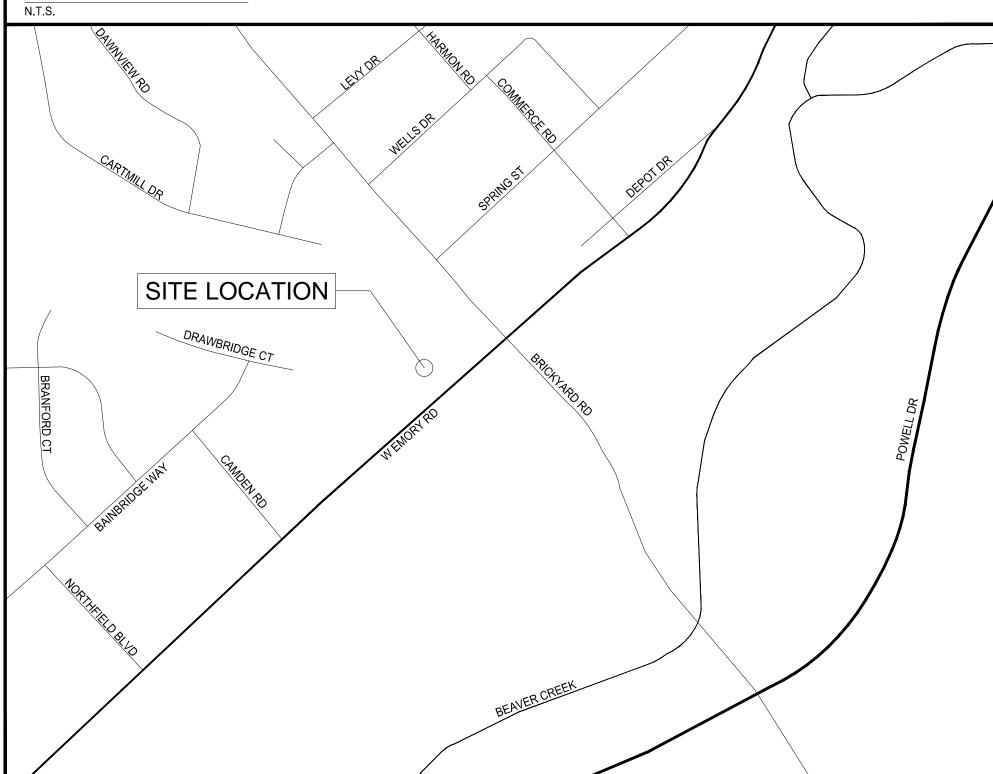
C801 CIVIL DETAILS
C802 CIVIL DETAILS

LANDSCAPE ARCHITECTURE

L100 LANDSCAPING PLAN

NUMBER OF SHEETS: 11 TOTAL







MBI COMPANIES INC 299 N. WEISGARBER ROAD KNOXVILLE, TN 37919 E: (865) 584-0999 (865) 584-5213

CONSULTANT

SEAL

OPHER B

AGRICULTURE

No. 10997

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PROJECT INFORMATION

POWELL SHOPPING CENTER

2109 W EMORY RD & 0 DRAWBRIDGE CT POWELL, TN 37849 PROJECT NO.:

FOR REVIEW ONL
FOR PERMITTING ONL
SCHEMATIC DESIG
DESIGN DEVELOPMEN
CONSTRUCTION BIDDING

CONSTRUCTION DOCUMENTS

AS-BUILT RECORD SET

REVISION INFORMATION

NO. DATE DESCRIPTION

1 02/20/2023 COUNTY ENGINEERING

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 01/20/202:

DESIGNED BY: A.G.C

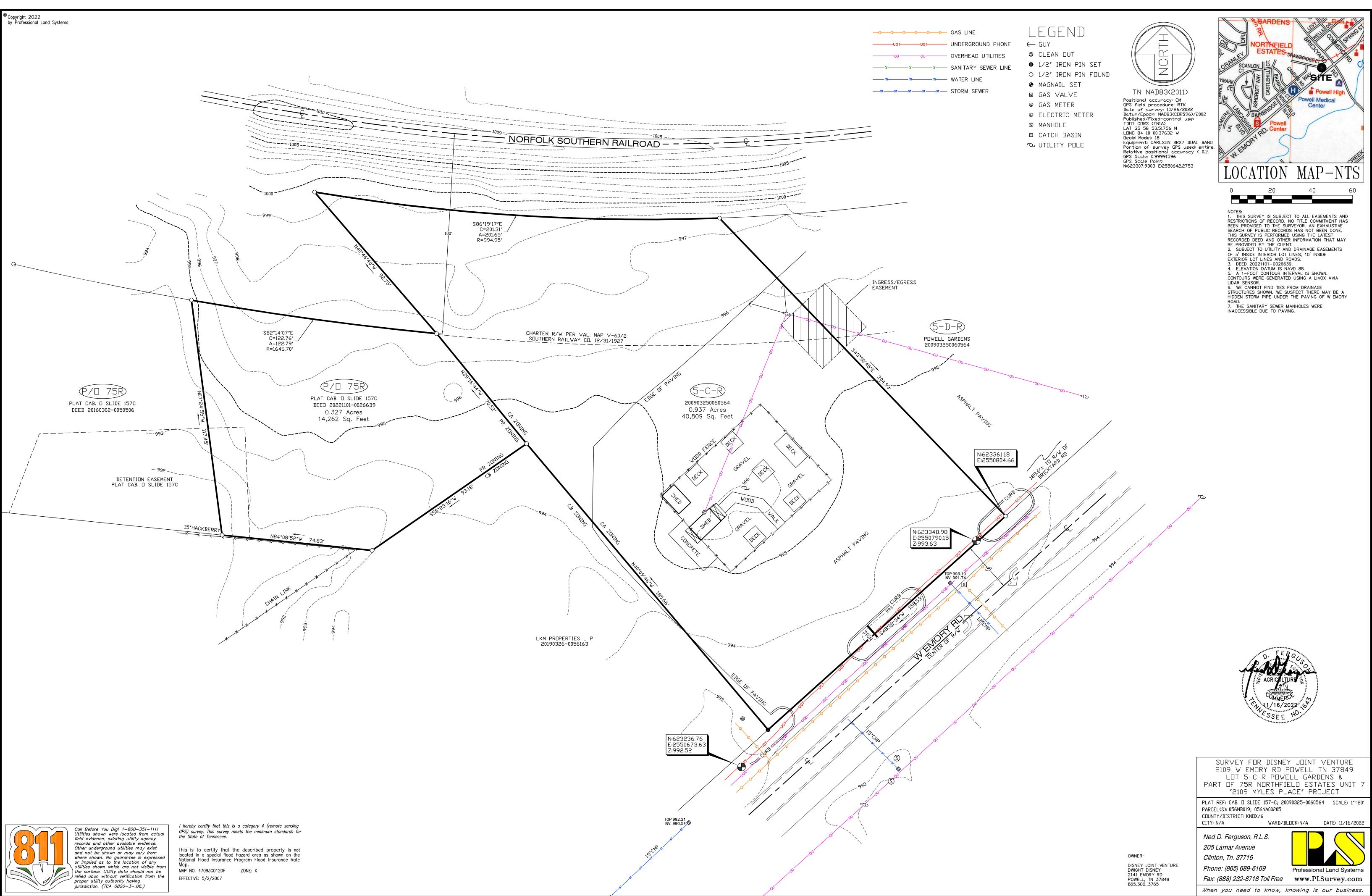
DRAWN BY: A.G.C

REVIEWED BY: C.B.T

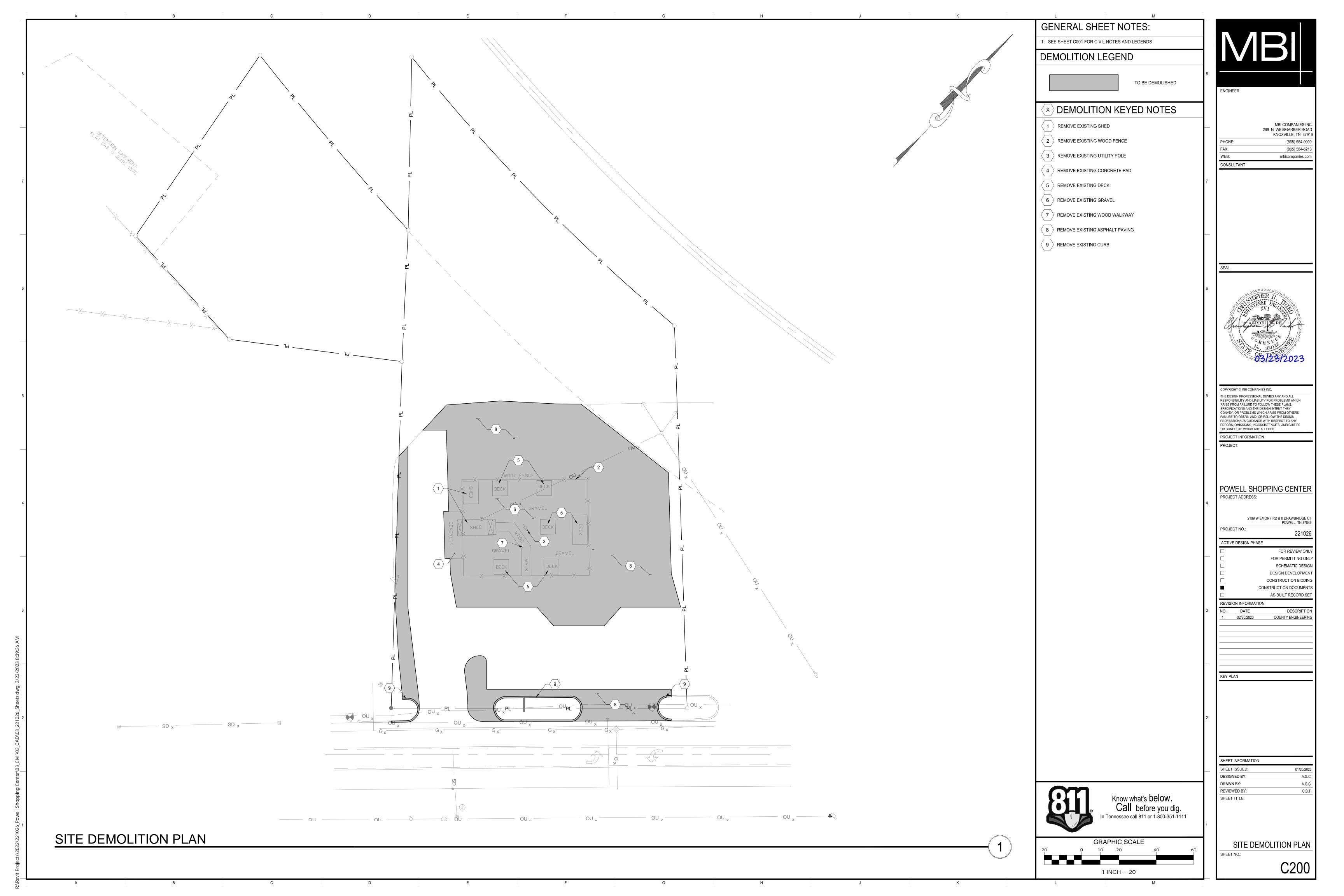
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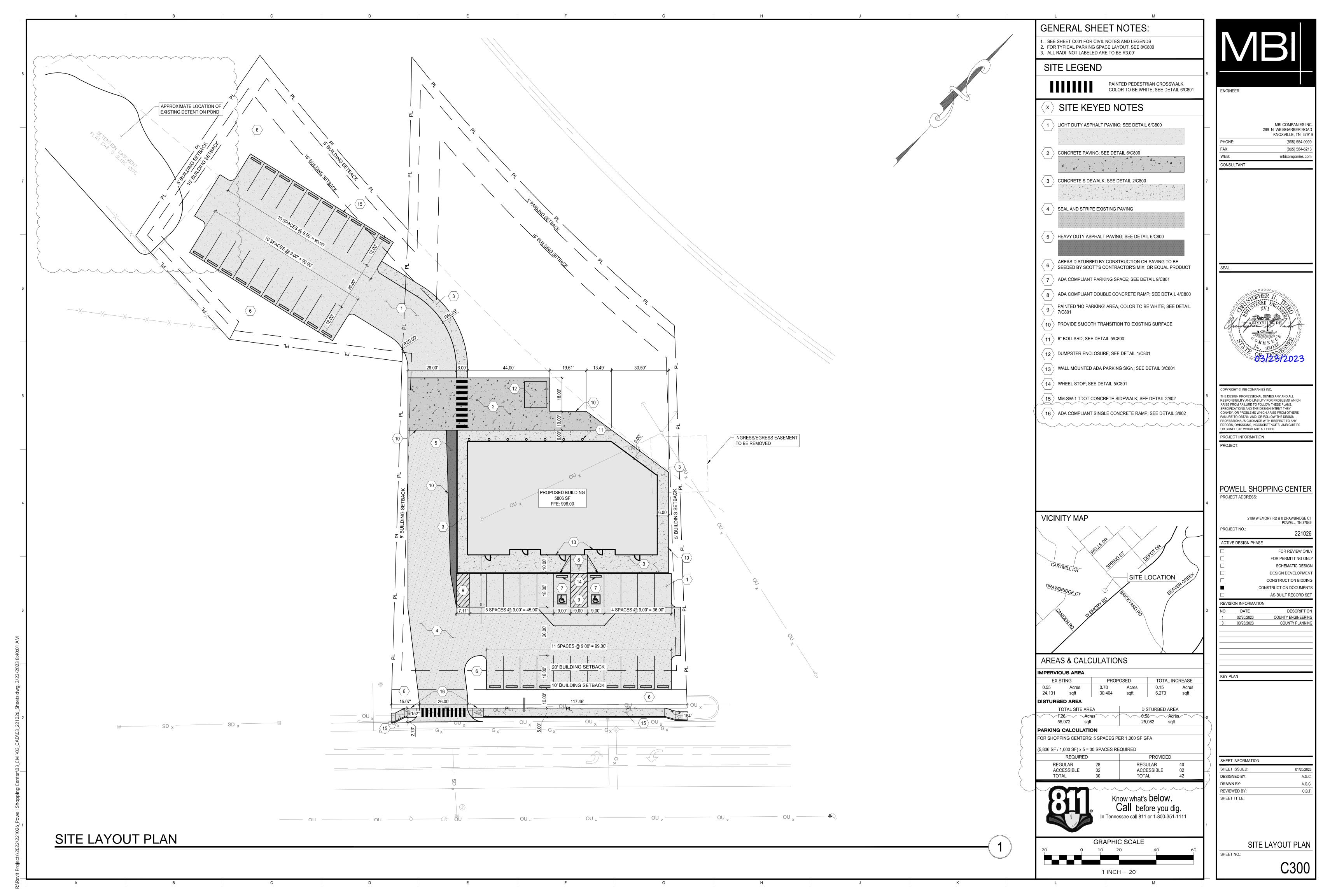
COVER SHEET

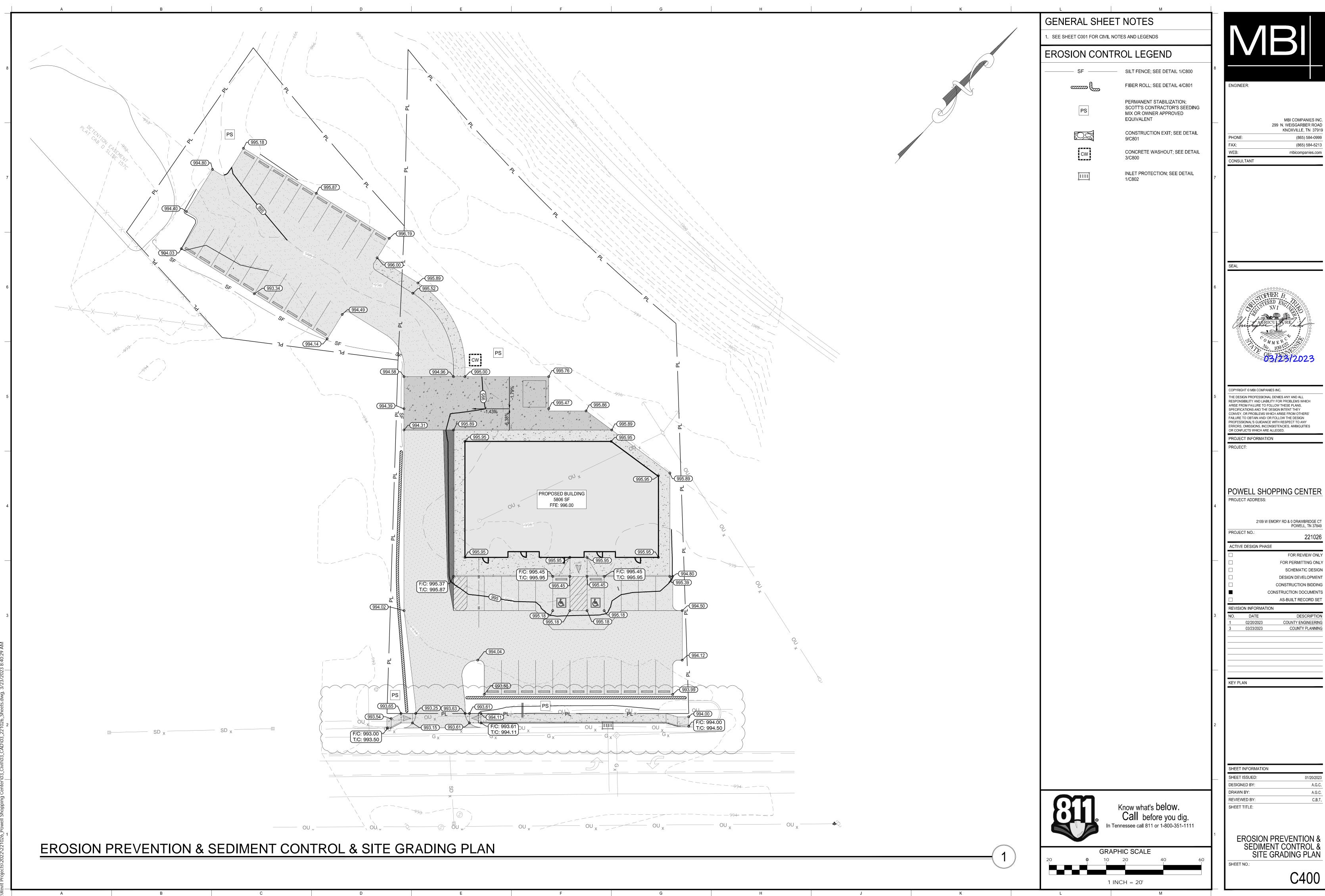
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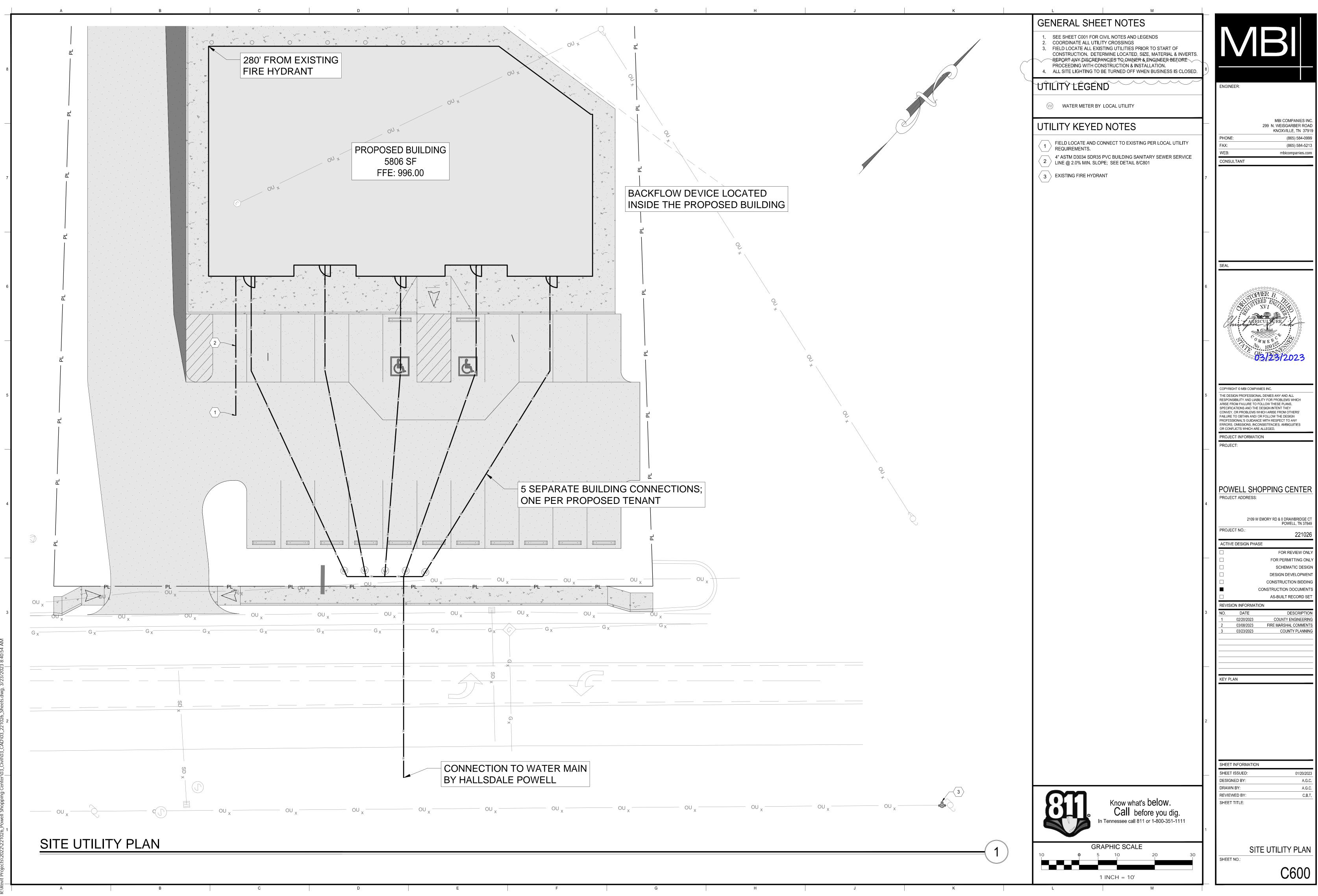


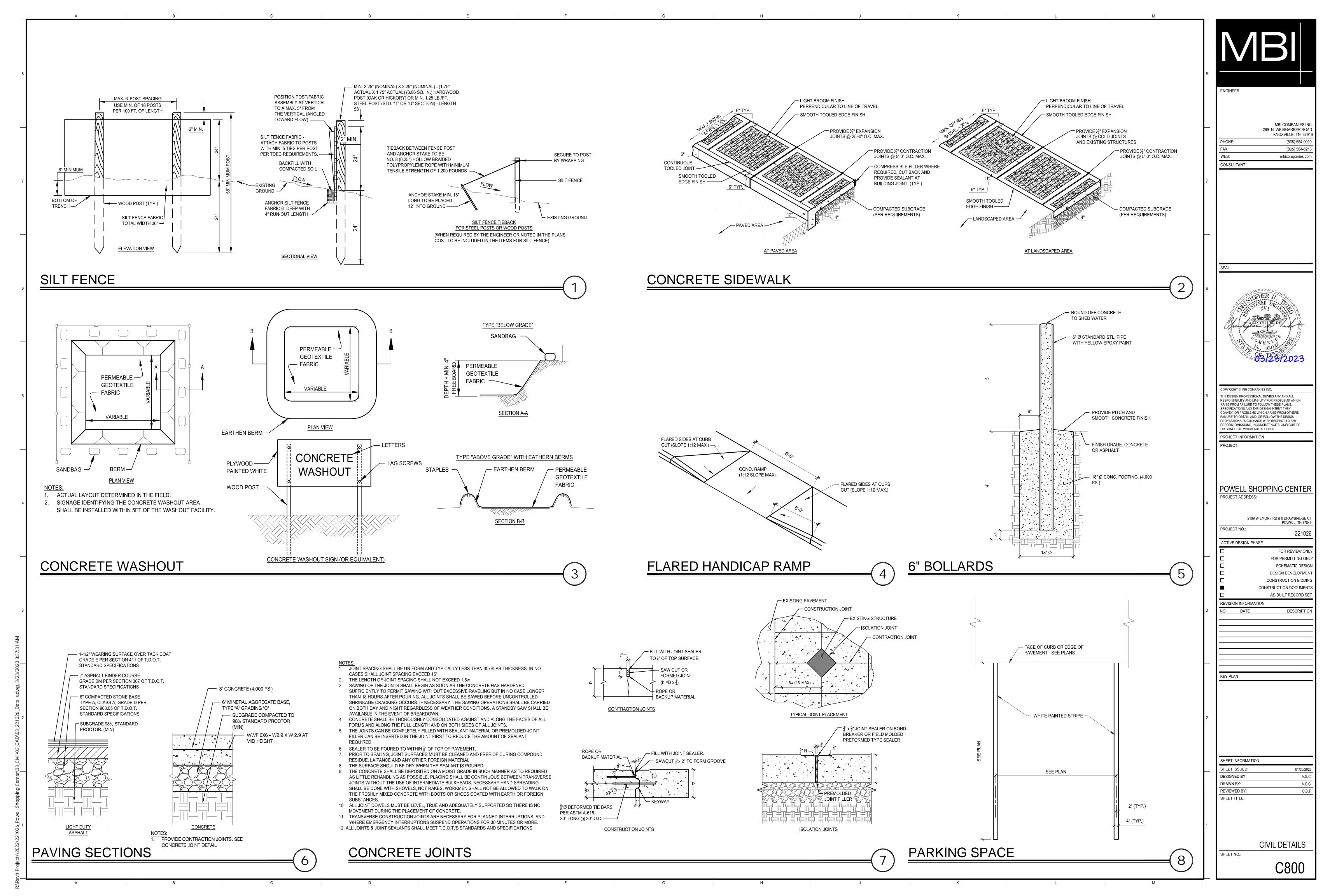
GENERAL NOTES EROSION CONTROL NOTES ABBREVIATIONS LEGEND AREAS & CALCULATIONS EXISTING PROPOSED COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED UNLESS SHOWN OTHERWISE, ALL DISTURBED AREAS NOT ULTIMATELY RECEIVING A HARD SURFACE SHALL HAVE A NOTE: ALL ABBREVIATIONS MAY NOT APPLY TO THIS PROJECT BY A.G.C. OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. MINIMUM DEPTH OF 5" OF TOPSOIL AND BE STABILIZED WITH GRASS. MPERVIOUS AREA DEPARTMENT OF LABOR, 29 CFR 1926 OSHA. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL APPLICABLE PERMITS AND COMPLYING WITH ALL APPLICABLE EXISTING PROPOSED TOTAL INCREASE LOCAL, STATE AND FEDERAL REGULATIONS RELATED TO SITE GRADING, EROSION AND SEDIMENTATION CONTROL, THE APPROPRIATE TRAFFIC CONTROL SIGNS AS DEFINED BY THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AMERICAN ASSOCIATION OF STATE HIGHWAY & TRANSPORTATION OFFICIALS Acres 0.70 Acres 0.15 Acres F.H.W.A., 2009", SHALL BE INSTALLED AT THE INCEPTION OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND STORMWATER RUNOFF AMERICANS WITH DISABILITIES ACT 30,404 6,273 24,131 sqft sqft saft NO LAND DISTURBANCE IS PERMISSIBLE UNTIL THE CONTRACTOR HAS SUBMITTED A SIGNED NOTICE OF INTENT AND AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE ONLY AS PROPERTY LINE RECEIVED A NOTICE OF COVERAGE FROM THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION LONG AS THEY ARE NEEDED AND SHALL BE REMOVED IMMEDIATELY AFTER NEED. DISTURBED AREA APPROX. OR ~ APPROXIMATE (TDEC). COORDINATE WITH OWNER TO ENSURE THAT ALL NECESSARY PERMITS HAVE BEEN RECEIVED PRIOR TO LAND NOTHING IN THE GENERAL NOTES OR SPECIAL PROVISIONS SHALL RELIEVE THE CONTRACTOR FROM THEIR MAJOR CONTOUR TOTAL SITE AREA **DISTURBED AREA** ASCF AMERICAN SOCIETY OF CIVIL ENGINEERS DISTURBANCE RESPONSIBILITIES TOWARD THE SAFETY AND CONVENIENCE OF THE GENERAL PUBLIC. A NOTICE WILL BE POSTED BY NEAR THE CONSTRUCTION ENTRANCE BEFORE WORK BEGINS CONTAINING: MINOR CONTOUR VERIFY THE LOCATIONS OF ALL PROPOSED ITEMS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY A/E ASTM 25,082 AMERICAN SOCIETY FOR TESTING AND MATERIALS 55,072 √sqft/ A. A COPY OF THE NOC WITH THE TRACKING NUMBER ASSIGNED BY TDEC. IMMEDIATELY OF ANY DISCREPANCIES BEFORE STARTING WORK. COMMENCEMENT OF CONSTRUCTION AFTER SUCH ENGINEER: AMERICAN WATER WORKS ASSOCIATION SANITARY SEWEI THE NAME, COMPANY NAME, TELEPHONE NUMBER, EMAIL AND ADDRESS OF THE PROJECT SITE OPERATOR PARKING CALCULATION DISCOVERY SHALL BE AT THE CONTRACTOR'S RISK. INCLUDING A LOCAL CONTACT PERSON ANY AREA THAT IS DISTURBED OUTSIDE THE LIMITS OF CONSTRUCTION DURING THE LIFE OF THE PROJECT SHALL BE FOR SHOPPING CENTERS: 5 SPACES PER 1,000 SF GFA BACK OF CURB A PROJECT DESCRIPTION REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE. BUILDING THE LOCATION OF THE SWPPP ON SITE. WATER LINE BOULEVARD 5,806 SF / 1,000 SF) x 5 = 30 SPACES REQUIRED IN PREPARATION FOR AND PRIOR TO INSTALLATION OF EROSION AND SEDIMENTATION CONTROL MEASURES, THE **DEMOLITION NOTES** BENCHMARK OVERHEAD UTILITIES CONTRACTOR SHALL: REQUIRED PROVIDED MBI COMPANIES IN **BOTTOM OF WALL** DO ALL DEMOLITION WORK REQUIRED TO REMOVE EXISTING MASONRY WALLS, PAVING, FOUNDATIONS, CONCRETE A. EXAMINE THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND THE SITE EROSION AND 299 N. WEISGARBER ROAD ELECTRIC (UNDERGROUN REGULAR SLABS, EXISTING UNDERGROUND PIPING, CONDUIT, BUILDING FINISHES, DOORS, WINDOWS AS SHOWN ON THE SEDIMENTATION CONTROL DRAWINGS AT THE SITE. KNOXVILLE, TN 37919 ACCESSIBLE ACCESSIBLE CURVE DELTA ANGL DRAWINGS AND ANY OTHER NECESSARY ITEMS TO INSTALL THE PROPOSED WORK. B. NOTIFY ENGINEER OF DEFICIENCIES OR CHANGES IN THE SWPPP OR DRAWINGS REQUIRED BY CURRENT SITE TELEPHONE/COMM (865) 584-09 CATCH BASIN CONTRACTORS SUBMITTING PROPOSALS SHALL DETERMINE THE QUANTITIES OF DEMOLITION WORK REQUIRED BY CONDITIONS. REVISIONS OF THE DOCUMENTS WILL BE MADE AS DETERMINED BY THE ENGINEER. CUBIC FEET PER SECOND FIELD INVESTIGATION OF THE BUILDING AND SITE. SD x STORM SEWER (865) 584-521 FURNISH, ERECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES IN CONFORMITY WITH THE PROPERTY INFORMATION SUBMIT A DEMOLITION SCHEDULE TO THE PROJECT MANAGER PRIOR TO EXECUTION OF THE WORK. INDICATE CONSTRUCTION GENERAL PERMIT TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, FOURTH EDITION, AS PREPARED BY TDEC. SEE PLAN AND mbicompanies.co ROOF DRAINS **CURB INLET** PROPOSED METHODS AND SEQUENCE OF OPERATIONS. INCLUDE PROPOSAL FOR CONTROL OF DUST AND NOISE, DETAILS FOR SPECIFIC EROSION AND SEDIMENTATION CONTROL MEASURES. ONSULTANT CENTERLINE AND COORDINATION FOR SHUT-OFF, CAPPING, AND CONTINUATION OF UTILITY SERVICES. EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON THIS PLAN ARE A MINIMUM REQUIREMENT. MAINTAIN, FIRE SUPPRESSION LINE MAINTAIN TEMPORARY BARRICADES FOR PROTECTION OF JOB PERSONNEL AND THE PUBLIC. REMOVE BARRICADES CORRUGATED METAL PIPE MODIFY AND ADD EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION AS NECESSARY TO DISNEY JOINT VENTURE CONCRETE MASONRY UNIT FORCE MAIN WHEN NO LONGER REQUIRED CONTACT: DWIGHT DISNEY PREVENT SEDIMENT FROM LEAVING THE SITE CLEANOUT CONDUCT OPERATIONS IN SUCH A MANNER AS TO MINIMIZE INTERFERENCE WITH USE OF PUBLIC WAYS AND ENVIRONMENTAL PERMIT REQUIREMENTS: SHOW COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES SILT FENCE ADJACENT USED FACILITIES, DO NOT CLOSE, BLOCK OR OTHERWISE OBSTRUCT USE OF PUBLIC WAYS OR FACILITIES CONCRETE ADDRESS: 2141 WEST EMORY RD PERMIT FOR STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES CURRENTLY ADOPTED BY CONT. CONTINUOUS WITHOUT WRITTEN CONSENT OF AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATIVE ROUTES TO CLOSED TDEC (CGP) AND THE PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP). PROVIDE ENGINEER AND TDEC REINFORCED SILT FENCE POWELL, TN 37849 OR OBSTRUCTED FACILITIES AS REQUIRED BY LOCAL REGULATIONS. WITH COPIES OF ALL REQUIRED PAPERWORK. PERFORM AND PROVIDE ALL MAINTENANCE, INSPECTIONS, RECORD CONSTRUCTION LIMIT EXISTING UTILITIES INDICATED TO REMAIN SHALL BE KEPT IN SERVICE AND PROTECTED FROM DAMAGE DURING PROPERTY DATA DOUBLE CATCH BASIN INSPECTIONS WILL BE PERFORMED BY PERSONNEL CERTIFIED IN THE TDEC LEVEL 1 EROSION CONTROL COURSE. SETBACK DIA. OR Ø DIAMETER DO NOT INTERRUPT EXISTING UTILITIES USED OR OCCUPIED FACILITIES UNLESS AUTHORIZED IN WRITING BY ADDRESS: 2109 W EMORY RD PROOF OF INSPECTOR'S CERTIFICATION SHALL BE KEPT ON FILE AT THE JOBSITE ALONG WITH ALL INSPECTION **DUCTILE IRON PIPE** AUTHORITIES HAVING JURISDICTION IF INTERRUPTION IS ALLOWED, PROVIDE ALTERNATIVE TEMPORARY SERVICES EXISTING TO BE REMOVED POWELL, TN 37849 REPORTS AND OTHER REQUIRED PAPERWORK IDENTIFIED IN THE PROJECT SWPPP AND THE CGP. MAINTENANCE ACCEPTABLE TO GOVERNING AUTHORITIES. DRAWING REPAIR NEEDS IDENTIFIED BY INSPECTIONS SHALL BE ADDRESSED WITHIN 7 DAYS OR BEFORE THE NEXT RAIN EVENT DRAINAGE SWALE LOCATE, IDENTIFY, SHUT OFF, CAP AND DISCONNECT UTILITIES AT PROPERTY LINE OR VALVE AS REQUIRED. DOCUMENT WHEN MAINTENANCE ITEMS ARE COMPLETED ON THE INSPECTION REPORT EAST PROVIDE BY-PASS CONNECTIONS AS REQUIRED TO MAINTAIN SERVICES TO ADJACENT PROPERTIES AND FACILITIES. PARCEL ID: MAINTAIN A RAIN GAUGE AND RAINFALL RECORDS ON SITE AS REQUIRED BY TDEC. 056NA00205 CHECK DAM PROVIDE A MINIMUM OF 72 HOURS ADVANCE NOTICE TO PROPERTY OWNERS IF SHUT-DOWN OF SERVICES IS ZONING: CA (GENERAL BUSINESS ZONE) EROSION AND SEDIMENTATION CONTROL IMPLEMENTATION: EACH FACE REQUIRED DURING THE CHANGE-OVER. DIVERSION DITCH STAKE THE DISTURBED AREA LIMITS AND UNDISTURBED AREAS IN THE FIELD BEFORE BEGINNING WORK COORDINATE WITH ALL UTILITY COMPANIES 48 HOURS PRIOR TO ANY DEMOLITION WORK. EXISTING IRON PIPE VERTICAL DATUM: NAVD 88 TUBES AND WATTLES **→) →) →)** EL. OR ELEV. REMOVE DEBRIS, RUBBISH, AND OTHER SUBSTANCES FROM SITE. LEGALLY TRANSPORT AND DISPOSE OF SUCH ELEVATION TEMPORARY EROSION AND SEDIMENTATION CONTROL: PROVIDE MEASURES TO PREVENT SOIL EROSION AND **EDGE OF PAVEMENT** MATERIALS OFF-SITE. PARKING SETBACKS: 10' FRONT DISCHARGE OF SOIL-BEARING WATER RUNOFF AND AIRBORNE DUST TO UNDISTURBED AREAS AND TO ADJACENT CURBLINE ENVIRONMENTAL PROTECTION AGENCY BURYING OR BURNING OF MATERIALS ON THE PROJECT SITE IS FORBIDDEN. 5' REAR PROPERTIES AND WALKWAYS, ACCORDING TO THE SITE EROSION AND SEDIMENTATION CONTROL DRAWINGS AS ET CETERA AVAILABILITY FOR DEMOLITION MUST BE CONFIRMED BY OWNER JUST PRIOR TO DEMOLITION. CURBLINE WELL AS THE CGP AND THE SWPPP 10' SIDE **EACH WAY** THE USE OF EXPLOSIVES IS STRICTLY PROHIBITED. **BEGIN SITE GRADING** EX. OR EXIST. BUILDING EXISTING HISTORIC ARTIFACTS, INCLUDING CORNERSTONES, THEIR CONTENTS, COMMEMORATIVE PLAQUES AND TABLETS BUILDING SETBACKS: 20' FRONT VERIFY THAT FLOWS OF WATER REDIRECTED FROM CONSTRUCTION AREAS OR GENERATED BY ANTIQUES, AND OTHER ITEMS OF SIGNIFICANCE SHALL REMAIN THE PROPERTY OF THE OWNER. NOTIFY OWNERS CONSTRUCTION ACTIVITY DO NOT ENTER OR CROSS TREE- OR PLANT- PROTECTION ZONES. 16' REAR FENCE FACE OF CURB REPRESENTATIVE IF SUCH ARTICLES ARE ENCOUNTERED. OBTAIN APPROVAL REGARDING METHOD OF REMOVAL. 5' SIDE INSPECT, REPAIR, AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES DURING FINISHED FLOOR FLEVATION SALVAGE SUCH ARTICLES AND TURN OVER TO OWNER. CONSTRUCTION UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED VEGETATION IF HAZARDOUS MATERIALS ARE ENCOUNTERED, COMPLY WITH APPLICABLE REGULATIONS IN HANDLING, REMOVING, FINISHED ADDRESS: 0 DRAWBRIDGE CT CLEAN, REPAIR, AND RESTORE ADJOINING PROPERTIES AND ROADS AFFECTED BY EROSION AND AND PROTECTING AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. FIRE PROTECTION SEDIMENTATION FROM THE PROJECT SITE DURING THE COURSE OF THE PROJECT. OBTAIN PERMISSION AND POWELL, TN 37849 SEWER MANHOLE FEET REGRADE ALL AREAS WHERE DEMOLITION HAS OCCURRED. PROVIDE SMOOTH TRANSITION BETWEEN EXISTING AND APPROPRIATE PERMITS TO ACCESS AREAS OUTSIDE THIS SITE. NEW GRADING, THERE SHALL NOT BE ANY VOIDS, PITS, OR MOUNDING OF EARTHWORK. **GREASE TRAP** AFTER FINAL STABILIZATION OF THE SITE, REMOVE EROSION AND SEDIMENTATION CONTROLS AND RESTORE AND GENERAL CONTRACTOR PARCEL ID: 056NB019 STABILIZE AREAS DISTURBED DURING REMOVAL. GRATE INLET STORM MANHOLE ZONING: PR (PLANNED RESIDENTIAL) STORMWATER CONTROL: COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. PROVIDE SITE NOTES GALLONS PER MINUTE BARRIERS IN AND AROUND EXCAVATIONS AND SUBGRADE CONSTRUCTION TO PREVENT FLOODING BY RUNOFF OF GAS VALVE JUNCTION BOX VERTICAL DATUM: NAVD 88 WHERE PROPOSED PAVEMENT ABUTS EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE CUT IN A NEAT PROJECT MANAGER OR ENGINEER MAY DIRECT CONTRACTOR TO LIMIT SURFACE AREA OF ERODIBLE EARTH STRAIGHT LINE THROUGH PAVEMENT AND BASE. PROVIDE A SMOOTH TRANSITION. MATERIAL EXPOSED BY CLEARING AND GRUBBING, EXCAVATION, BORROW AND EMBANKMENT CATCH BASIN PARKING SETBACKS: 5' REAR INSTALL EXPANSION JOINT MATERIAL BETWEEN NEW AND EXISTING CONCRETE AND/OR ASPHALT HIGH DENSITY POLYETHYLENE OPERATIONS AND MAY DIRECT CONTRACTOR TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION MAINTAIN AND PROTECT EXISTING PAVEMENT OR GRAVEL SURFACES WHICH ARE TO REMAIN. CONTRACTOR SHALL HIGH POINT CURB INLET CONTROL MEASURES. REPLACE DAMAGED AREAS, MATCHING DEPTH, MATERIAL AND GRADE OF EXISTING SURFACES. HP HDPE HIGH PERFORMANCE HIGH DENSITY POLYETHYLENE PROVIDE PERMANENT EROSION CONTROL MEASURES AT EARLIEST PRACTICAL TIME TO MINIMIZE DIMENSIONS SHOWN ARE TO FACE OF CURB, CENTER OF COLUMN, EDGE OF BUILDING EXTERIOR OR CENTER OF 0 HIGHWAY THROATED INLET REQUIREMENT FOR TEMPORARY EROSION CONTROLS. PERMANENTLY SEED AND MULCH CUT SLOPES AS PAINTED STRIPES OPYRIGHT © MBI COMPANIES INC SIDEWALK AND PAVING JOINTS ARE SHOWN FOR REFERENCE ONLY. REVIEW JOINT LAYOUT WITH ALL THE DESIGN PROFESSIONAL DENIES ANY AND ALL INSIDE DIAMETER OR INLINE DRAIN CLEAN OUT MAINTAIN TEMPORARY EROSION CONTROL SYSTEMS INSTALLED BY CONTRACTOR AS DIRECTED BY SPECIFICATIONS AND DETAILS BEFORE POURING CONCRETE. RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH INCH(ES) PROJECT MANAGER OR ENGINEER TO CONTROL SILTATION AT ALL TIMES THROUGHOUT WORK. PROVIDE INV/FRT SPECIFICATIONS AND THE DESIGN INTENT THEY HEADWALL SURVEY NOTES MAINTENANCE OR ADDITIONAL WORK DIRECTED BY ENGINEER WITHIN 48 HOURS OF NOTIFICATION BY ENGINEER. CONVEY, OR PROBLEMS WHICH ARISE FROM OTHERS IRON PIN FOUND EROSION CONTROL SHALL BE MAINTAINED UNTIL PAVING IS COMPLETED AND LAWNS HAVE BEEN ESTABLISHED. FAILURE TO OBTAIN AND/ OR FOLLOW THE DESIGN BOUNDARY AND TOPOGRAPHIC INFORMATION WAS PREPARED BY PROFESSIONAL LAND SYSTEMS, 205 $XXX.XX \times$ SPOT GRADE XXX.XX — PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM EROSION AND SEDIMENT DAMAGE THROUGHOUT ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES JUNCTION BOX LAMAR AVENUE, CLINTON, TN 37716. SURVEY PERFORMED 11/16/2022. THE LIFE OF THE PROJECT UNTIL A NOTICE OF TERMINATION IS FILED WITH TDEC. CONTRACTOR COORDINATE WITH OR CONFLICTS WHICH ARE ALLEGED. COORDINATES ARE IN FEET AND REFERENCE TO **TENNESSEE STATE PLANE SYSTEM OF 1983**. **▼**OUT THE ENGINEER AND OWNER FOR APPROVAL TO FILE A NOTICE OF TERMINATION AT THE APPROPRIATE TIME. BEARINGS SHOWN ARE BASED ON MAGNETIC NORTH. KNOXVILLE UTILITIES BOARD PROJECT INFORMATION STABILIZATION MEASURES WILL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE THE VERTICAL DATUM IS BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) RIPRAP OUTLET PROTECTION CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. TEMPORARY OR PERMANENT SOIL FIELD VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN ON STABILIZATION AT THE CONSTRUCTION SITE (OR PHASE OF THE PROJECT) MUST BE COMPLETED NO LATER THAN 14 DRAWINGS ARE APPROXIMATE IN DEPTH AND LOCATION. REPAIR EXISTING UTILITIES DAMAGED DURING POUNDS TEMP. CONSTRUCTION EXIT DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CONSTRUCTION AT NO COST TO THE OWNER. LINEAR FEET CEASED. SLOPES STEEPER THAN 3:1 SHALL BE STABILIZED NOT LATER THAN 7 DAYS AFTER CONSTRUCTION ACTIVITY ON THE SLOPE HAS TEMPORARILY OR PERMANENTLY CEASED. PERMANENT STABILIZATION WITH PERENNIA MAXIMUM VEGETATION OR OTHER PERMANENTLY STABLE, NON-ERODING SURFACE SHALL REPLACE ANY TEMPORARY MANHOLE THRUST BLOCK <u> 111r</u> FIELD VERIFY CRITICAL GRADES AT CONNECTION POINTS SUCH AS ENTRANCES PRIOR TO CONSTRUCTION AND MEASURES AS SOON AS PRACTICABLE. UNPACKED GRAVEL CONTAINING FINES OR CRUSHER RUNS WILL NOT BE MINIMUM NOTIFY PROJECT MANAGER OR ENGINEER OF ANY DISCREPANCIES. CONSIDERED A NON-ERODING SURFACE. MUTCD MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES WATER VALVE POWELL SHOPPING CENTER THE MINIMUM SLOPE FOR PARKING, SIDEWALKS, AND LANDSCAPED AREAS IS 1%. FIELD VERIFY MINIMUM SLOPE IS ALL WATER DISCHARGED FROM EXCAVATIONS AND TEMPORARY SEDIMENT PONDS SHALL BE FILTERED USING SEDIMENT CONTROLS ACCEPTABLE TO TDEC AS WELL AS THE LOCAL AUTHORITY HAVING JURISDICTION. WATER METER UNLESS OTHERWISE NOTED, RIP-RAP SHALL BE T.D.O.T. MACHINED CLASS A-1 WITH A MEDIAN RIP-RAP SIZE D50 OF 6", MAXIMUM SLOPE IN HANDICAP PARKING AREAS IS 2%. MAXIMUM LONGITUDINAL SIDEWALK SLOPE IS 5%. SLOPE NOT APPLICABLE 9" THICK AND SHALL BE UNDERLAIN WITH A NON-WOVEN GEOTEXTILE FABRIC. SIDEWALKS AWAY FROM BUILDING AT $1\frac{1}{2}$ % CROSS SLOPE UNLESS OTHERWISE NOTED. SIDEWALK CROSS SLOPE NATIONAL FIRE PROTECTION AGENCY POST INDICATOR VALVE CONCRETE WASHOUT AREA SHALL BE IN CONFORMANCE WITH STANDARDS OF TDEC, AS WELL AS THE LOCAL NOT IN CONTRACT PERMITTING AUTHORITY HAVING JURISDICTION. 2109 W EMORY RD & 0 DRAWBRIDGE UNLESS OTHERWISE NOTED, ELEVATIONS SHOWN REPRESENT FINISHED GRADES. ADJUST FOR PAVEMENT NEW IRON PIN FIRE HYDRANT AT THE END OF THE PROJECT, DURING FINAL SITE STABILIZATION, DEWATER TEMPORARY SEDIMENT PONDS AND THICKNESS, TOPSOIL, ETC. NO. OR # NUMBER TRAPS IN CONFORMANCE WITH STANDARDS OF TDEC. AS WELL AS THE LOCAL PERMITTING AUTHORITY HAVING ADJUST DRAINAGE STRUCTURE TOPS AS NECESSARY TO MATCH FINAL GRADES. NOTICE OF INTENT FIRE DEPARTMENT CONNECTION JURISDICTION. REMOVE ALL TEMPORARY EROSION CONTROLS AT THE END OF THE PROJECT AND COORDINATE WITH NO SLOPE SHALL BE STEEPER THAN 2(H):1(V) NPDES NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM OWNER TO FILE NOTICE OF TERMINATION, AT THE APPROPRIATE TIME, WITH AUTHORITY HAVING JURISDICTION. ALL EARTHWORK SHALL MEET THE FOLLOWING REQUIREMENTS AT A MINIMUM: **ACTIVE DESIGN PHASE** NOT TO SCALE IRRIGATION VALVE CONTRACTOR COORDINATE WITH ENGINEER AT BEGINNING OF LAND DISTURBANCE TO DETERMINE WHETHER OR NOT FOLLOW RECOMMENDATIONS OF THE PROJECT SUBSURFACE INVESTIGATION REPORT. REPORT ANY FOR REVIEW ONL AN INITIAL SITE ASSESSMENT INSPECTION BY THE ENGINEER IS REQUIRED. IF REQUIRED, THE SITE ASSESSMENT CONTRADICTIONS TO THE PROJECT MANAGER. SOIL EXCAVATION SHALL BE CONSIDERED AS GAS VALVE INSPECTION BY THE ENGINEER MUST BE PERFORMED WITHIN 1 MONTH OF STARTING CONSTRUCTION. ALLOW FOR PERMITTING ONL UNCLASSIFIED. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION ENGINEER A MINIMUM OF 1 WEEK NOTICE IN SCHEDULING SITE ASSESSMENT INSPECTIONS. OBTAIN CERTIFICATION FROM A TESTING LAB, SIGNED AND SEALED BY AN ENGINEER, STATING THAT SCHEMATIC DESIG GAS METER ALL EARTHWORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND SUBSURFACE **DESIGN DEVELOPMEN** INVESTIGATION REPORT AND SOILS ARE CAPABLE OF SUPPORTING THE STRUCTURE AND UTILITY POLE POINT OF BEGINNING (ALIGNMENT) CONSTRUCTION BIDDING IMPROVEMENTS. POINT OF ENDING (ALIGNMENT) COORDINATE WITH EXISTING UTILITIES AND STORM SEWER INSTALLATION TO AVOID CONFLICTS. UTILITY SUBMIT SOIL SAMPLES FOR TESTING AS REQUIRED BY THE PROJECT GEOTECHNICAL ENGINEER. CONSTRUCTION DOCUMENT ELECTRICAL VAULT POWER/UTILITY POLE INSTALLATION AND MATERIAL SHALL MEET THE REQUIREMENTS OF HALLSDALE POWELL & KUB AND ALL SOIL FOR COMPACTED BACKFILL AND ENGINEERED FILL SHALL CONSIST OF CLEAN GRANULAR POUNDS PER SQUARE INCH AS-BUILT RECORD SI APPLICABLE CODES. COORDINATE WITH HALLSDALE POWELL & KUB PRIOR TO CONSTRUCTION TO DETERMINE SOILS, CLAY SOILS, OR SHALE SOILS HAVING A PLASTICITY INDEX OF LESS THAN 35 AND A MINIMUM ELECTRIC METER POLYVINYL CHLORIDE MATERIAL, INSTALLATION TESTING AND INSPECTION REQUIREMENTS. VERIFY LOCATION AND ELEVATION OF REVISION INFORMATION DENSITY OF 90 POUNDS PER CUBIC FOOT WHEN COMPACTED TO ONE HUNDRED PERCENT (100%) PAVEMENT EXISTING UTILITIES PRIOR TO CONSTRUCTION. OF ITS MAXIMUM DRY DENSITY PER STANDARD PROCTOR TEST. (ASTM D698) MATERIAL SHALL BE ELECTRICAL BOX PAVEMENT REPAIR AND TRAFFIC CONTROL SHALL MEET THE REQUIREMENTS OF THE AGENCY HAVING FREE OF VEGETATION, ROOTS, ROCKS LARGER THAN 2" IN ANY DIMENSION, DEBRIS AND OTHER 1 YEAR STORM PEAK FLOW 02/20/2023 COUNTY ENGINEER JURISDICTION. DELETERIOUS MATERIALS. RESIDUAL SOIL EXCAVATED AT THE SITE MAY BE USED FOR BACKFILL IF IT **GUY WIRE** 10 YEAR STORM PEAK FLOW 03/23/2023 COORDINATE LOCATION OF GAS LINE TO AVOID CONFLICTS WITH OTHER UTILITIES. CONNECTION TO EXISTING GAS MEETS THE SPECIFICATION REQUIREMENTS. THE MOISTURE CONTENT OF THE FILL SOILS SHOULD BE QUALIFYING LOCAL PROGRAM SERVICE SHALL MEET THE REQUIREMENTS OF KUB. CONTACT KUB AND COORDINATE INSTALLATION. MAINTAINED WITHIN +3 AND -3 PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT LIGHT STANDARD GAS METER AND SUPPLY LINE SHALL BE SIZED AND INSTALLED BY **KUB** FOR THE LOADS SHOWN ON THE PLUMBING DETERMINED FROM THE STANDARD PROCTOR COMPACTION TEST. DRAWINGS. PROVIDE 4" SLEEVE UNDER PAVED AREAS. ALL FILL IN AREAS TO BE OCCUPIED BY THE BUILDING(S) AND PAVING, INCLUDING AN AREA 10 FEET TELEPHONE PEDESTAL REINFORCED CONCRETE PIPE IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY AND ALL PERMITS AND LICENSES REQUIRED TO OUTSIDE THE PERIMETERS THEREOF, SHALL BE CONTROLLED (ENGINEERED) FILL AND THE WORK IN THE PUBLIC R.O.W. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP FEES AND COORDINATION COMPACTION SHALL BE TESTED BY A LICENSED AND QUALIFIED GEOTECHNICAL ENGINEER. BOLLARD REFERENCE WITH HALLSDALE POWELL TO ESTABLISH WATER AND SEWER SERVICE. CONTROLLED FILL IN AREAS OF BUILDINGS SHALL BE COMPACTED IN MAXIMUM 4" LIFTS TO AT REQUIRED PROVIDE 10' MIN. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES. WHERE CROSSINGS OCCUR, LEAST 98% OF MAXIMUM DRY DENSITY WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN SLOPE DRAIN REVISION PROVIDE 18" MIN SEPARATION BETWEEN WATER AND SEWER LINES. PROVIDE 6" MIN. CLEARANCE BETWEEN STORM ACCORDANCE WITH ASTM SPECIFICATION D-698 (STANDARD PROCTOR). FILL IN AREAS OF ASPHALT R.O.W. RIGHT-OF-WAY KEY PLAN SEWERS AND OTHER UTILITIES. UNLESS OTHERWISE NOTED PROVIDE 3' MINIMUM COVER FOR ALL UTILITIES. PAVING SHALL BE COMPACTED IN MAXIMUM 6" LIFTS TO AT LEAST 98% OF MAXIMUM DRY DENSITY SLOPE MATTING PROVIDE #57 STONE BEDDING AND BACKFILL TO SUBGRADE FOR ALL UTILITIES LOCATED IN PAVED AREAS. WITHIN 3% OF OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM SPECIFICATION D-698. ADJUST ALL EXISTING UTILITY STRUCTURES, WHETHER SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT, TO THE UPPER 12 INCHES OF FILL BENEATH PAVEMENTS AND UPPER 24 INCHES BENEATH FOOTINGS TEMPORARY STABILIZATION SANITARY MATCH FINAL GRADES. ADJUSTMENTS SHALL MEET THE REQUIREMENTS OF HALLSDALE POWELL & KUB. AND GRADE SLABS SHALL BE COMPACTED TO 100%. PROVIDE 95% COMPACTION IN ALL OTHER SCHEDULE COORDINATE WITH HALLSDALE POWELL & KUB TO REMOVE OR ABANDON EXISTING UTILITIES, WHETHER PERMANENT STABILIZATION STORM DRAIN SPECIFICALLY INDICATED ON THE DRAWINGS OR NOT, THAT ARE LOCATED WITHIN THE PROJECT LIMITS AND NO AFTER STRIPPING TOPSOIL, ALL FILL AREAS SHALL BE PROOFROLLED AND MONITORED BY THE STANDARD DIMENSION RATIO CONCRETE WASHOUT SQUARE FEET UNLESS OTHERWISE NOTED, ALL SANITARY SEWER PIPE AND FITTINGS SHALL BE PVC MEETING THE FILL OUTSIDE OF BUILDING AND PAVEMENT SHALL BE PLACED IN 8" LIFTS IN THE PRESENCE OF A SPECIAL POLLUTION ABATEMENT PERMIT REQUIREMENTS OF ASTM D 3034. USE SDR 35 UNLESS OTHERWISE SPECIFIED, FITTINGS SHALL MEET THE FILTER RING REPRESENTATIVE OF THE SOIL TESTING LAB, COMPACTED TO SPECIFIED REQUIREMENTS, AND SQUARE REQUIREMENTS OF ASTM D 3311 AND ASTM D 2665. PIPE SHALL HAVE AN INTEGRAL BELL END WITH GASKET SEAL TESTED EVERY 900 SF FOR EACH LAYER OF FILL. REMEDY ANY INADEQUATELY PLACED FILL TO MEET STREET BENCHMARK WHICH HAS BEEN REINFORCED WITH A STEEL RING, BAND, OR OTHER RIGID MATERIAL THAT PERMANENTLY LOCKS PROJECT SPECIFICATIONS. STATION THE GASKET IN PLACE. THE JOINT SHALL MEET THE REQUIREMENTS OF ASTM D 3212. GASKETS SHALL BE OF A ALL LANDSCAPED AND GRASS AREAS SHALL HAVE A MINIMUM OF 5" OF CLEAN TOPSOIL. SANITARY SEWER CONTROL POINT LOCK-IN TYPE GASKET, REIBER TYPE OR APPROVED SUBSTITUTE, MEETING THE REQUIREMENTS OF ASTM F-477. TOLERANCES FOR SURFACES: HARDSCAPE: ± 0.025' SANITARY SEWER FORCE MAIN UNLESS OTHERWISE NOTED, MINIMUM SLOPE SHALL BE 2.0% FOR 4" LINE AND 1.0% FOR 6" LINES. LANDSCAPE/GRASSED AREAS: ± 0.1' STORM WATER POLLUTION PREVENTION PLAN UNLESS OTHERWISE NOTED, ALL WATER LINES SHALL BE AWWA C900 PVC (CLASS 200) WITH BELL END FOR ALL OFFSITE BORROW AND SPOIL SITES, IF REQUIRED, SHALL BE PROPERLY PERMITTED. SHEET INFORMATION PUSH-ON TYPE JOINTS. JOINTS SHALL CONSIST OF COMPACT PATTERN DUCTILE IRON FITTINGS MEETING THE REQUIREMENTS OF AWWA C 153 WITH RUBBER GASKETS MEETING THE REQUIREMENTS OF AWWA C 111. TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION SHEET ISSUED: 01/20/202 DRAINAGE NOTES INSTALLATION SHALL COMPLY WITH UL 1285. TENNESSEE DEPARTMENT OF TRANSPORTATION ALL FIRE WATER LINES SHALL BE CLASS 350 DUCTILE IRON WITH PUSH-ON TYPE JOINTS. PIPE SHALL COMPLY WITH FIELD VERIFY CRITICAL GRADES AT CONNECTION POINTS PRIOR TO CONSTRUCTION OR FABRICATION OF PRECAST AWWA C151 AND CEMENT - MORTAR LINING SHALL COMPLY WITH AWWA C104. INSTALLATION SHALL COMPLY WITH TOP OF CASTING AWWA C600. UNLESS OTHERWISE NOTED, HDPE SHALL BE HANCOR, LANE HDPE, OR ADS N-12 SMOOTH INTERIOR WALL HDPE PIPE REVIEWED BY TOP OF CURB ELEVATION PROVIDE #57 STONE BEDDING AND BACKFILL TO PAVEMENT SUBGRADE OR 12" ABOVE PIPE IN GRASS AREAS. ALL PIPE . FIRE LINE SIZE SHALL BE VERIFIED BY SPRINKLER CONTRACTOR. CERTIFIED CALCULATIONS SHALL BE SUBMITTED TOP OF PAVEMENT ELEVATION AND FITTINGS SHALL MEET THE REQUIREMENTS OF AASHTO M252, TYPE S (4"-10") OR AASHTO M294, TYPE S (12"-48"). TO THE OWNER. SEE THE FIRE PROTECTION PLAN FOR FURTHER REQUIREMENTS. ALL FIRE PROTECTION PIPING TOP OF WALL GASKET SHALL MEET THE REQUIREMENTS OF ASTM F477, INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D2321 STARTING FROM THE POINT OF SERVICE MUST BE INSTALLED BY A TENNESSEE REGISTERED SPRINKLER TYPICAL JOINTS SHALL BE SILT TIGHT AND NON-RATED WATERTIGHT GASKETS SHALL BE COVERED WITH A REMOVABLE WRAP CONTRACTOR. BY THE MANUFACTURER TO ENSURE THAT THE GASKET IS FREE FROM DEBRIS. ALL WATER LINE MATERIALS SHALL BE LEAD FREE VERTICAL UNLESS OTHERWISE NOTED, RCP SHALL BE CLASS III CONFORMING TO ASTM C-76 (LATEST REVISION): "STANDARD SPECIFICATION FOR REINFORCED CONCRETE CULVERT, STORM DRAIN, AND SEWER PIPE". ROOF LEADERS SHALL BE ASTM D3034 SDR 35 PVC WITH GASKET JOINTS. UNLESS OTHERWISE NOTED ON THE PLANS, CIVIL NOTES WITH 4" SHALL BE LAID AT A 2% MINIMUM SLOPE AND 6" SHALL BE LAID AT 1% MINIMUM SLOPE. & LEGEND WATER SURFACE COORDINATE WITH GOVERNING AGENCY FOR ALL REQUIRED MATERIAL APPROVALS, INSPECTIONS AND TESTING. Call before you dig. WATER VALVE SHEET NO .: W.W.F WELDED WIRE FABRIC W.W.M. WELDED WIRE MESH YARD DRAIN

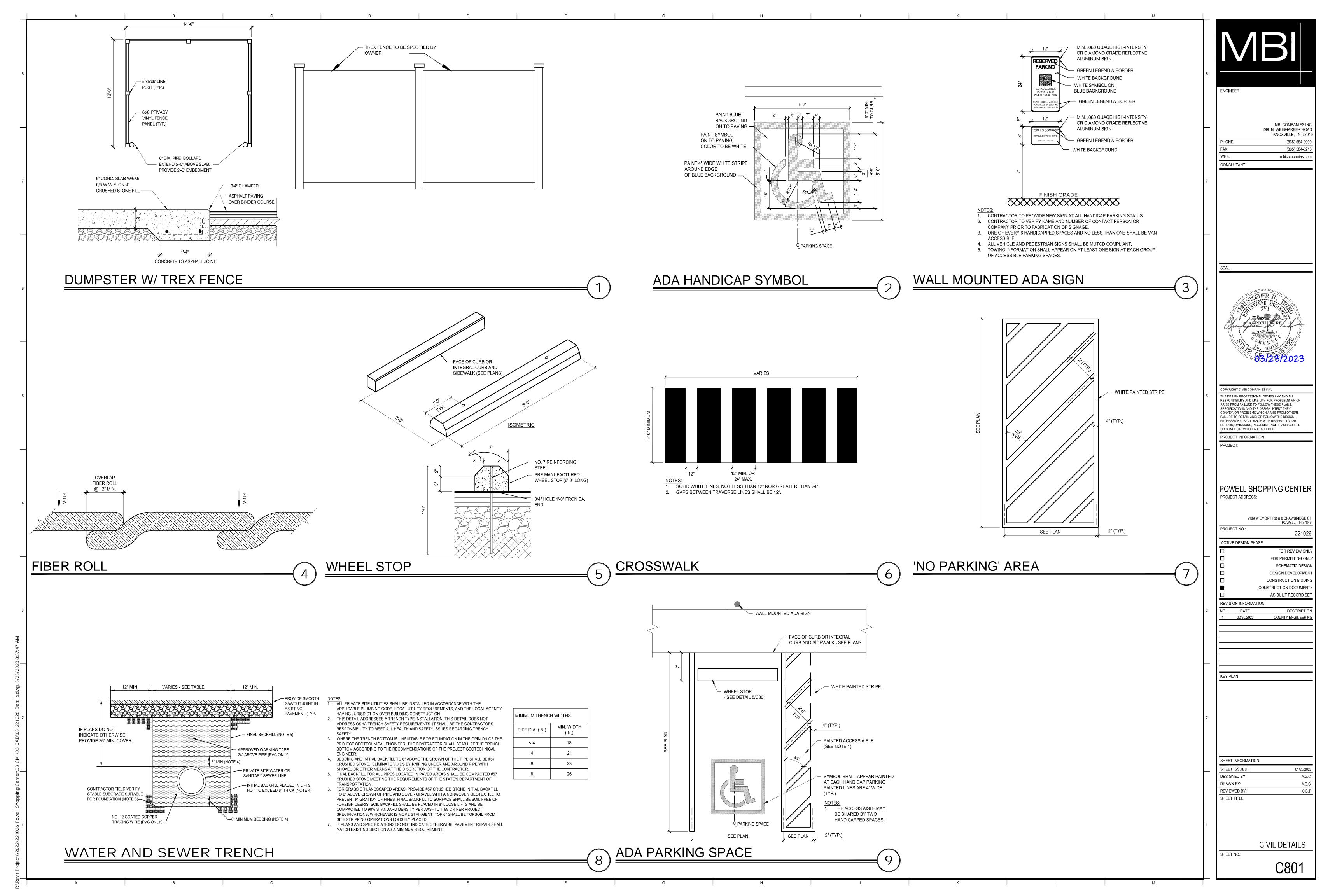


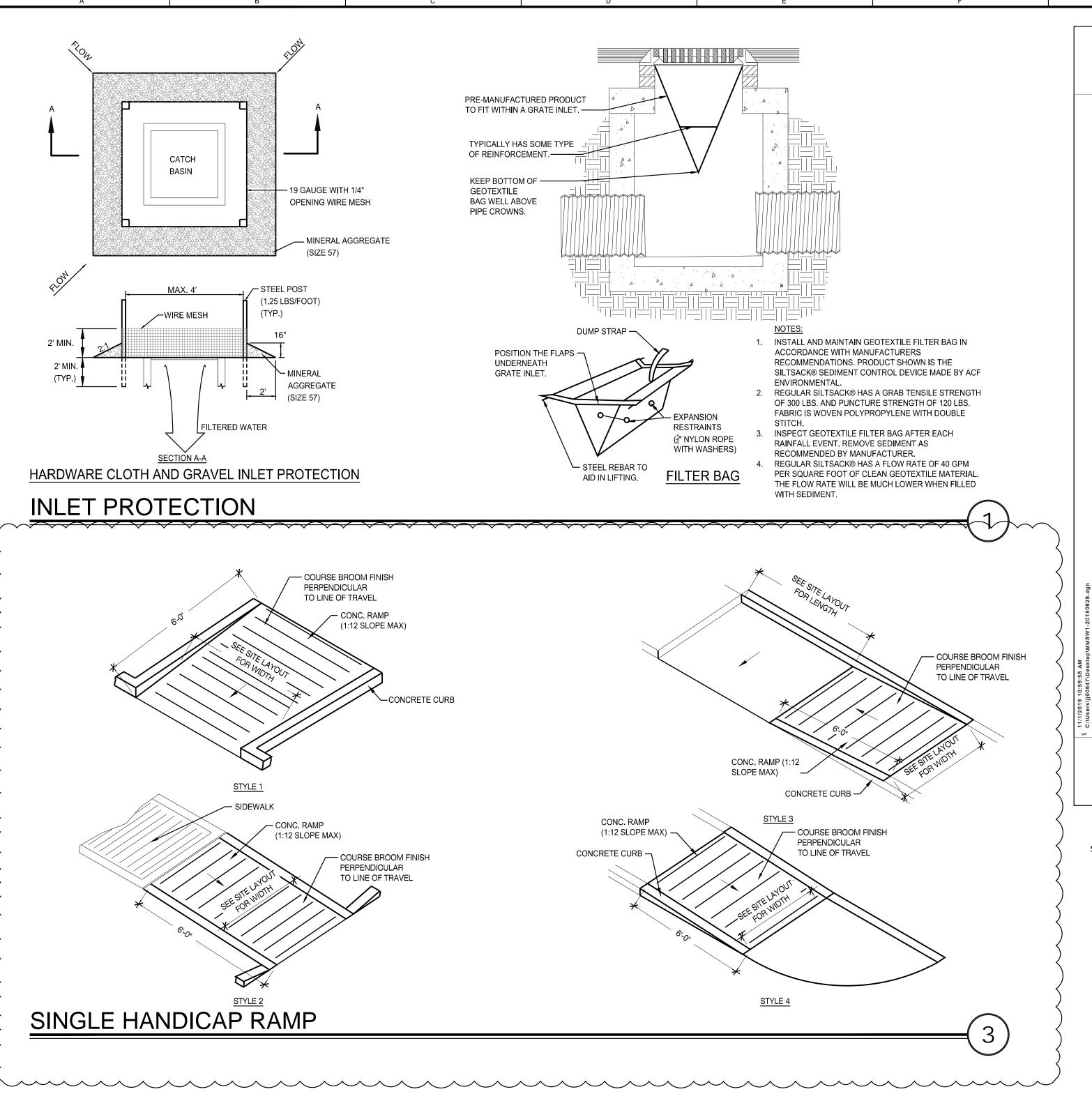


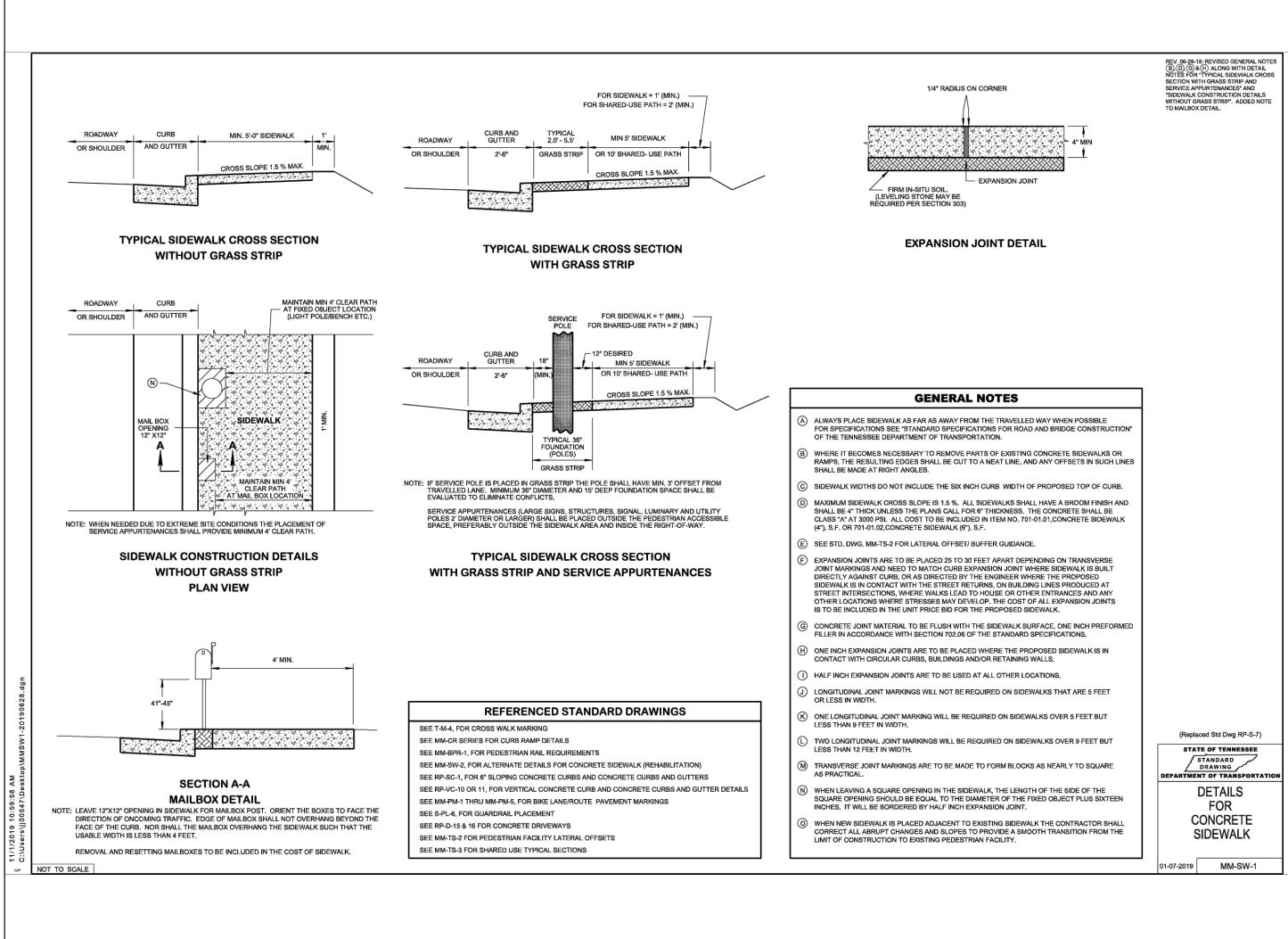












MM-SW-1 TDOT CONCRETE SIDEWALK

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SHEET INFORMATION

SHEET ISSUED: 01/20/2023

DESIGNED BY: A.G.C.

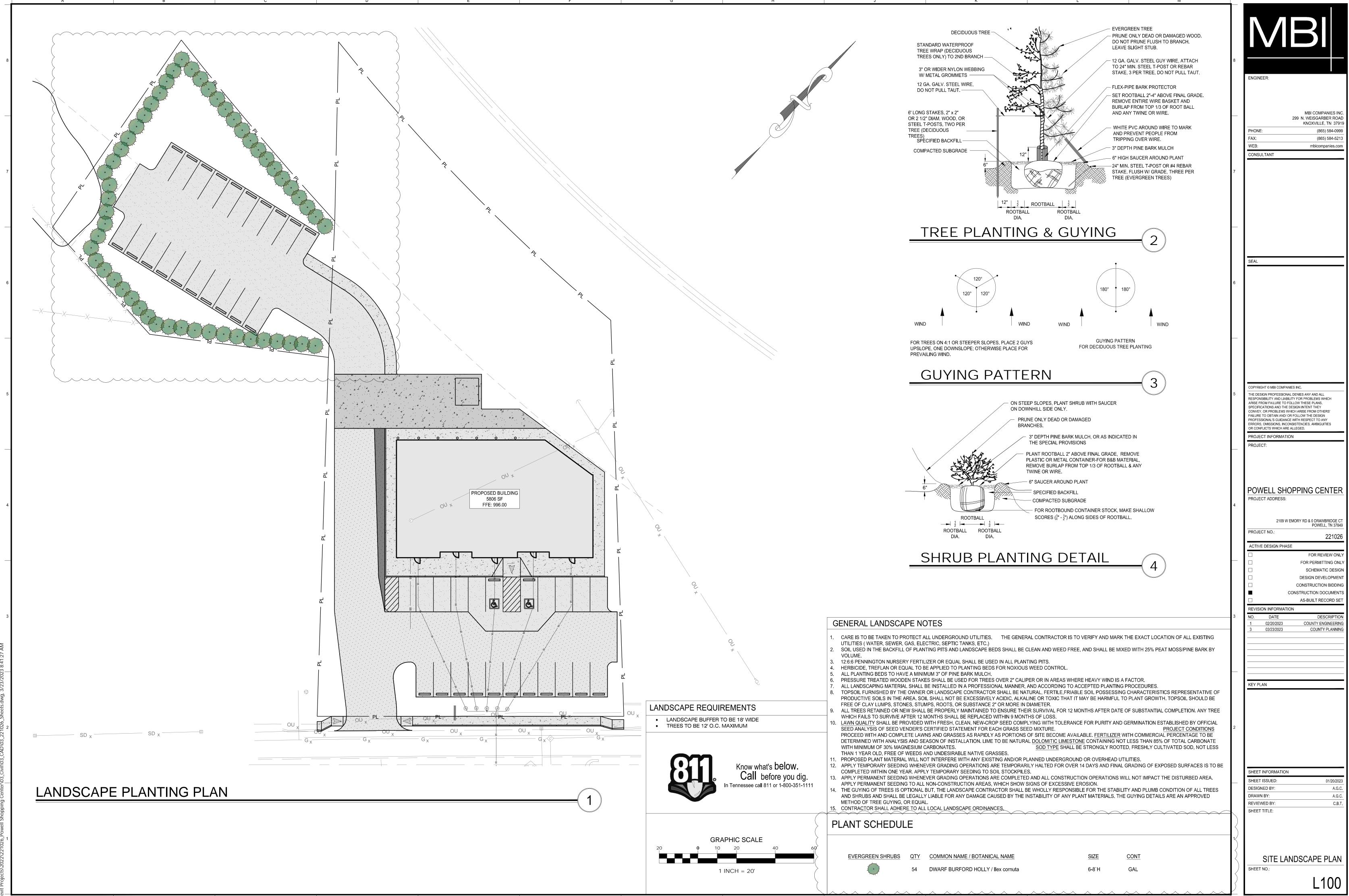
DRAWN BY: A.G.C.

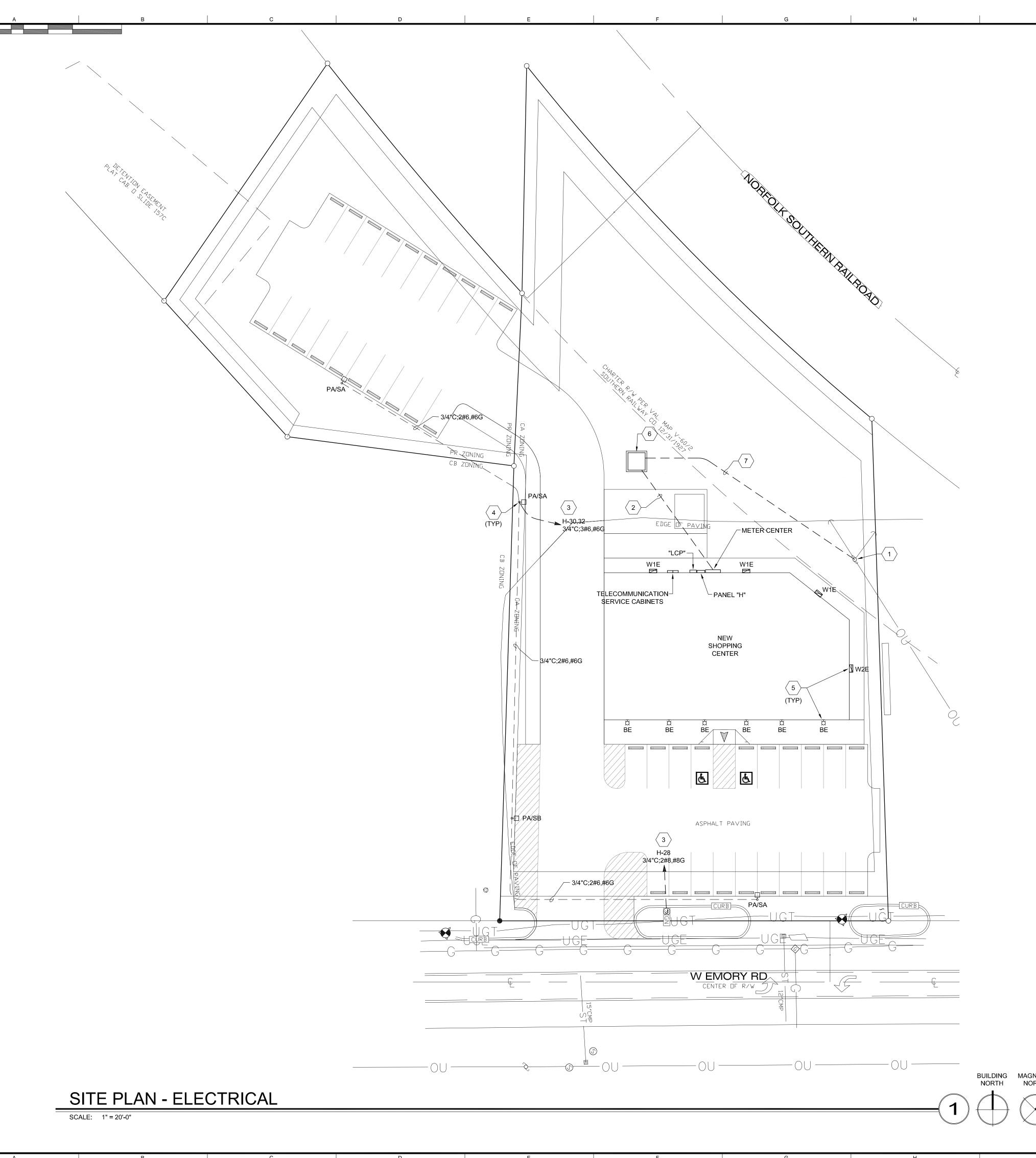
REVIEWED BY: C.B.T.

SHEET TITLE:

CIVIL DETAILS

C802





GENERAL SHEET NOTES:

- 1. SEE SHEET E001 FOR ELECTRICAL LEGEND AND GENERAL NOTES.
- 2. COORDINATE ALL UNDERGROUND UTILITY WORK WITH CIVIL DRAWINGS BEFORE STARTING ANY WORK TO AVOID INTERFERENCE WITH EXISTING AND NEW UNDERGROUND WATER, GAS, SEWER, AND STORM UTILITY LINES.

KEYED SHEET NOTES:

- 1. EXISTING UTILITY COMPANY RISER POLE, ASSUMED. SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.
- 2. UNDERGROUND SECONDARY FEED FROM UTILITY TRANSFORMER TO BUILDING "METER CENTER". FIELD COORDINATE LOCATION WITH KUB PRIOR TO DOING ANY WORK. SEE RISER DIAGRAM ON SHEET E401 FOR ADDITIONAL INFORMATION.
- 3. SITE LIGHTING CIRCUIT CONTROLLED VIA THE LIGHTING CONTROL PANEL "LCP". SEE LIGHTING CONTROL PANEL SCHEDULE ON SHEET E201 FOR ADDITIONAL INFORMATION.
- 4. NEW SITE LIGHTING FIXTURE WITH POLE AND BASE. SEE SITE LIGHTING FIXTURE SCHEDULE AND DETAILS 2/ES102 AND 3/ES102 FOR ADDITIONAL INFORMATION.
- 5. SEE LIGHTING PLAN E201 FOR BUILDING MOUNTED FIXTURES AND CIRCUITING.
- 6. APPROXIMATE TRANSFORMER AND PAD LOCATION. FIELD VERIFY WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- 7. UNDERGROUND PRIMARY TO UTILITY TRANSFORMER, SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.



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ELECTRICAL ENGINEER
STEPHEN MARK
NEWLIN JR.

SEAL

PHONE:

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FAILURE TO OBTAIN AND/ OR FOLLOW THE DESIGN
PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY
ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES
OR CONFLICTS WHICH ARE ALLEGED.

PROJECT INFORMATION

PROJECT:

POWELL SHOPPING CENTER

PROJECT ADDRESS:

PROJECT ADDRESS.

2109 W. EMORY RD

POWELL, TN 37849

EDESIGN PHASE

FOR REVIEW ONLY

FOR PERMITTING ONLY
SCHEMATIC DESIGN
DESIGN DEVEL OPMENT

DESIGN DEVELOPMENT

CONSTRUCTION BIDDING

CONSTRUCTION DOCUMENTS

☐ AS-BUILT RECORD SET

EVISION INFORMATION

DATE

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 01-26-2023

DESIGNED BY: SMN

DRAWN BY: IDM

REVIEWED BY: SMN

SITE PLAN -ELECTRICAL

SHEET NO.:

SHEET TITLE:

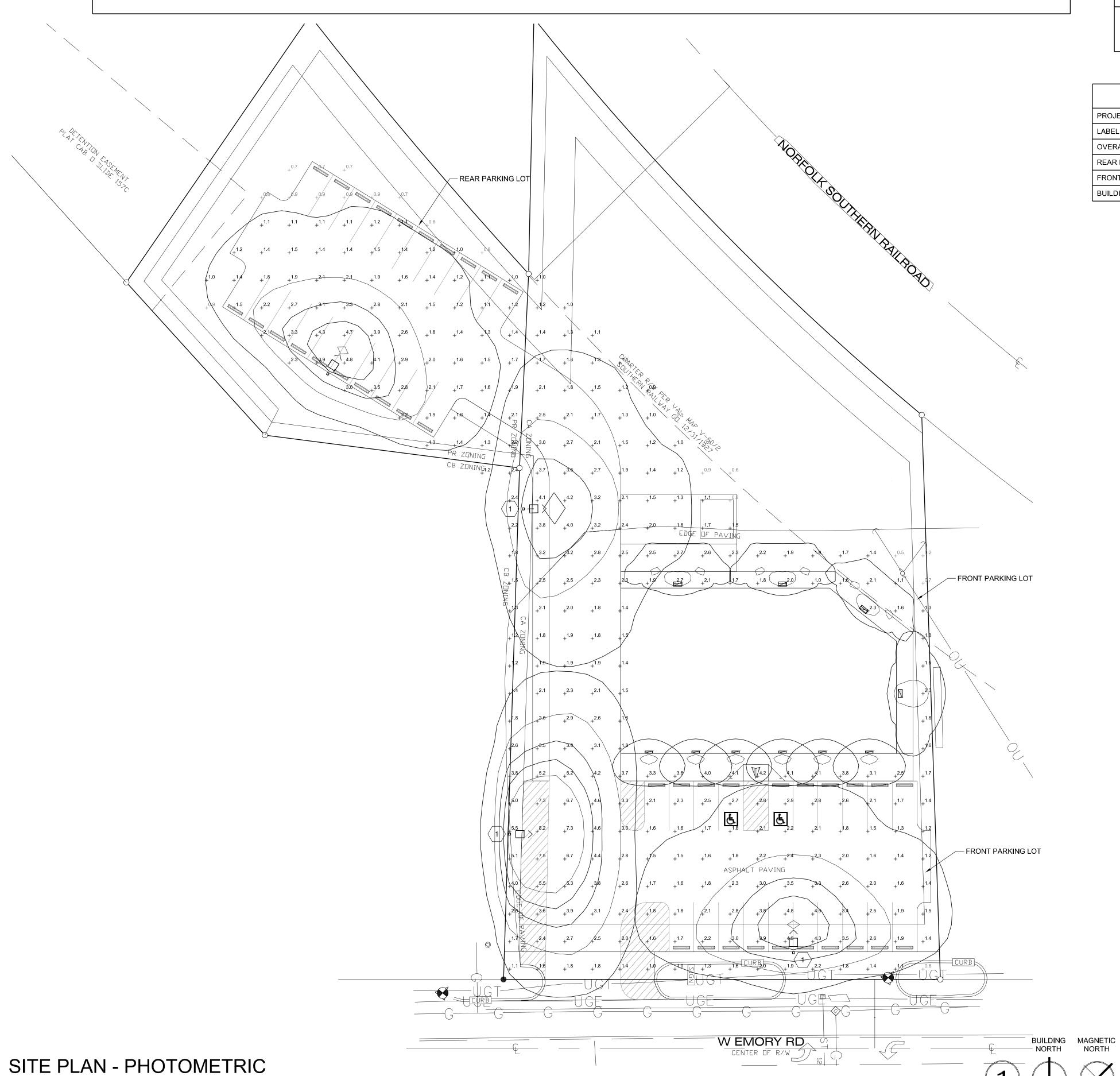
ES101

SITE LIGHTING FIXTURE SCHEDULE VOLTS LUMENS COLOR TEMP MOUNTING HEIGHT MANUFACTURER CATALOG NO. REMARKS LED 195 208 27,639 4000K POLE 33'-0" LITHONIA RSX4-LED-P1-40K-R4-MVOLT-RPA-NLTAIR2-PIRHN-DDBXD LED AREA LIGHT. 1 FIXTURE, COLOR: DARK BRONZE (NOTE 2) LED 195 208 27,379 POLE 33'-0" LITHONIA RSX4-LED-P1-40K-R2-MVOLT-RPA-NLTAIR2-PIRHN-DDBXD LED AREA LIGHT. 1 FIXTURE, COLOR: DARK BRONZE (NOTE 2) 30'-0" LITHONIA RTA-30-8E-DM28AS-FBC-VD-DDBXD ROUND TAPERED STEEL POLE. COLOR: DARK BRONZE

NOTES:
1. PROVIDE ALL NECESSARY EQUIPMENT, ACCESSORIES, AND MOUNTING HARDWARE FOR A COMPLETE INSTALLATION OF ALL SITE LIGHTING FIXTURES.

SCALE: 1" = 20'-0"

7. FROVIDE ALL NECESSART EQUIPMENT, ACCESSORIES, AND MOONTING HARDWARE FOR A COMPLETE INSTALLATION OF ALL SITE LIGHTING HATORES.
2. FIXTURE SHALL HAVE MOTION SENSOR FOR SETBACK CONTROL OF FIXTURES TO 70% OUTPUT WHEN MOTION IS NOT DETECTED. WHEN MOTION IS DETECTED BY ANY SENSOR ALL LIGHTS SHALL COME UP TO FULL BRIGHTNESS.



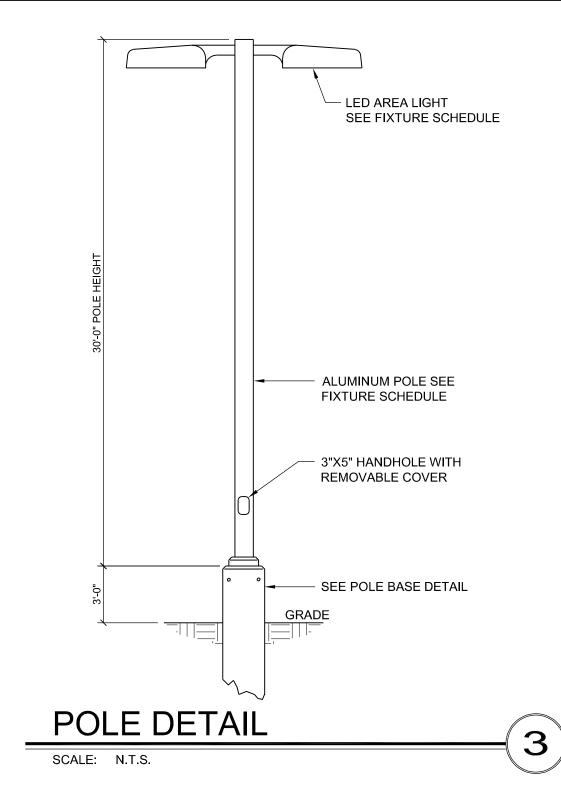
GENERAL SHEET NOTES:

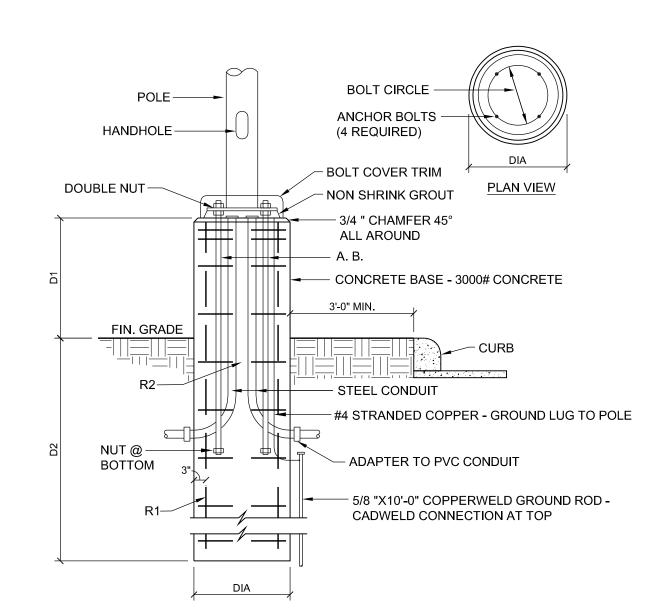
- 1. SEE SHEET E001 FOR ELECTRICAL LEGEND AND GENERAL NOTES.
- ALL EXTERIOR LIGHTING FIXTURES ARE CONTROLLED THROUGH THE LIGHTING CONTROL PANEL "LCP". SEE SHEET E204
 FOR LIGHTING CONTROL SCHEDULES.

KEYED SHEET NOTES:

1. ADD HOUSE-SIDE SHIELD TO FIXTURE INDICATED.

PHOTOMETRIC SUMMARY										
PROJECT: AHM - ALABAMA PPO) BUILDING									
LABEL	SYMBOL	AVG		MAX		MIN		MAX/MIN	AVG/MIN	L.L.F.
OVERALL CALC ZONE	+	2.2	FC	8.2	FC	0.2	FC	41.0 : 1	11.0 : 1	0.95
REAR PARKING LOT	+	2.0	FC	4.8	FC	0.7	FC	6.9 : 1	2.9 : 1	0.95
FRONT PARKING LOT	+	2.4	FC	4.8	FC	1.3	FC	3.7 : 1	1.8 : 1	0.95
BUILDING PERIMETER	+	2.4	FC	4.2	FC	0.8	FC	5.3 : 1	3.0 : 1	0.95

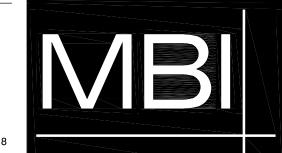




POLE H	г.	D1	D2	DIA	R1	R2	A. B.'s (A307)	M max
30'		3'-0"	6'-0"	24"	(4) # 6 BAR	#3 TIES @ 12"O.C. 3" O.C. @ TOP	(4) 3/4" X 36"	10.25 K-FT

POLE BASE DETAIL

SE DETAIL 2



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CONSULTANT

STEPHEN MARK NEWLIN JR.

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PROJECT INFORMATION

PROJECT:

POWELL SHOPPING

PROJECT ADDRESS:

2109 W. EMORY RD. POWELL, TN 37849

ROJECT NO.: 221026

CENTER

CTIVE DESIGN PHASE

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SCHEMATIC DESIGN
DESIGN DEVELOPMENT
CONSTRUCTION BIDDING

AS-BUILT RECORD SET

DATE
04/08/2022

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 01-26-2023

DESIGNED BY: SMN

DRAWN BY: IDM

REVIEWED BY: SMN

SITE PLAN -PHOTOMETRIC

SHEET NO.:

ES102