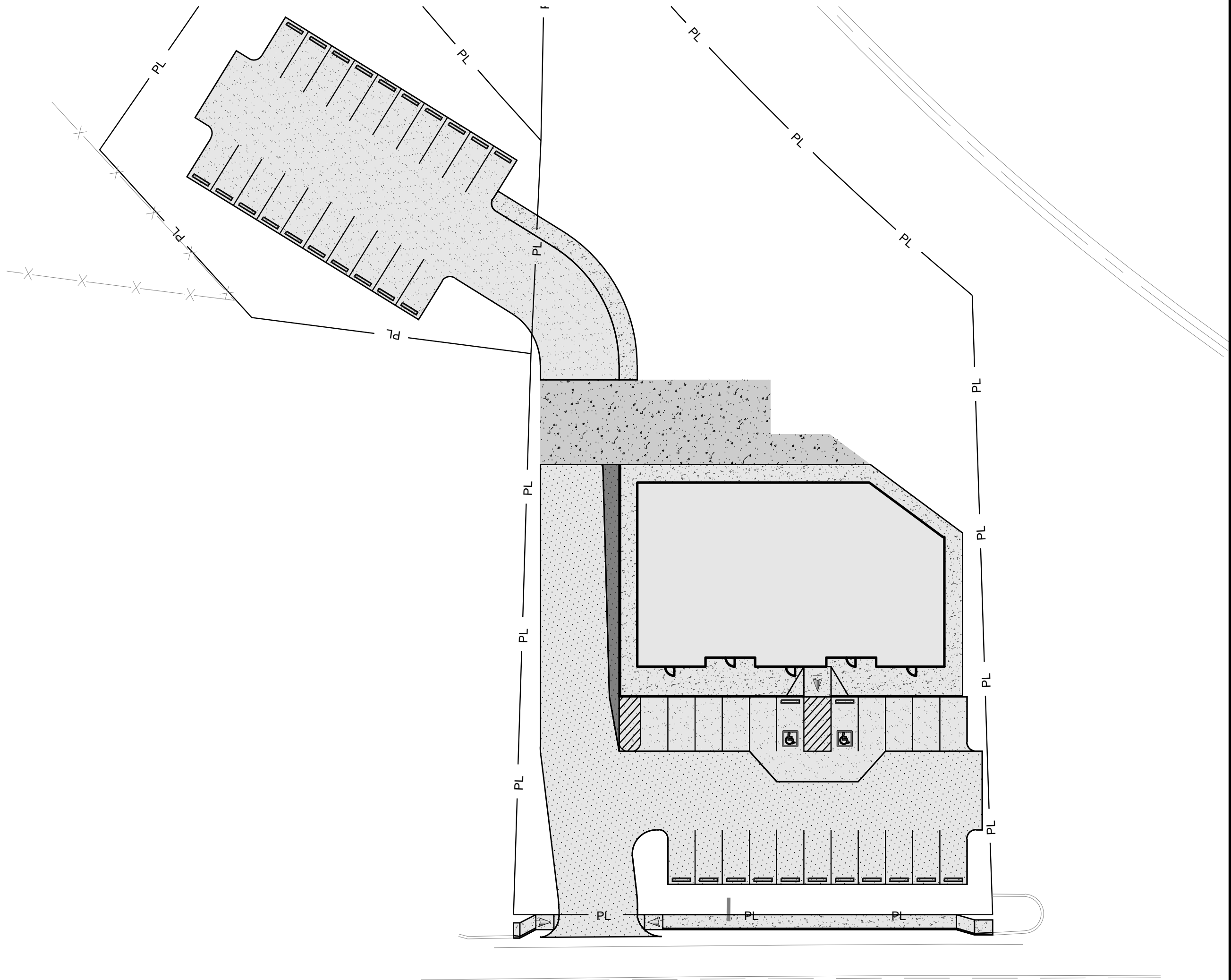


# POWELL SHOPPING CENTER

2109 W EMORY RD & 0 DRAWBRIDGE CT  
POWELL, TN 37849



## PROJECT INFORMATION:

**OWNER**  
NAME: DISNEY JOINT VENTURE  
CONTACT: DWIGHT DISNEY  
ADDRESS: 2141 WEST EMORY RD  
POWELL, TN 37849

**PROPERTY DATA**  
ADDRESS: 2109 W EMORY RD  
POWELL, TN 37849  
MAP: 056  
PARCEL ID: 056NA00205  
ZONING: CA (GENERAL BUSINESS ZONE)

VERTICAL DATUM: NAVD 88

PARKING SETBACKS: 10' FRONT  
5' REAR  
10' SIDE

BUILDING SETBACKS: 20' FRONT  
16' REAR  
5' SIDE

ADDRESS: 0 DRAWBRIDGE CT  
POWELL, TN 37849

MAP: 056  
PARCEL ID: 056NB019  
ZONING: PR (PLANNED RESIDENTIAL)

VERTICAL DATUM: NAVD 88

PARKING SETBACKS: 5' REAR  
10' SIDE

## LIST OF DRAWINGS:

GENERAL  
G000 COVER SHEET

SURVEY  
SS101 SITE SURVEY

CIVIL AND SITE ENGINEERING  
C001 CIVIL NOTES & LEGENDS  
C200 SITE DEMOLITION PLAN  
C300 SITE LAYOUT PLAN  
C400 EROSION PREVENTION & SEDIMENT CONTROL & SITE GRADING PLAN  
C600 SITE UTILITY PLAN  
C800 CIVIL DETAILS  
C801 CIVIL DETAILS  
C802 CIVIL DETAILS

LANDSCAPE ARCHITECTURE  
L100 LANDSCAPING PLAN

NUMBER OF SHEETS: 11 TOTAL

## VICINITY MAP:



MBI

ENGINEER:

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
KNOXVILLE, TN 37919  
PHONE: (865) 584-0999  
FAX: (865) 584-5213  
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PROJECT INFORMATION

PROJECT:

POWELL SHOPPING CENTER  
PROJECT ADDRESS:

2109 W EMORY RD & 0 DRAWBRIDGE CT  
POWELL, TN 37849

PROJECT NO.: 221026

ACTIVE DESIGN PHASE  
☐ FOR REVIEW ONLY  
☐ FOR PERMITTING ONLY  
☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☐ CONSTRUCTION BIDDING  
☒ CONSTRUCTION DOCUMENTS  
☐ AS-BUILT RECORD SET

REVISION INFORMATION  
NO. DATE DESCRIPTION  
1 02/20/2023 COUNTY ENGINEERING

KEY PLAN

SHEET INFORMATION

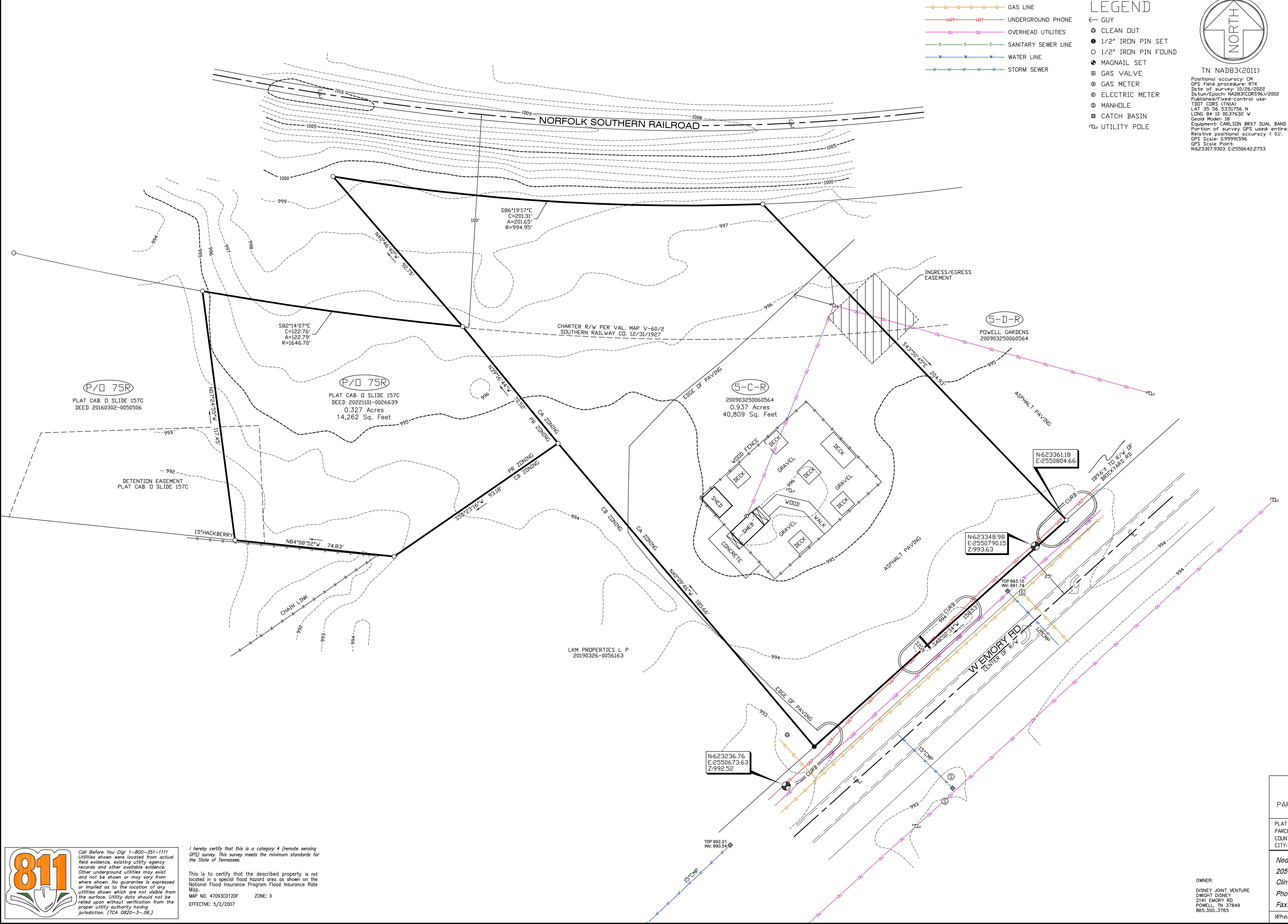
SHEET ISSUED: 01/20/2023  
DESIGNED BY: A.G.C.  
DRAWN BY: A.G.C.  
REVIEWED BY: C.B.T.  
SHEET TITLE:

COVER SHEET

SHEET NO.:

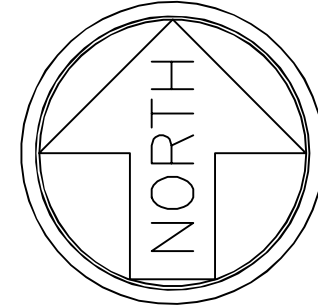
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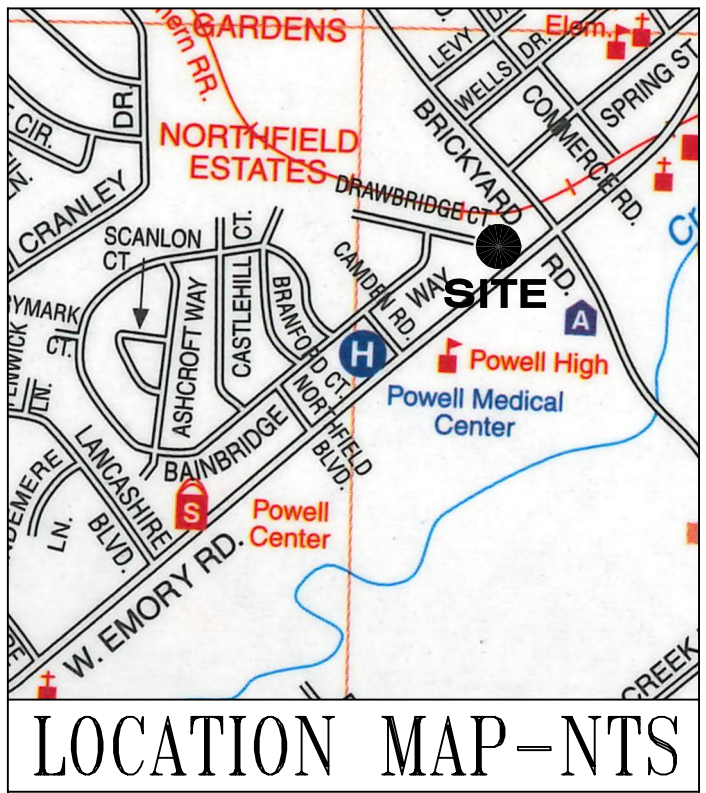


- GAS LINE
- U—U— UNDERGROUND PHONE
- OU—OU— OVERHEAD UTILITIES
- S—S— SANITARY SEWER LINE
- W—W— WATER LINE
- ST—ST— STORM SEWER

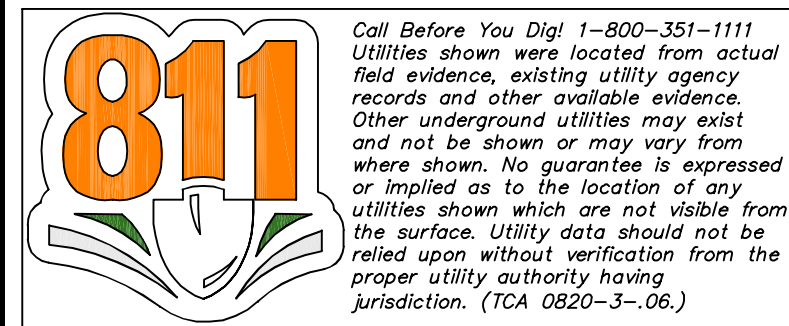
- LEGEND
- GUY
  - CLEAN OUT
  - 1/2" IRON PIN SET
  - 1/2" IRON PIN FOUND
  - MAGNAIL SET
  - ⊠ GAS VALVE
  - ⊙ GAS METER
  - ⊙ ELECTRIC METER
  - ⊙ MANHOLE
  - CATCH BASIN
  - ⊕ UTILITY POLE



TN NAD83(2011)  
Positional accuracy: CM  
GPS field procedure: RTK  
Date of survey: 10/26/2022  
Datum/Epoch: NAD83(CORS96)/2002  
Published/Fixed-control use:  
TDDT CORS (TNLA)  
LAT 35 56 53.51756 N  
LONG 84 10 00.37632 W  
Geoid Model: 18  
Equipment: CARLSON BRX7 DUAL BAND  
Portion of survey GPS used: entire  
Relative positional accuracy < 0.1'  
GPS Scale: 0.99991596  
GPS Scale Point:  
N623307.9303 E2550642.2753



- NOTES:
1. THIS SURVEY IS SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD. NO TITLE COMMITMENT HAS BEEN PROVIDED TO THE SURVEYOR. AN EXHAUSTIVE SEARCH OF PUBLIC RECORDS HAS NOT BEEN DONE. THIS SURVEY IS PERFORMED USING THE LATEST RECORDED DEED AND OTHER INFORMATION THAT MAY BE PROVIDED BY THE CLIENT.
  2. SUBJECT TO UTILITY AND DRAINAGE EASEMENTS OF 5' INSIDE INTERIOR LOT LINES, 10' INSIDE EXTERIOR LOT LINES AND ROADS.
  3. DEED 20221101-0026639
  4. ELEVATION DATUM IS NAVD 88.
  5. A 1-FOOT CONTOUR INTERVAL IS SHOWN. CONTOURS WERE GENERATED USING A LIXOV AVIA LIDAR SENSOR.
  6. WE CANNOT FIND TIES FROM DRAINAGE STRUCTURES SHOWN. WE SUSPECT THERE MAY BE A HIDDEN STORM PIPE UNDER THE PAVING OF W EMORY ROAD.
  7. THE SANITARY SEWER MANHOLES WERE INACCESSIBLE DUE TO PAVING.



I hereby certify that this is a category 4 (remote sensing GPS) survey. This survey meets the minimum standards for the State of Tennessee.

This is to certify that the described property is not located in a special flood hazard area as shown on the National Flood Insurance Program Flood Insurance Rate Map.  
Map: MAP NO. 47093C0120F ZONE: X  
EFFECTIVE: 5/2/2007



SURVEY FOR DISNEY JOINT VENTURE  
2109 W EMORY RD POWELL TN 37849  
LOT 5-C-R POWELL GARDENS &  
PART OF 75R NORTHFIELD ESTATES UNIT 7  
"2109 MYLES PLACE" PROJECT

PLAT REF: CAB. D SLIDE 157-C 20090325-0060564 SCALE: 1"=20'  
PARCEL(S): 056NB019; 056NA0205  
COUNTY/DISTRICT: KNOX/6  
CITY: N/A WARD/BLCK: N/A DATE: 11/16/2022

Ned D. Ferguson, R.L.S.  
205 Lamar Avenue  
Clinton, Tn. 37716  
Phone: (865) 689-6169  
Fax: (888) 232-8718 Toll Free  
When you need to know, knowing is our business.

DISNEY JOINT VENTURE  
DWIGHT DISNEY  
2141 EMORY RD  
POWELL, TN 37849  
865.300.3765

Professional Land Systems  
www.PLSurvey.com



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SITE DEMOLITION PLAN

1

GENERAL SHEET NOTES:

1. SEE SHEET C001 FOR CIVIL NOTES AND LEGENDS

DEMOLITION LEGEND



X DEMOLITION KEYED NOTES

- 1 REMOVE EXISTING SHED
- 2 REMOVE EXISTING WOOD FENCE
- 3 REMOVE EXISTING UTILITY POLE
- 4 REMOVE EXISTING CONCRETE PAD
- 5 REMOVE EXISTING DECK
- 6 REMOVE EXISTING GRAVEL
- 7 REMOVE EXISTING WOOD WALKWAY
- 8 REMOVE EXISTING ASPHALT PAVING
- 9 REMOVE EXISTING CURB

MBI

ENGINEER:

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
KNOXVILLE, TN 37919  
PHONE: (865) 584-0999  
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CONSULTANT

SEAL:



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PROJECT INFORMATION

PROJECT:

POWELL SHOPPING CENTER  
PROJECT ADDRESS:

2109 W EMORY RD & 0 DRAINBRIDGE CT  
POWELL, TN 37849

PROJECT NO.: 221026

- ACTIVE DESIGN PHASE
- ☐ FOR REVIEW ONLY
  - ☐ FOR PERMITTING ONLY
  - ☐ SCHEMATIC DESIGN
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  - ☐ CONSTRUCTION BIDDING
  - ☒ CONSTRUCTION DOCUMENTS
  - ☐ AS-BUILT RECORD SET

NO.	DATE	DESCRIPTION
1	02/20/2023	COUNTY ENGINEERING

KEY PLAN

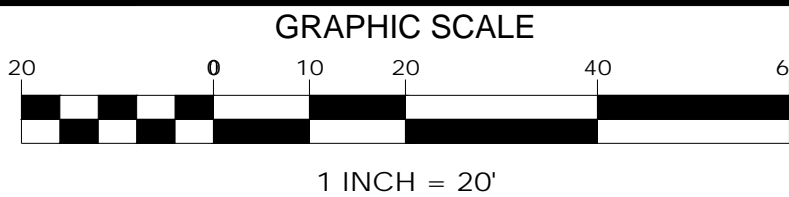
SHEET INFORMATION	
SHEET ISSUED:	01/20/2023
DESIGNED BY:	A.G.C.
DRAWN BY:	A.G.C.
REVIEWED BY:	C.B.T.
SHEET TITLE:	

SITE DEMOLITION PLAN  
SHEET NO.:

C200



Know what's below.  
Call before you dig.  
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SITE LAYOUT PLAN

1

GENERAL SHEET NOTES:

1. SEE SHEET C001 FOR CIVIL NOTES AND LEGENDS
2. FOR TYPICAL PARKING SPACE LAYOUT, SEE 8/C800
3. ALL RADII NOT LABELED ARE TO BE R3.00'

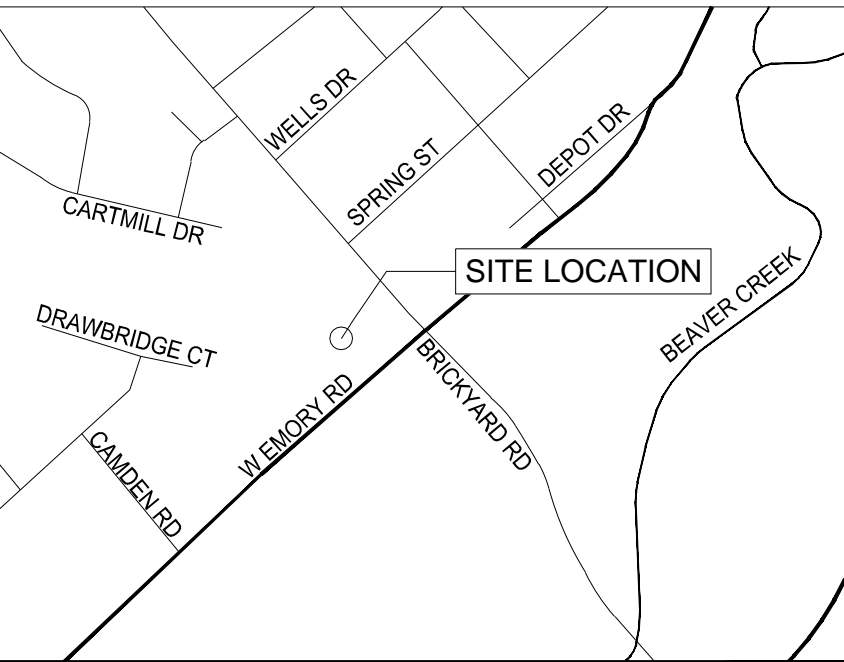
SITE LEGEND

PAINTED PEDESTRIAN CROSSWALK,  
COLOR TO BE WHITE; SEE DETAIL 6/C801

SITE KEYED NOTES

- 1 LIGHT DUTY ASPHALT PAVING; SEE DETAIL 6/C800
- 2 CONCRETE PAVING; SEE DETAIL 6/C800
- 3 CONCRETE SIDEWALK; SEE DETAIL 2/C800
- 4 SEAL AND STRIPE EXISTING PAVING
- 5 HEAVY DUTY ASPHALT PAVING; SEE DETAIL 6/C800
- 6 AREAS DISTURBED BY CONSTRUCTION OR PAVING TO BE SEEDED BY SCOTT'S CONTRACTOR'S MIX; OR EQUAL PRODUCT
- 7 ADA COMPLIANT PARKING SPACE; SEE DETAIL 9/C801
- 8 ADA COMPLIANT DOUBLE CONCRETE RAMP; SEE DETAIL 4/C800
- 9 PAINTED 'NO PARKING' AREA, COLOR TO BE WHITE; SEE DETAIL 7/C801
- 10 PROVIDE SMOOTH TRANSITION TO EXISTING SURFACE
- 11 6" BOLLARD; SEE DETAIL 5/C800
- 12 DUMPSTER ENCLOSURE; SEE DETAIL 1/C801
- 13 WALL MOUNTED ADA PARKING SIGN; SEE DETAIL 3/C801
- 14 WHEEL STOP; SEE DETAIL 5/C801
- 15 MM-SW-1 TDOT CONCRETE SIDEWALK; SEE DETAIL 2/802
- 16 ADA COMPLIANT SINGLE CONCRETE RAMP; SEE DETAIL 3/802

VICINITY MAP



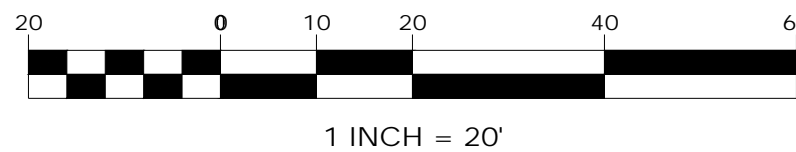
AREAS & CALCULATIONS

IMPERVIOUS AREA		
EXISTING	PROPOSED	TOTAL INCREASE
0.55 Acres	0.70 Acres	0.15 Acres
24,131 sqft	30,404 sqft	6,273 sqft
DISTURBED AREA		
TOTAL SITE AREA	DISTURBED AREA	
1.26 Acres	0.58 Acres	
55,072 sqft	25,082 sqft	
PARKING CALCULATION		
FOR SHOPPING CENTERS: 5 SPACES PER 1,000 SF GFA		
(5,806 SF / 1,000 SF) x 5 = 30 SPACES REQUIRED		
REQUIRED	PROVIDED	
REGULAR 28	REGULAR 40	
ACCESSIBLE 02	ACCESSIBLE 02	
TOTAL 30	TOTAL 42	



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GRAPHIC SCALE



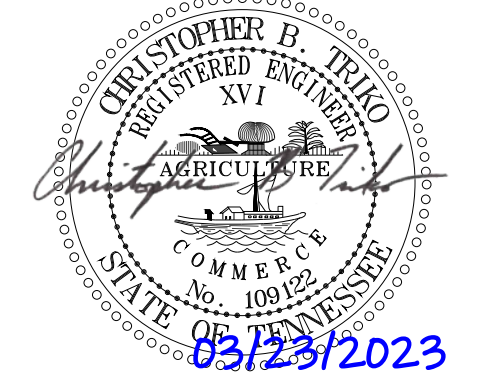
MBI

ENGINEER:

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
KNOXVILLE, TN 37919  
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PROJECT INFORMATION

PROJECT:

POWELL SHOPPING CENTER

PROJECT ADDRESS:

2109 W EMORY RD & 0 DRAWBRIDGE CT  
POWELL, TN 37849

PROJECT NO.: 221026

ACTIVE DESIGN PHASE

- ☐ FOR REVIEW ONLY
- ☐ FOR PERMITTING ONLY
- ☐ SCHEMATIC DESIGN
- ☐ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION BIDDING
- ☒ CONSTRUCTION DOCUMENTS
- ☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	02/20/2023	COUNTY ENGINEERING
3	03/23/2023	COUNTY PLANNING

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 01/20/2023  
DESIGNED BY: A.G.C.  
DRAWN BY: A.G.C.  
REVIEWED BY: C.B.T.  
SHEET TITLE:

SITE LAYOUT PLAN

SHEET NO.:

C300

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# EROSION PREVENTION & SEDIMENT CONTROL & SITE GRADING PLAN

1

## GENERAL SHEET NOTES

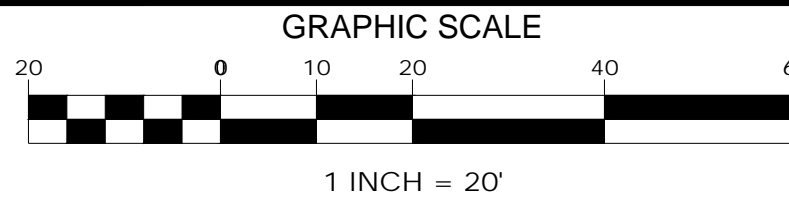
1. SEE SHEET C001 FOR CIVIL NOTES AND LEGENDS

## EROSION CONTROL LEGEND

- SF SILT FENCE; SEE DETAIL 1/C800
- FIBER ROLL; SEE DETAIL 4/C801
- PS PERMANENT STABILIZATION:  
SCOTT'S CONTRACTOR'S SEEDING  
MIX OR OWNER APPROVED  
EQUIVALENT
- CONSTRUCTION EXIT; SEE DETAIL  
9/C801
- CW CONCRETE WASHOUT; SEE DETAIL  
3/C800
- INLET PROTECTION; SEE DETAIL  
1/C802



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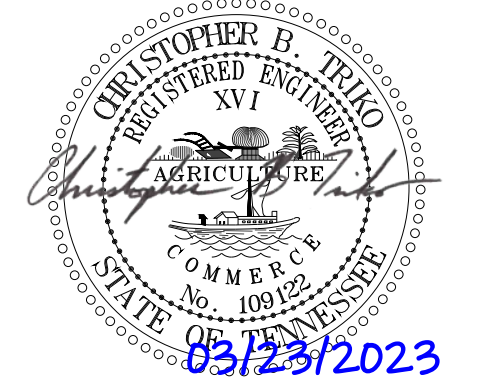


# MBI

ENGINEER:

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
KNOXVILLE, TN 37919  
PHONE: (865) 584-0999  
FAX: (865) 584-5213  
WEB: mbicompanies.com  
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PROJECT INFORMATION

PROJECT:

**POWELL SHOPPING CENTER**

PROJECT ADDRESS:

2109 W EMORY RD & 0 DRAINBRIDGE CT  
POWELL, TN 37849

PROJECT NO.: 221026

- ACTIVE DESIGN PHASE
- ☐ FOR REVIEW ONLY
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- ☐ DESIGN DEVELOPMENT
- ☐ CONSTRUCTION BIDDING
- ☒ CONSTRUCTION DOCUMENTS
- ☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	02/20/2023	COUNTY ENGINEERING
3	03/23/2023	COUNTY PLANNING

KEY PLAN

SHEET INFORMATION

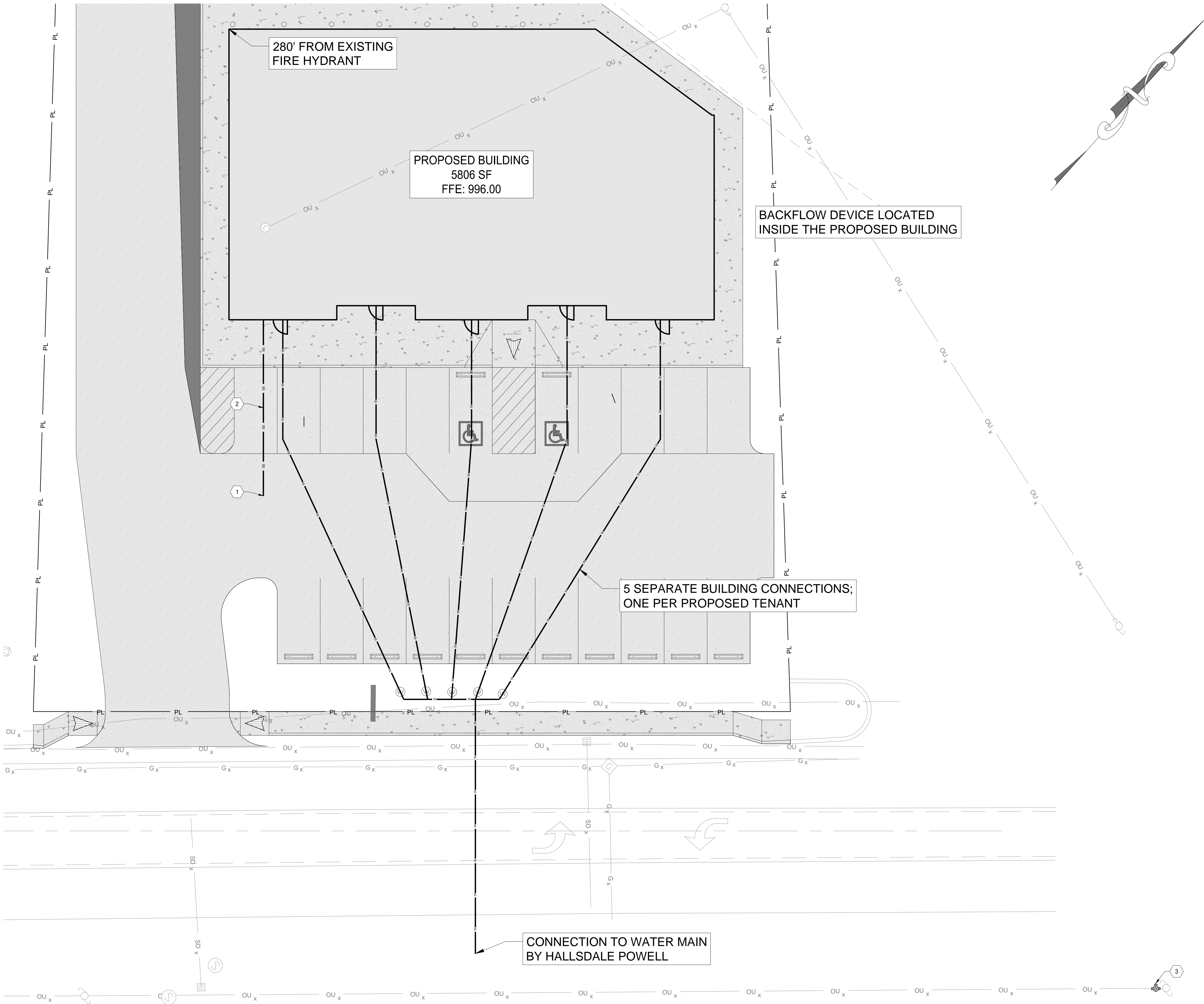
SHEET ISSUED: 01/20/2023  
DESIGNED BY: A.G.C.  
DRAWN BY: A.G.C.  
REVIEWED BY: C.B.T.  
SHEET TITLE:

**EROSION PREVENTION &  
SEDIMENT CONTROL &  
SITE GRADING PLAN**

SHEET NO.:

**C400**

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## SITE UTILITY PLAN

### GENERAL SHEET NOTES

1. SEE SHEET C001 FOR CIVIL NOTES AND LEGENDS
2. COORDINATE ALL UTILITY CROSSINGS
3. FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. DETERMINE LOCATED, SIZE, MATERIAL & INVERTS. REPORT ANY DISCREPANCIES TO OWNER & ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION & INSTALLATION.
4. ALL SITE LIGHTING TO BE TURNED OFF WHEN BUSINESS IS CLOSED.

### UTILITY LEGEND

WATER METER BY LOCAL UTILITY

### UTILITY KEYED NOTES

1. FIELD LOCATE AND CONNECT TO EXISTING PER LOCAL UTILITY REQUIREMENTS.
2. 4" ASTM D3034 SDR35 PVC BUILDING SANITARY SEWER SERVICE LINE @ 2.0% MIN. SLOPE; SEE DETAIL 8/C801
3. EXISTING FIRE HYDRANT

# MBI

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PROJECT INFORMATION

PROJECT:

### POWELL SHOPPING CENTER

PROJECT ADDRESS:

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POWELL, TN 37849

PROJECT NO.:

221026

ACTIVE DESIGN PHASE

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☐ CONSTRUCTION BIDDING  
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☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	02/20/2023	COUNTY ENGINEERING
2	03/08/2023	FIRE MARSHAL COMMENTS
3	03/23/2023	COUNTY PLANNING

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 01/20/2023  
DESIGNED BY: A.G.C.  
DRAWN BY: A.G.C.  
REVIEWED BY: C.B.T.  
SHEET TITLE:

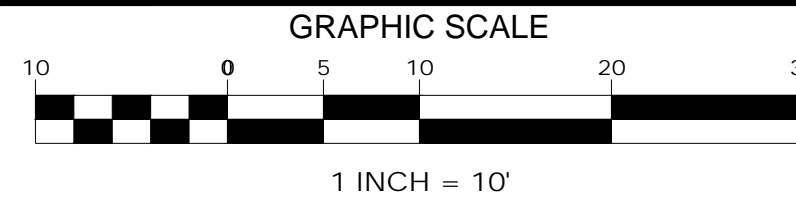
### SITE UTILITY PLAN

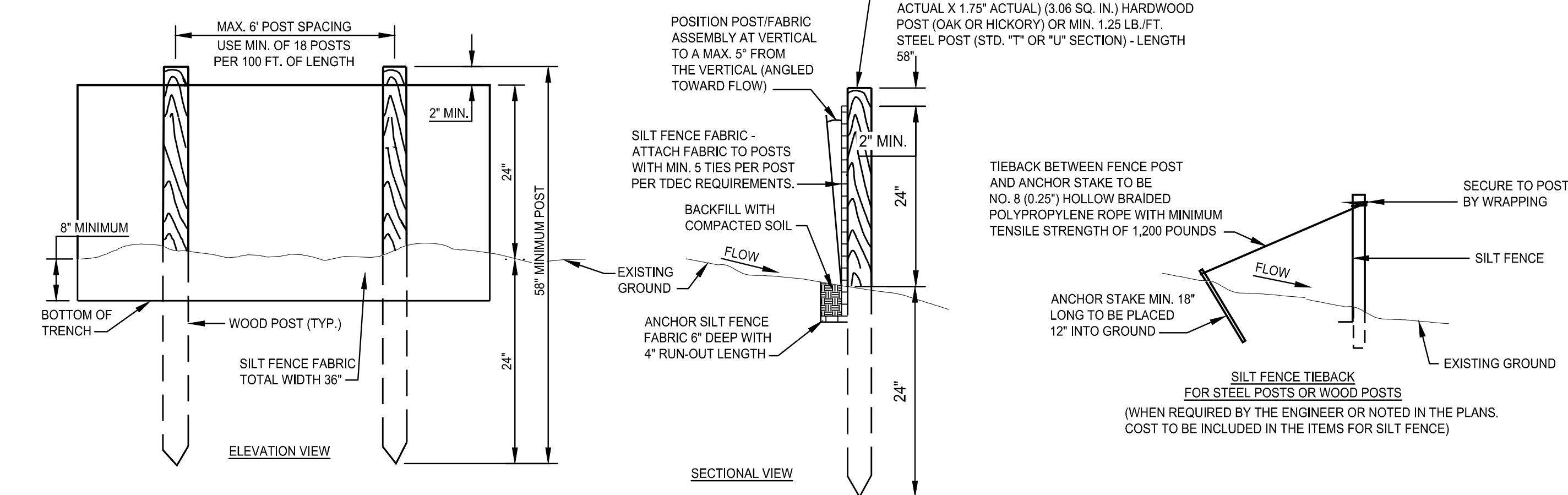
SHEET NO.:

C600

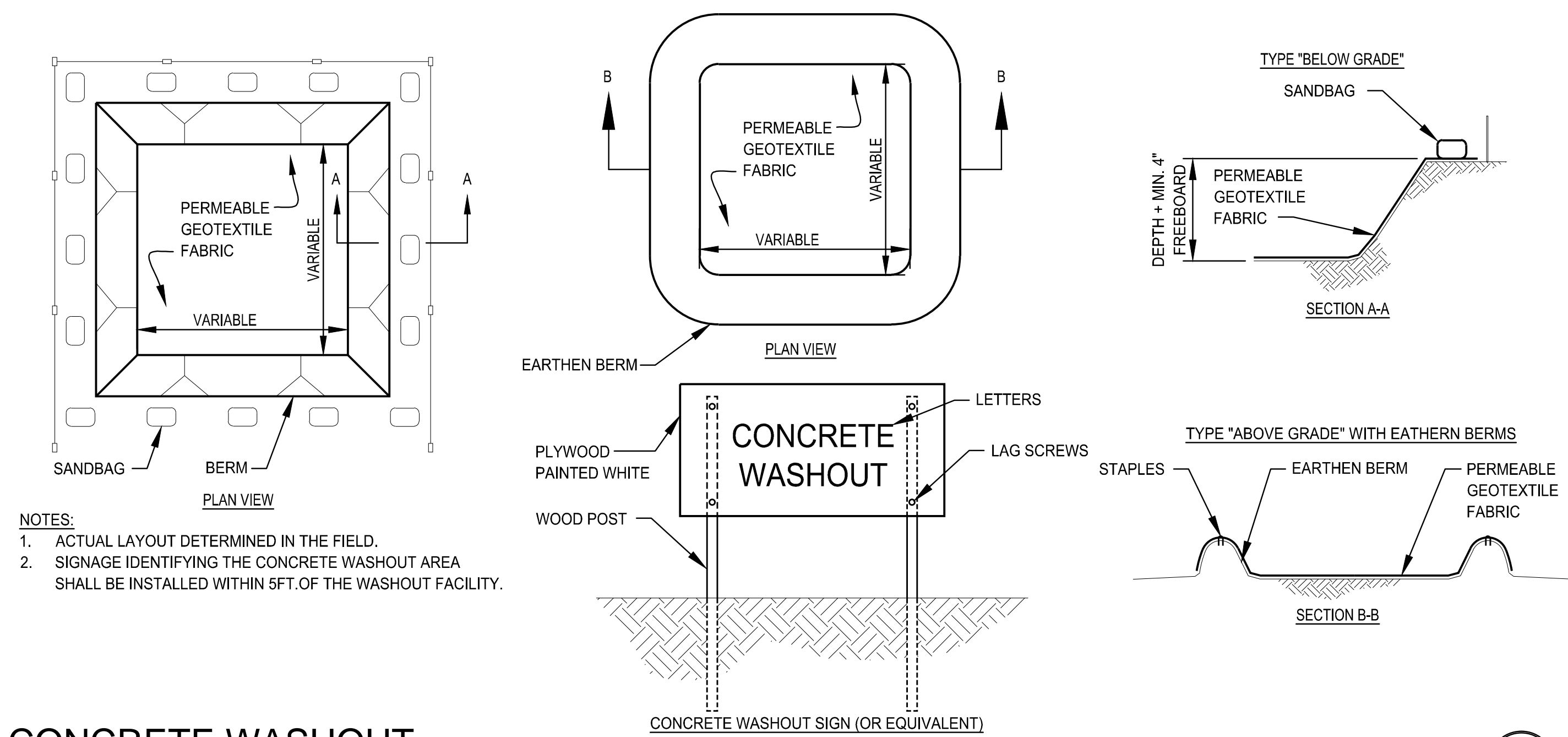


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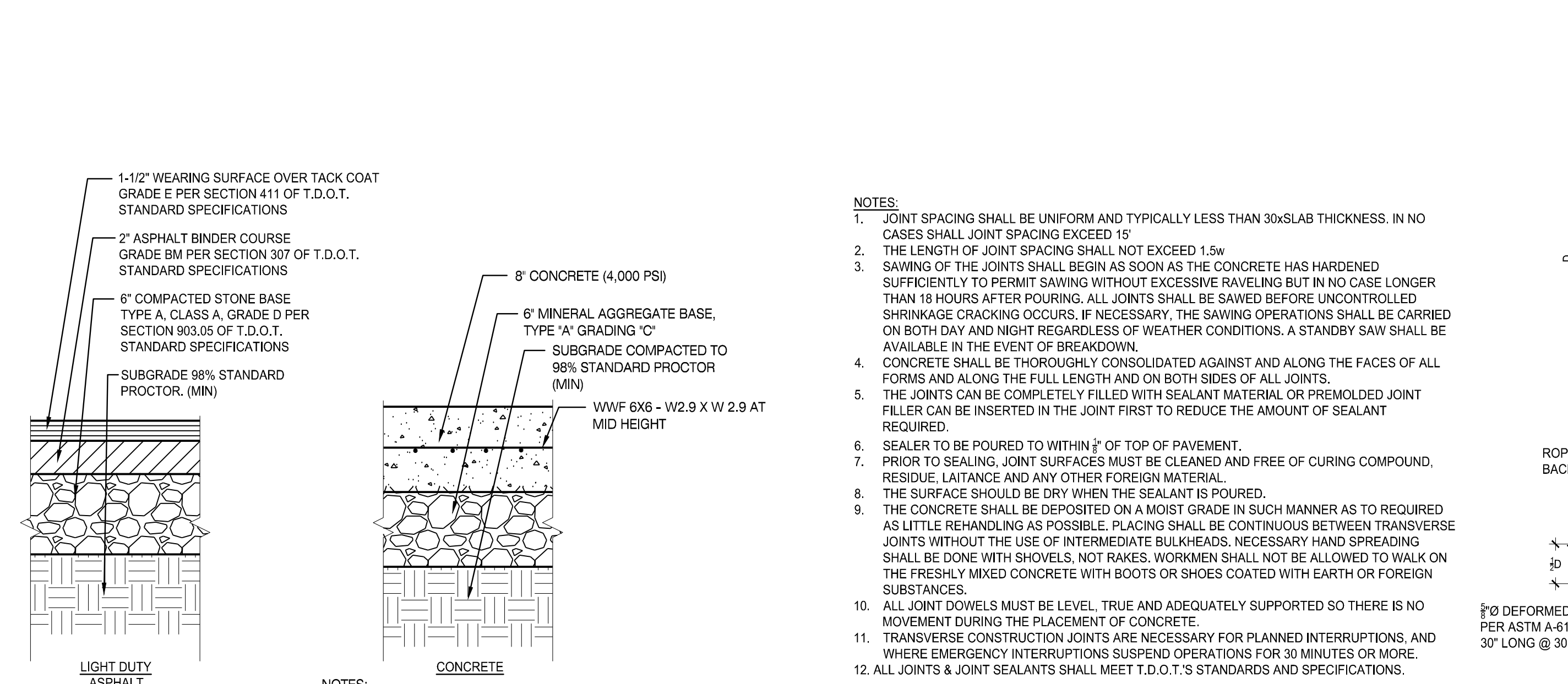




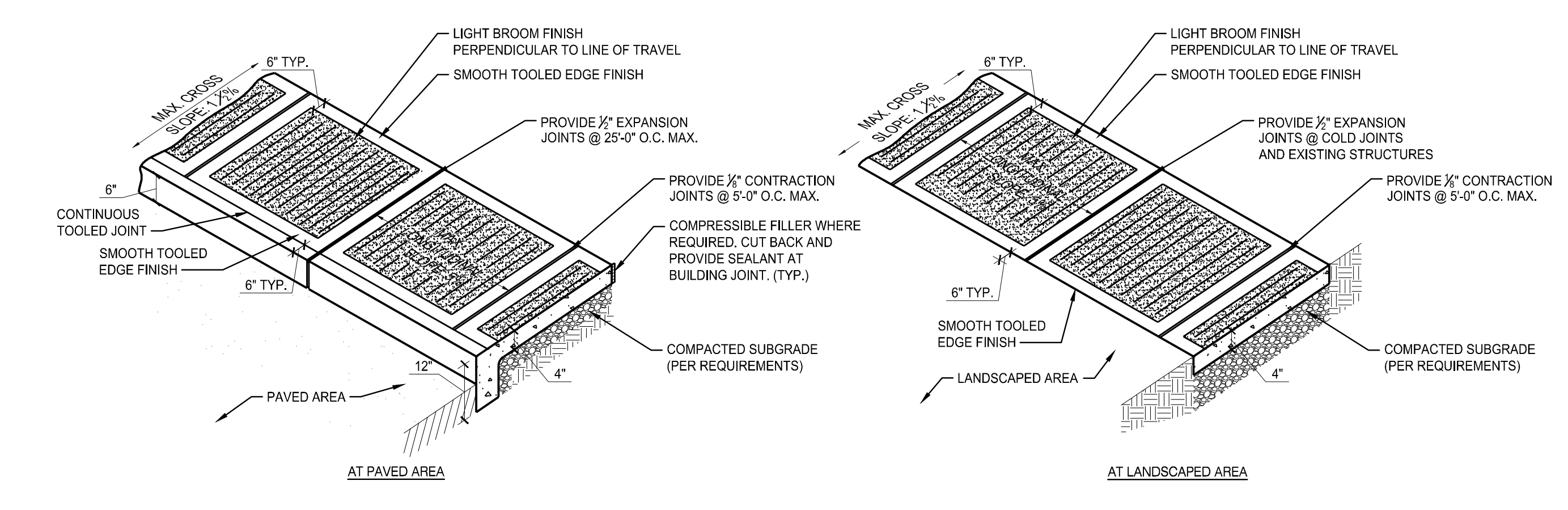
SILT FENCE 1



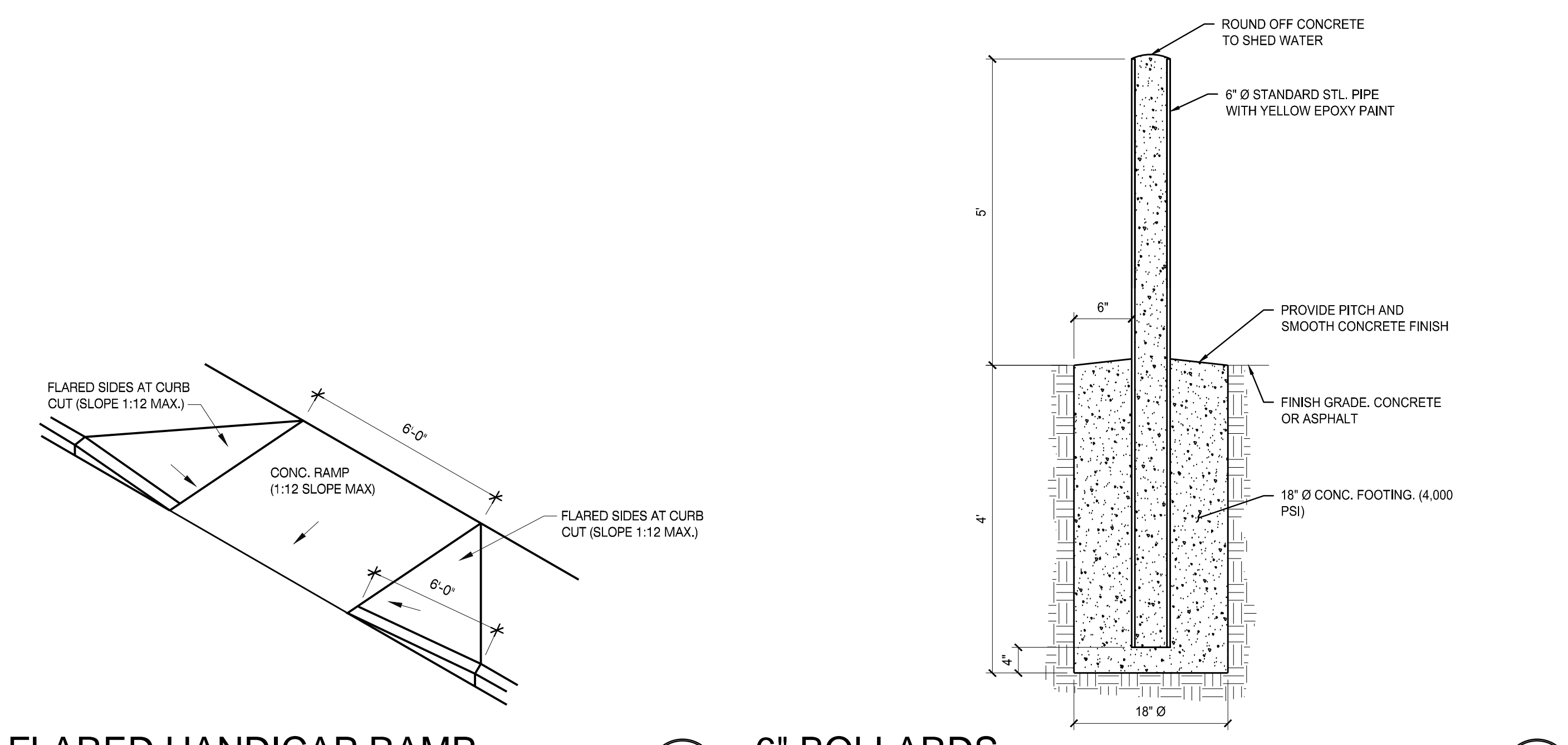
CONCRETE WASHOUT 3



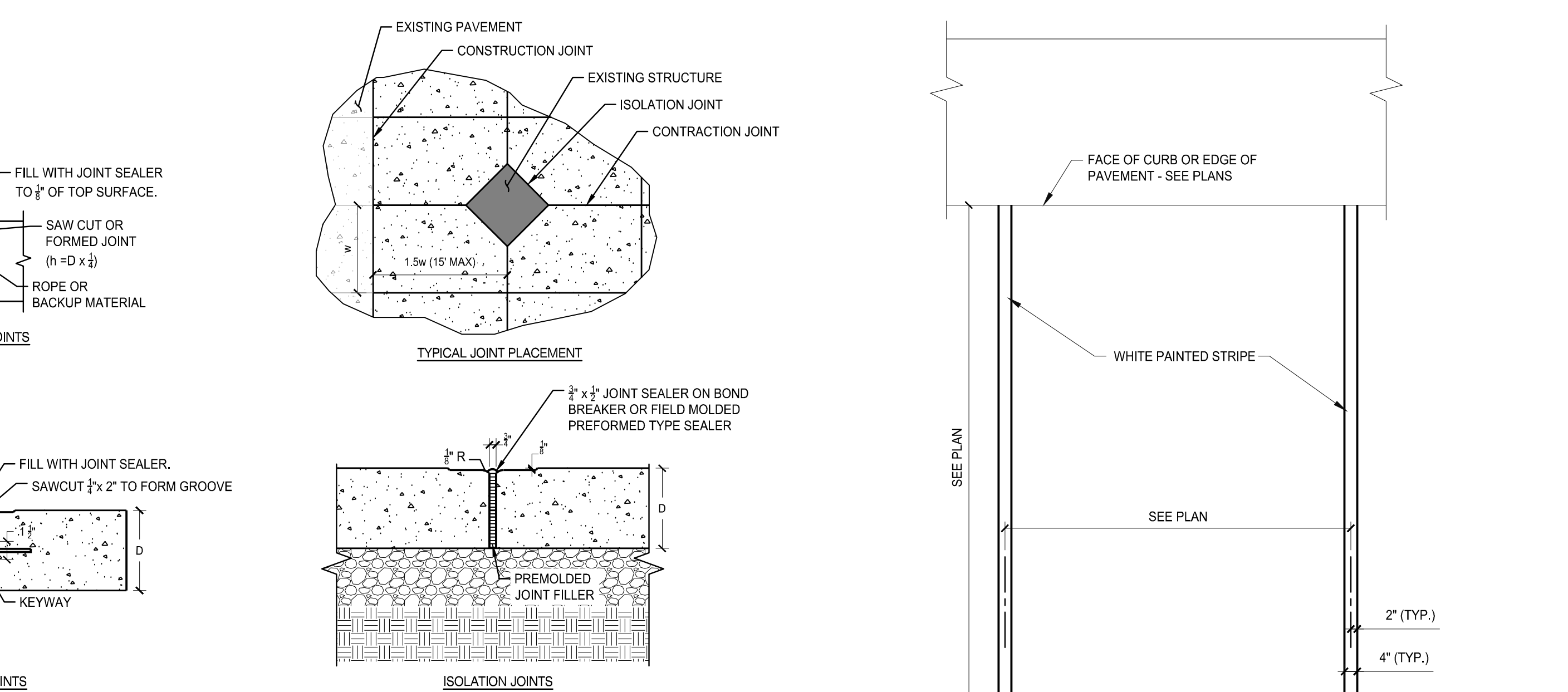
PAVING SECTIONS 6



CONCRETE SIDEWALK 2



FLARED HANDICAP RAMP 4 6" BOLLARDS 5



CONCRETE JOINTS 7 PARKING SPACE 8

MBI

ENGINEER

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
KNOXVILLE, TN 37919  
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☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 01/29/2023

DESIGNED BY: A.G.C.

DRAWN BY: A.G.C.

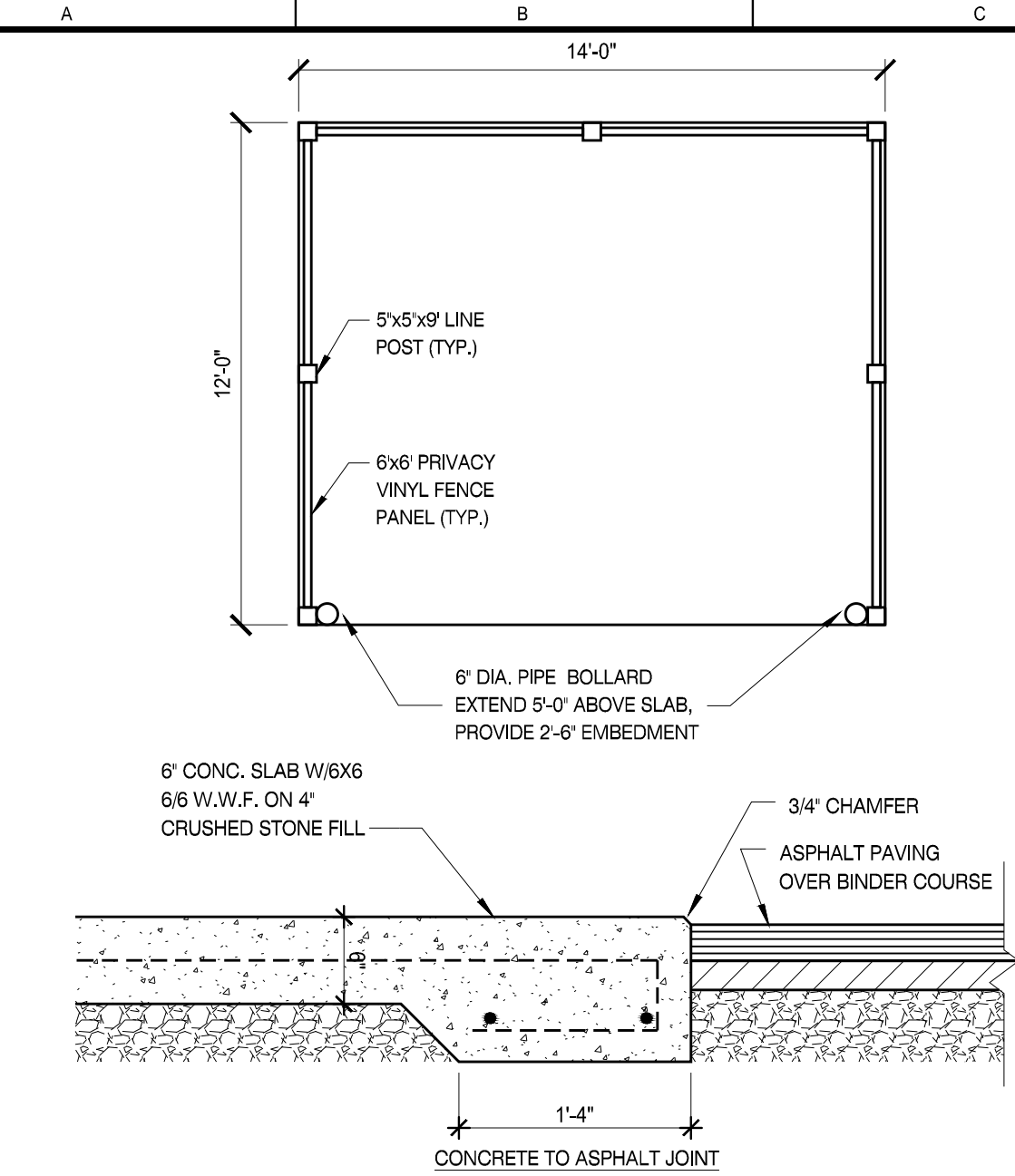
REVIEWED BY: C.B.T.

SHEET TITLE:

CIVIL DETAILS

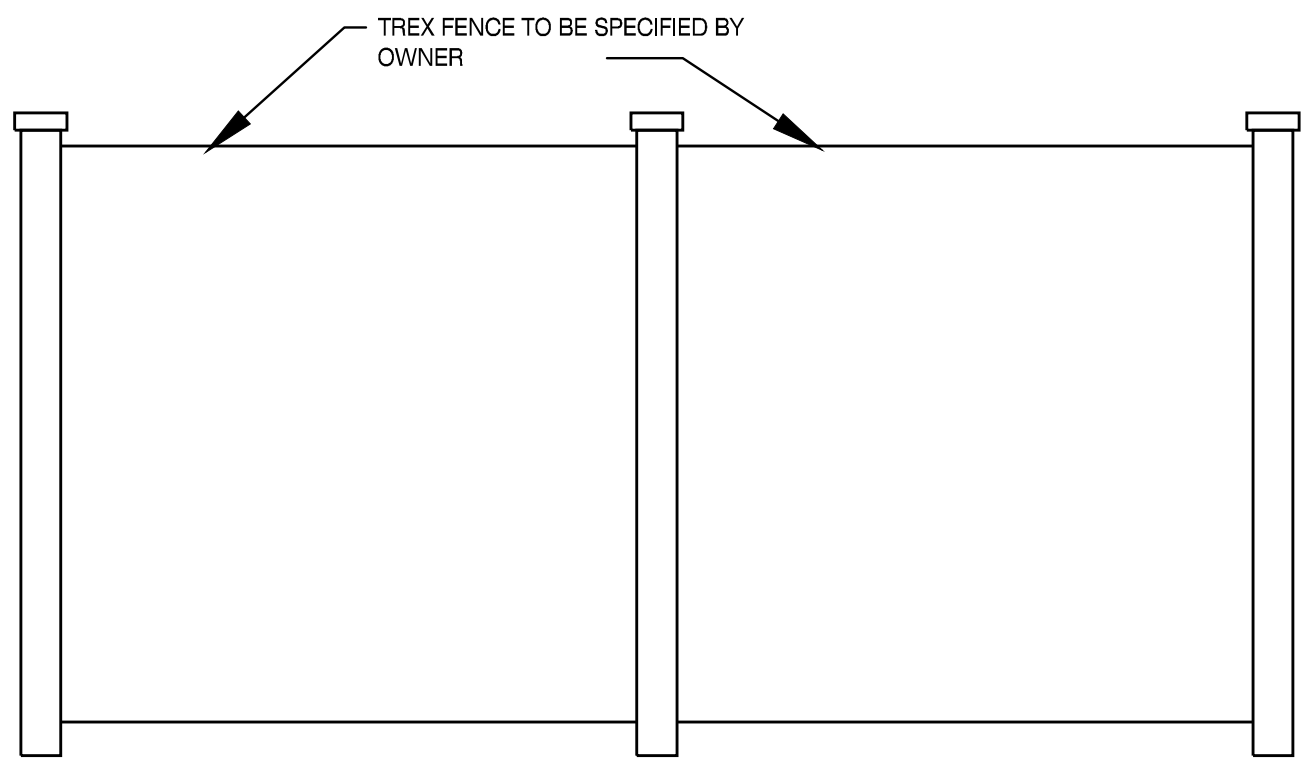
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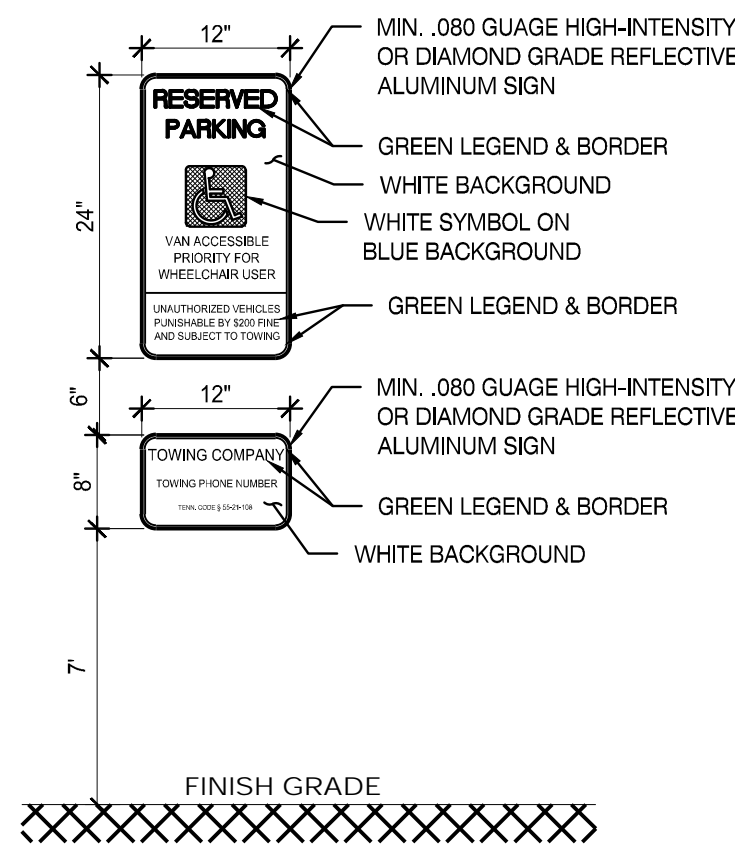
DUMPSTER W/ TREX FENCE

1



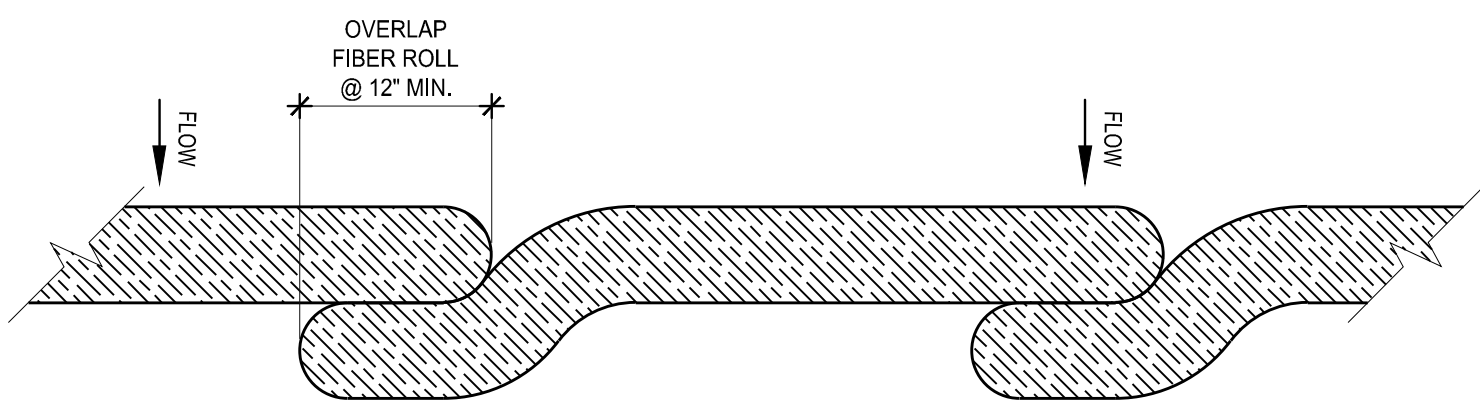
ADA HANDICAP SYMBOL

2



WALL MOUNTED ADA SIGN

3

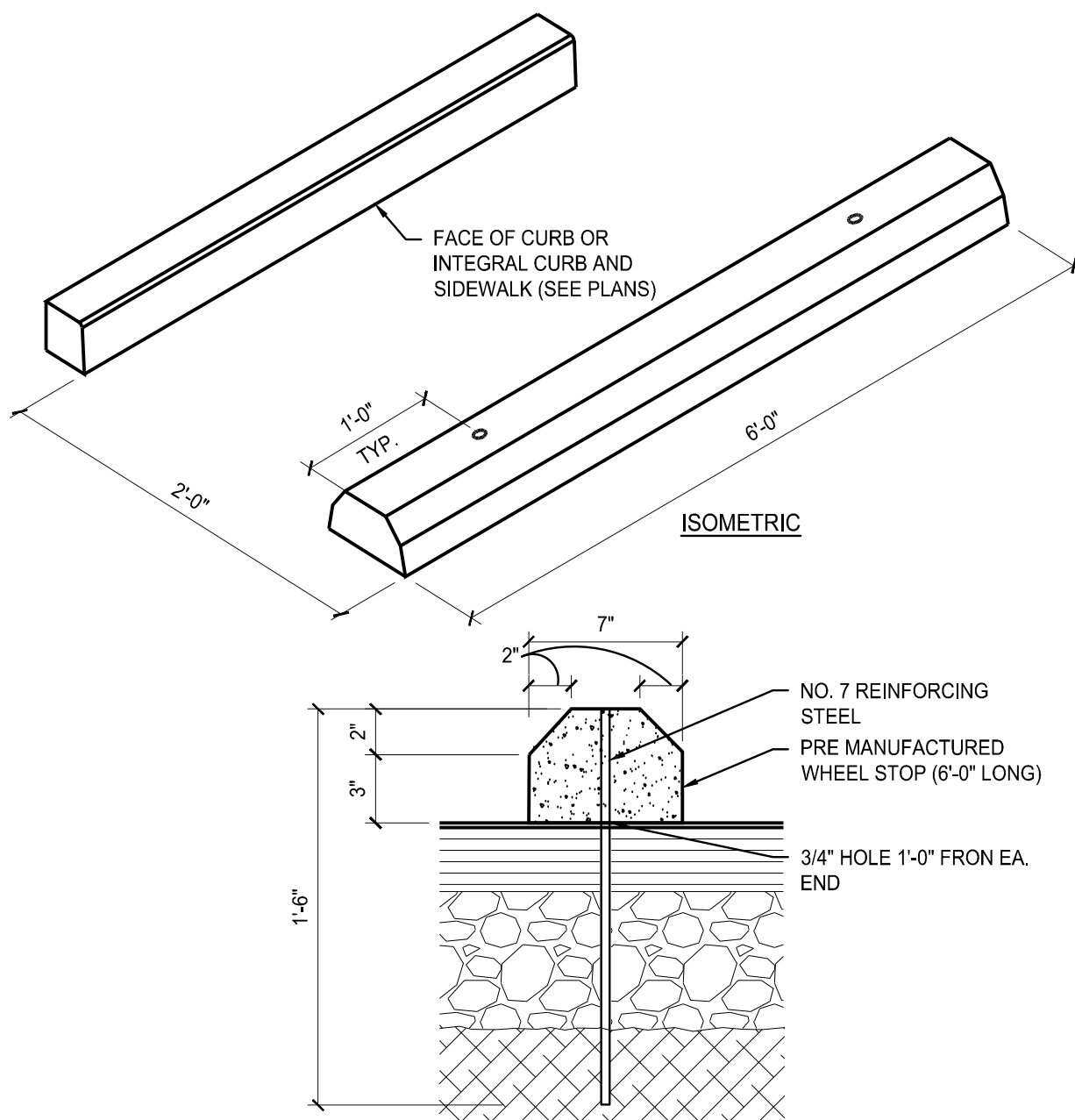


FIBER ROLL

4

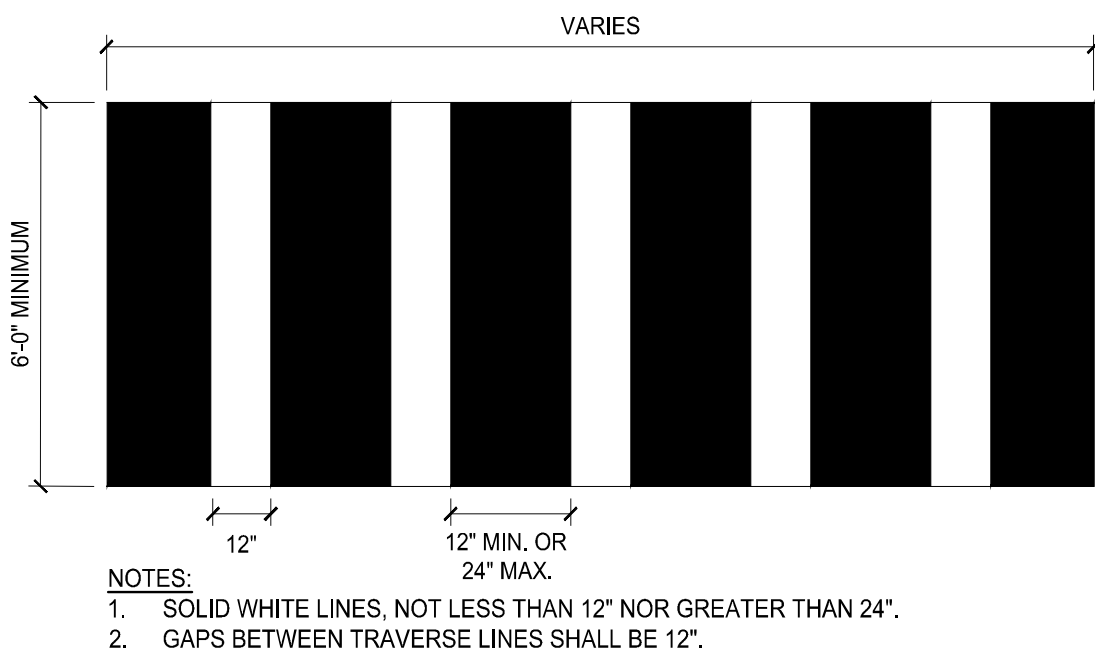
WHEEL STOP

5



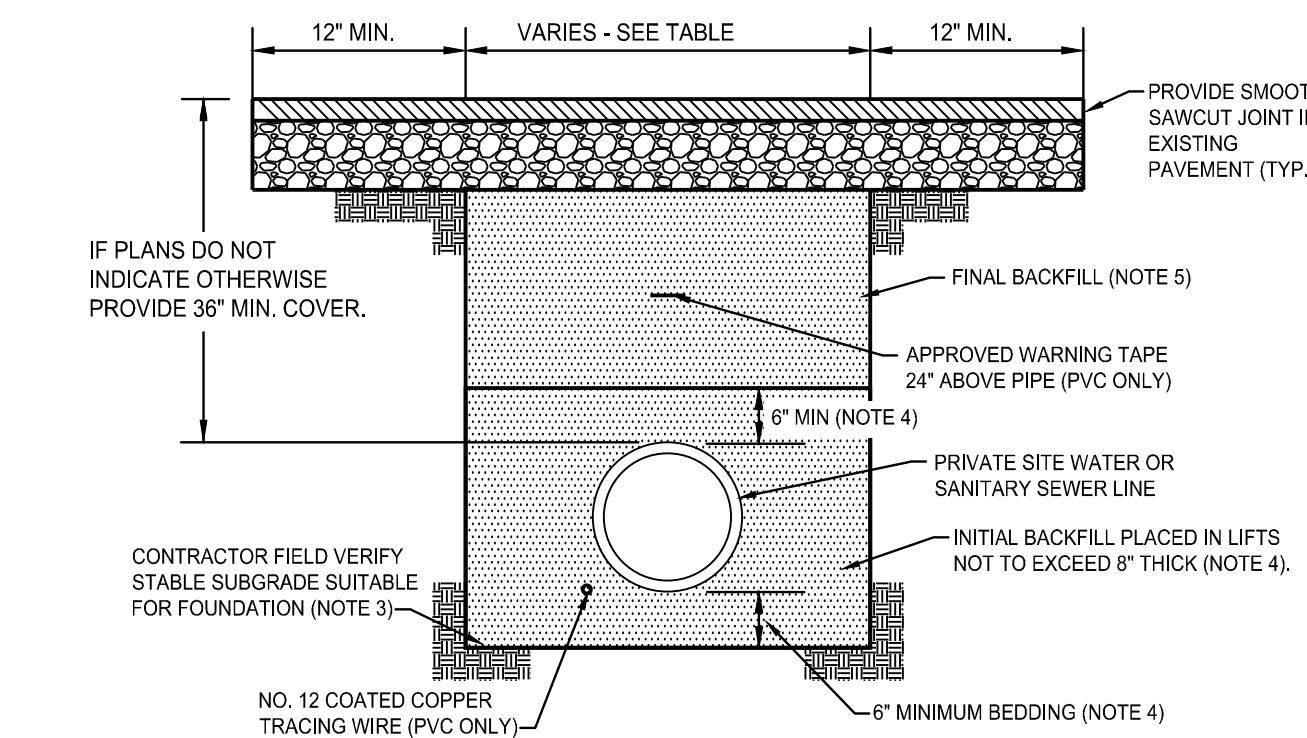
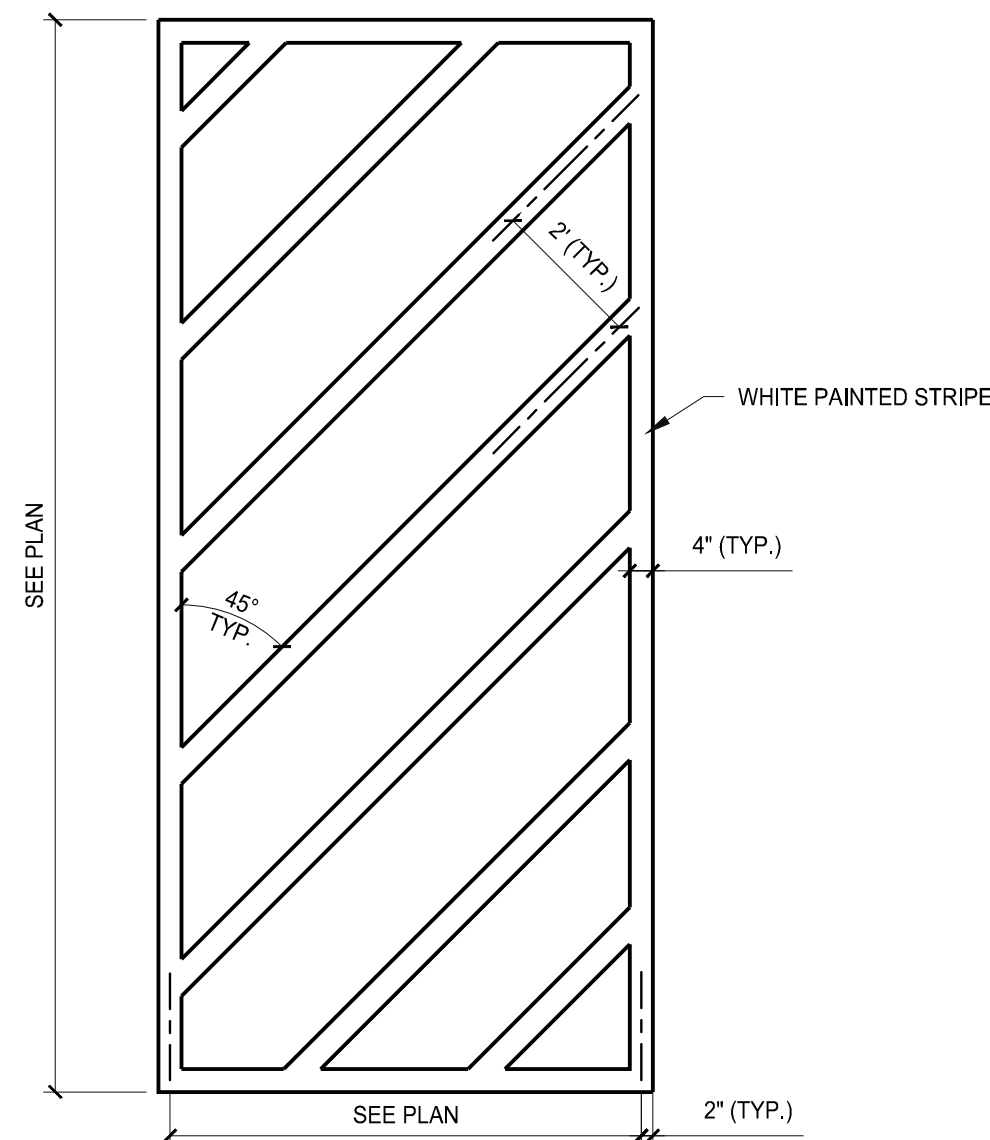
CROSSWALK

6



'NO PARKING' AREA

7

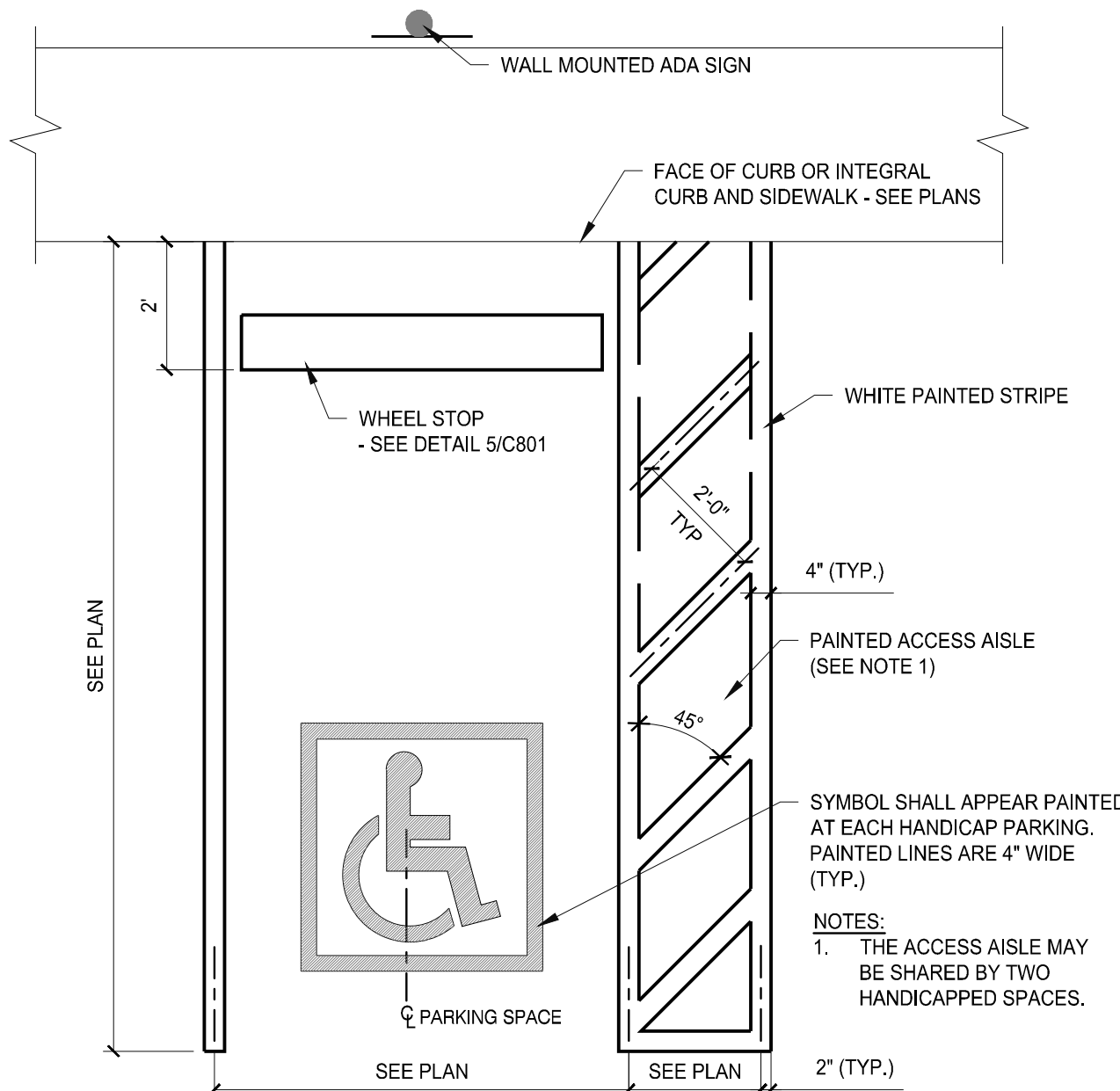


WATER AND SEWER TRENCH

8

ADA PARKING SPACE

9



MBI

ENGINEER:

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
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CONSULTANT

SEAL:



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PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY  
ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES  
OR CONFLICTS WHICH ARE ALLEGED.

PROJECT INFORMATION

PROJECT:

POWELL SHOPPING CENTER

PROJECT ADDRESS:

2109 W EMORY RD & 0 DRAINBRIDGE CT  
POWELL, TN 37849

PROJECT NO.: 221026

ACTIVE DESIGN PHASE

- ☐ FOR REVIEW ONLY  
☐ FOR PERMITTING ONLY  
☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☐ CONSTRUCTION BIDDING  
☐ CONSTRUCTION DOCUMENTS  
☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	02/20/2023	COUNTY ENGINEERING

KEY PLAN

SHEET INFORMATION

SHEET ISSUED: 01/20/2023  
DESIGNED BY: A.G.C.  
DRAWN BY: A.G.C.  
REVIEWED BY: C.B.T.  
SHEET TITLE:

CIVIL DETAILS

SHEET NO.:

C801



1. NOTES:
1. INSTALL AND MAINTAIN GEOTEXTILE FILTER BAG IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. PRODUCT SHOWN IS THE SILTSACKS SEDIMENT CONTROL DEVICE MADE BY AC ENVIRONMENTAL.
2. REGULAR SILTSACKS® HAS A GRAB TENSILE STRENGTH OF 300 LBS. AND PUNCTURE STRENGTH OF 120 LBS. FABRIC IS WOVEN POLYPROPYLENE WITH DOUBLE STITCHING.
3. INSPECT GEOTEXTILE FILTER BAG AFTER EACH RAINFALL EVENT. REMOVE SEDIMENT AS RECOMMENDED BY MANUFACTURER.
4. REGULAR SILTSACKS® HAS A FLOW RATE OF 40 GPM PER SQUARE FOOT OF CLEAN GEOTEXTILE MATERIAL. THE FLOW RATE WILL BE MUCH LOWER WHEN FILLED WITH SEDIMENT.



# MM-SW-1 TDOT CONCRETE SIDEWALK



MBI COMPANIES INC. 299 N. WEISGARBER ROAD KNOXVILLE, TN 37919	
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CONSULTANT	

CHRISTOPHER B. TRIKO  
REGISTERED ENGINEER  
XVI  
AGRICULTURE  
COMMERCE  
STATE OF TENNESSEE  
No. 109122  
03/23/2023

PROJECT INFORMATION

---

PROJECT:

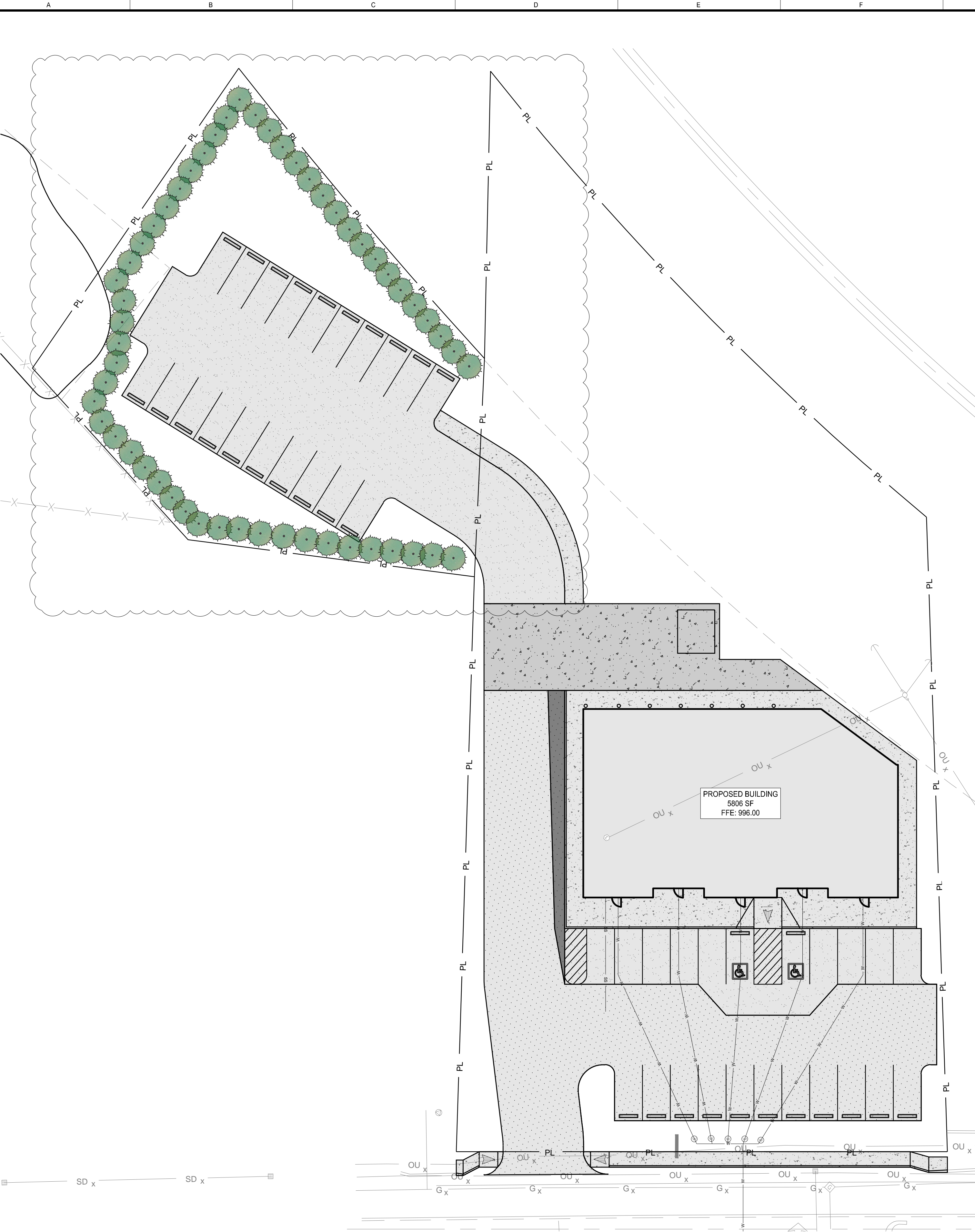
ACTIVE DESIGN PHASE	
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<input checked="" type="checkbox"/>	CONSTRUCTION DOCUMENTS
<input type="checkbox"/>	AS-BUILT RECORD SET

KEY PLAN

CIVIL DETAILS

C802

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## LANDSCAPE PLANTING PLAN

1

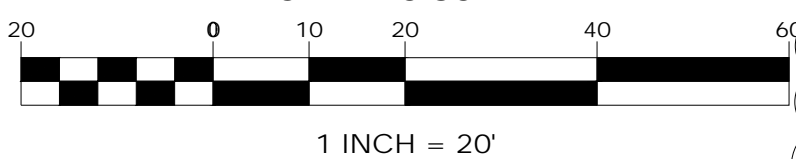
### LANDSCAPE REQUIREMENTS

- LANDSCAPE BUFFER TO BE 18' WIDE
- TREES TO BE 12' O.C. MAXIMUM



Know what's below.  
Call before you dig.  
In Tennessee call 811 or 1-800-351-1111

### GRAPHIC SCALE



### GENERAL LANDSCAPE NOTES

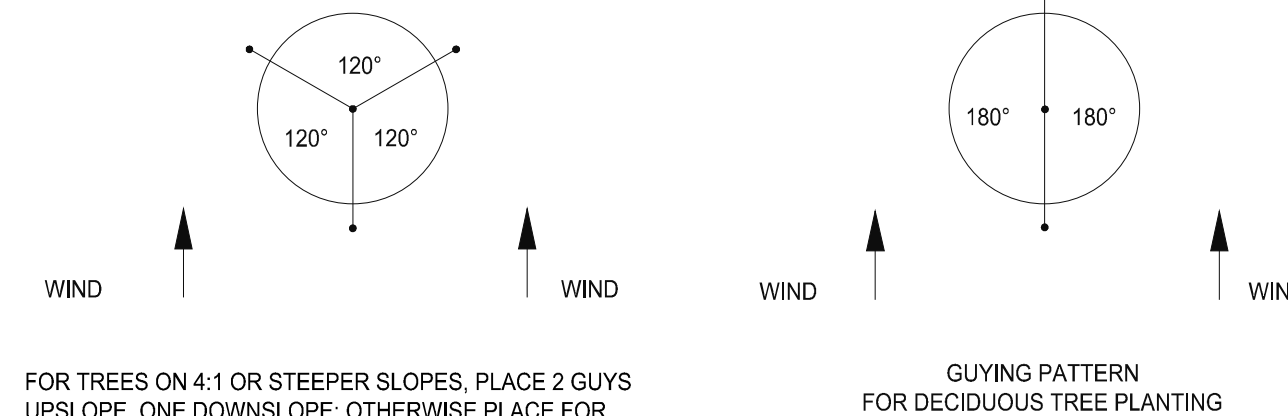
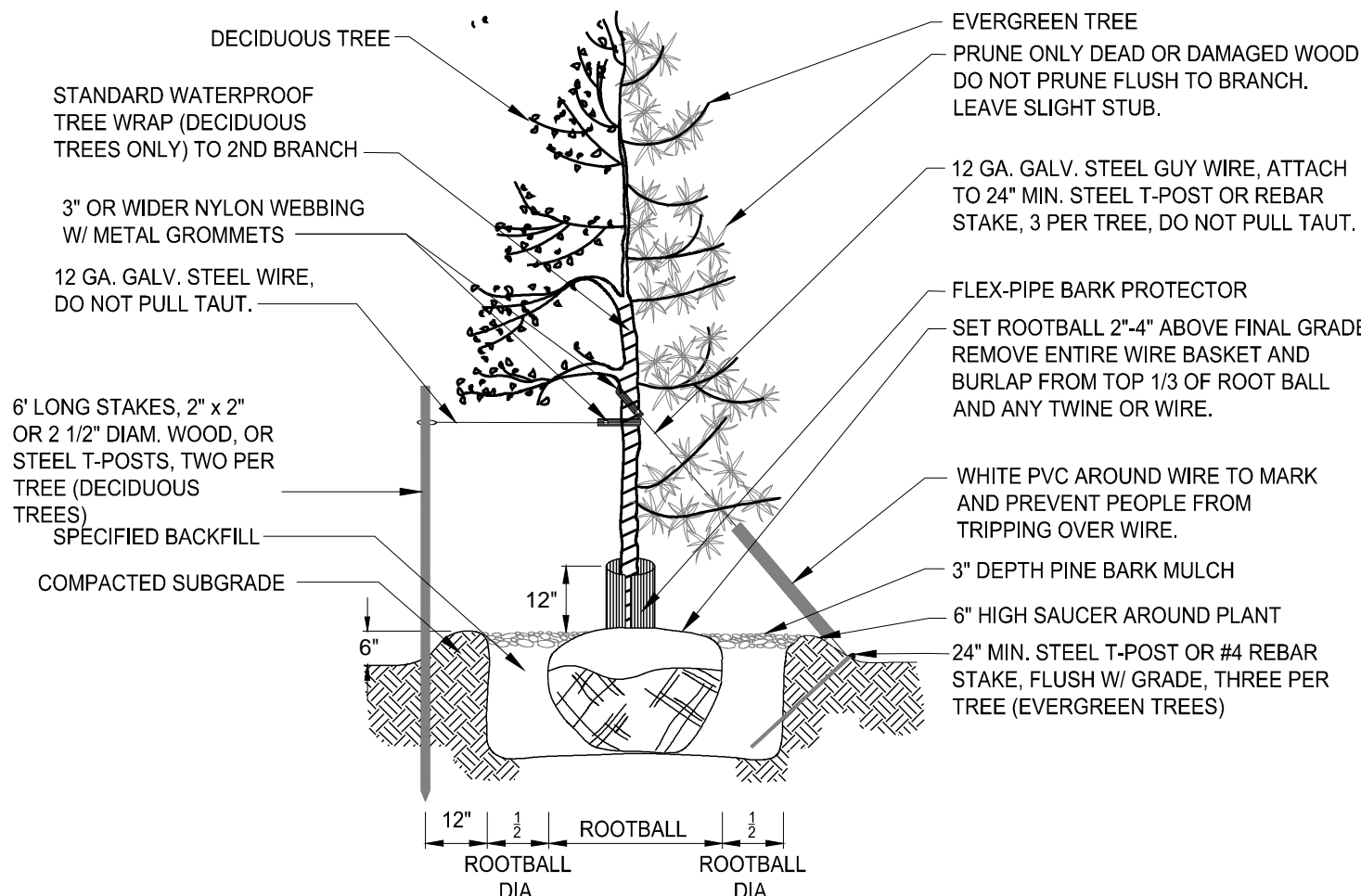
- CARE IS TO BE TAKEN TO PROTECT ALL UNDERGROUND UTILITIES. THE GENERAL CONTRACTOR IS TO VERIFY AND MARK THE EXACT LOCATION OF ALL EXISTING UTILITIES ( WATER, SEWER, GAS, ELECTRIC, SEPTIC TANKS, ETC.)
- SOIL USED IN THE BACKFILL OF PLANTING PITS AND LANDSCAPE BEDS SHALL BE CLEAN AND WEED FREE, AND SHALL BE MIXED WITH 25% PEAT MOSS/PINE BARK BY VOLUME.
- 12-6-6 PENNINGTON NURSERY FERTILIZER OR EQUAL SHALL BE USED IN ALL PLANTING PITS.
- HERBICIDE, TREFLAN OR EQUAL TO BE APPLIED TO PLANTING BEDS FOR NOXIOUS WEED CONTROL.
- ALL PLANTING BEDS TO HAVE A MINIMUM 3" OF PINE BARK MULCH.
- PRESSURE TREATED WOODEN STAKES SHALL BE USED FOR TREES OVER 2" CALIPER OR IN AREAS WHERE HEAVY WIND IS A FACTOR.
- ALL LANDSCAPING MATERIAL SHALL BE INSTALLED IN A PROFESSIONAL MANNER, AND ACCORDING TO ACCEPTED PLANTING PROCEDURES.
- TOPSOIL FURNISHED BY THE OWNER OR LANDSCAPE CONTRACTOR SHALL BE NATURAL, FERTILE, FRIABLE SOIL, POSSESSING CHARACTERISTICS REPRESENTATIVE OF PRODUCTIVE SOILS IN THE AREA. SOIL SHALL NOT BE EXCESSIVELY ACIDIC, ALKALINE OR TOXIC THAT IT MAY BE HARMFUL TO PLANT GROWTH. TOPSOIL SHOULD BE FREE OF CLAY LUMPS, STONES, STUMPS, ROOTS, OR SUBSTANCE 2" OR MORE IN DIAMETER.
- ALL TREES RETAINED OR NEW SHALL BE PROPERLY MAINTAINED TO ENSURE THEIR SURVIVAL FOR 12 MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE AFTER 12 MONTHS SHALL BE REPLACED WITHIN 9 MONTHS OF LOSS.
- LAWN QUALITY SHALL BE PROVIDED WITH FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF SEED VENDER'S CERTIFIED STATEMENT FOR EACH GRASS SEED MIXTURE. PROJECT CONDITIONS SHALL BE DETERMINED WITH ANALYSIS AND SEASON OF INSTALLATION. LIME TO BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATE WITH MINIMUM OF 30% MAGNESIUM CARBONATES. SOD TYPE SHALL BE STRONGLY ROOTED, FRESHLY CULTIVATED SOD, NOT LESS THAN 1 YEAR OLD, FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES.
- PROPOSED PLANT MATERIAL WILL NOT INTERFERE WITH ANY EXISTING AND/OR PLANNED UNDERGROUND OR OVERHEAD UTILITIES.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS, WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- THE GUYING OF TREES IS OPTIONAL, BUT, THE LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIALS. THE GUYING DETAILS ARE AN APPROVED METHOD OF TREE GUYING, OR EQUAL.
- CONTRACTOR SHALL ADHERE TO ALL LOCAL LANDSCAPE ORDINANCES.

### PLANT SCHEDULE

EVERGREEN SHRUBS	QTY	COMMON NAME / BOTANICAL NAME	SIZE	CONT
	54	DWARF BURFORD HOLLY / Ilex cornuta	6-8"H	GAL

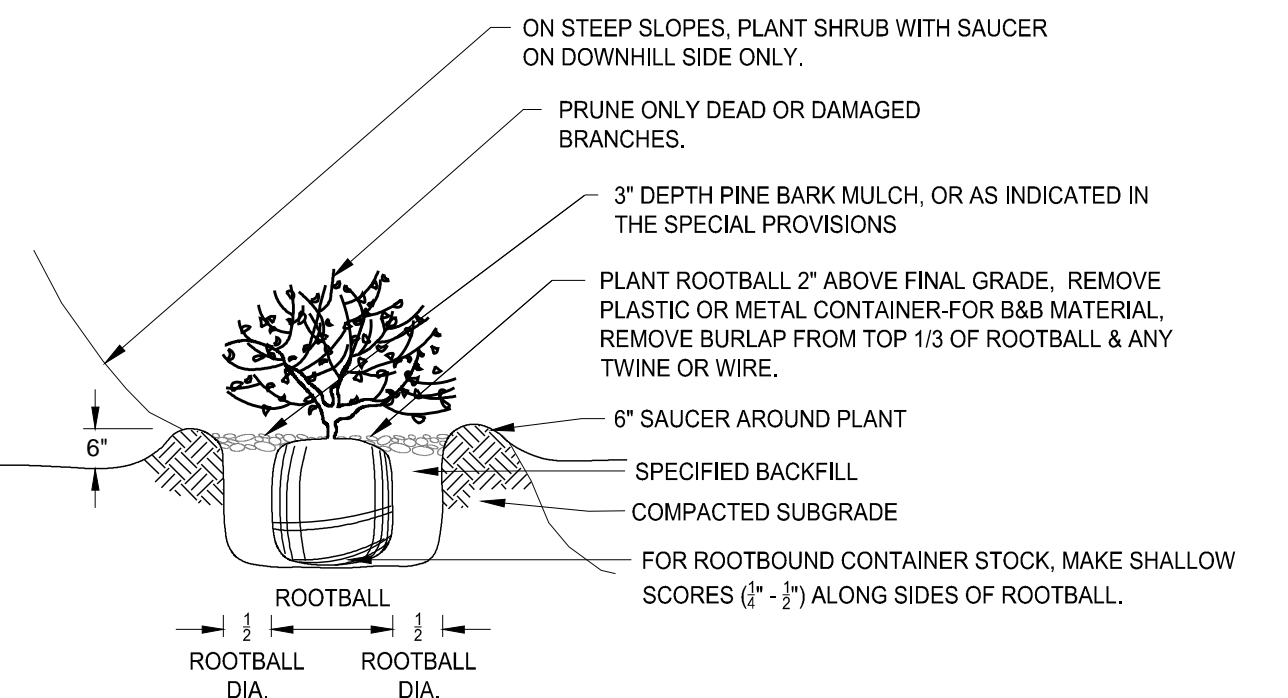
## TREE PLANTING & GUYING

2



## GUYING PATTERN

3



## SHRUB PLANTING DETAIL

4

# MBI

ENGINEER:

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CONSULTANT

SEAL:

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PROJECT INFORMATION

PROJECT:

### POWELL SHOPPING CENTER

PROJECT ADDRESS:

2109 W EMORY RD & 0 DRAWBRIDGE CT  
POWELL, TN 37849

PROJECT NO.: 221026

ACTIVE DESIGN PHASE

- |                                     |                        |
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| <input type="checkbox"/>            | FOR PERMITTING ONLY    |
| <input type="checkbox"/>            | SCHEMATIC DESIGN       |
| <input type="checkbox"/>            | DESIGN DEVELOPMENT     |
| <input type="checkbox"/>            | CONSTRUCTION BIDDING   |
| <input checked="" type="checkbox"/> | CONSTRUCTION DOCUMENTS |
| <input type="checkbox"/>            | AS-BUILT RECORD SET    |

REVISION INFORMATION

NO.	DATE	DESCRIPTION
1	02/20/2023	COUNTY ENGINEERING
3	03/23/2023	COUNTY PLANNING

KEY PLAN

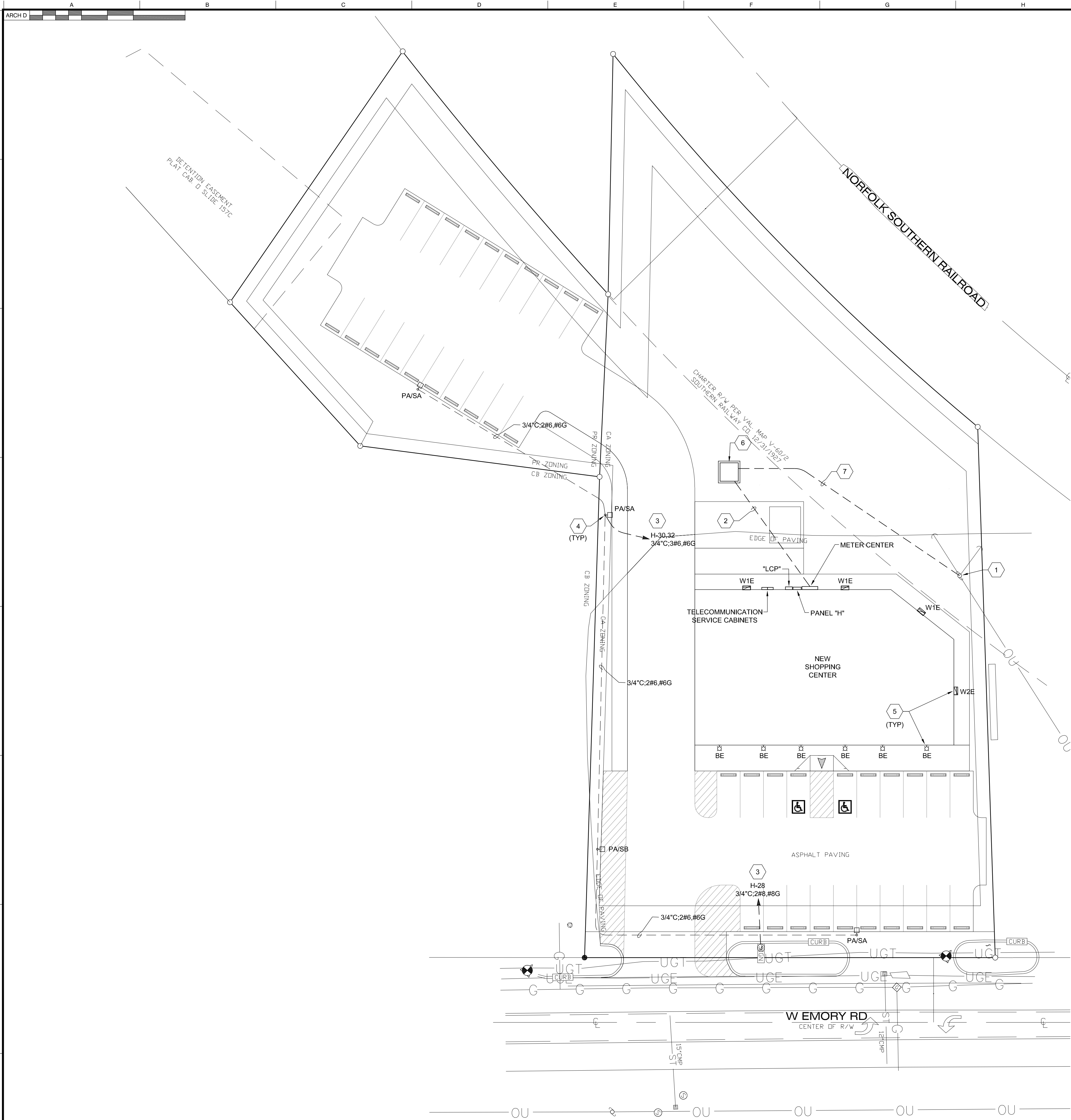
SHEET INFORMATION

SHEET ISSUED: 01/20/2023  
DESIGNED BY: A.G.C.  
DRAWN BY: A.G.C.  
REVIEWED BY: C.B.T.  
SHEET TITLE:

### SITE LANDSCAPE PLAN

SHEET NO.:

# L100



SITE PLAN - ELECTRICAL

SCALE: 1" = 20'-0"

GENERAL SHEET NOTES:

- SEE SHEET E001 FOR ELECTRICAL LEGEND AND GENERAL NOTES.
- COORDINATE ALL UNDERGROUND UTILITY WORK WITH CIVIL DRAWINGS BEFORE STARTING ANY WORK TO AVOID INTERFERENCE WITH EXISTING AND NEW UNDERGROUND WATER, GAS, SEWER, AND STORM UTILITY LINES.

KEYED SHEET NOTES:

- EXISTING UTILITY COMPANY RISER POLE, ASSUMED. SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.
- UNDERGROUND SECONDARY FEED FROM UTILITY TRANSFORMER TO BUILDING "METER CENTER". FIELD COORDINATE LOCATION WITH KUB PRIOR TO DOING ANY WORK. SEE RISER DIAGRAM ON SHEET E401 FOR ADDITIONAL INFORMATION.
- SITE LIGHTING CIRCUIT CONTROLLED VIA THE LIGHTING CONTROL PANEL "LCP". SEE LIGHTING CONTROL PANEL SCHEDULE ON SHEET E201 FOR ADDITIONAL INFORMATION.
- NEW SITE LIGHTING FIXTURE WITH POLE AND BASE. SEE SITE LIGHTING FIXTURE SCHEDULE AND DETAILS 2/ES102 AND 3/ES102 FOR ADDITIONAL INFORMATION.
- SEE LIGHTING PLAN E201 FOR BUILDING MOUNTED FIXTURES AND CIRCUITING.
- APPROXIMATE TRANSFORMER AND PAD LOCATION. FIELD VERIFY WITH UTILITY COMPANY PRIOR TO INSTALLATION.
- UNDERGROUND PRIMARY TO UTILITY TRANSFORMER, SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.

MBI

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CONSULTANT  
ELECTRICAL ENGINEER  
STEPHEN MARK  
NEWLIN JR.

SEAL

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PROJECT INFORMATION  
PROJECT:

POWELL SHOPPING  
CENTER

PROJECT ADDRESS:

2109 W. EMORY RD.  
POWELL, TN 37849

PROJECT NO.: 221026

ACTIVE DESIGN PHASE  
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☐ SCHEMATIC DESIGN  
☐ DESIGN DEVELOPMENT  
☐ CONSTRUCTION BIDDING  
☐ CONSTRUCTION DOCUMENTS  
☐ AS-BUILT RECORD SET

REVISION INFORMATION

NO.	DATE	DESCRIPTION

KEY PLAN

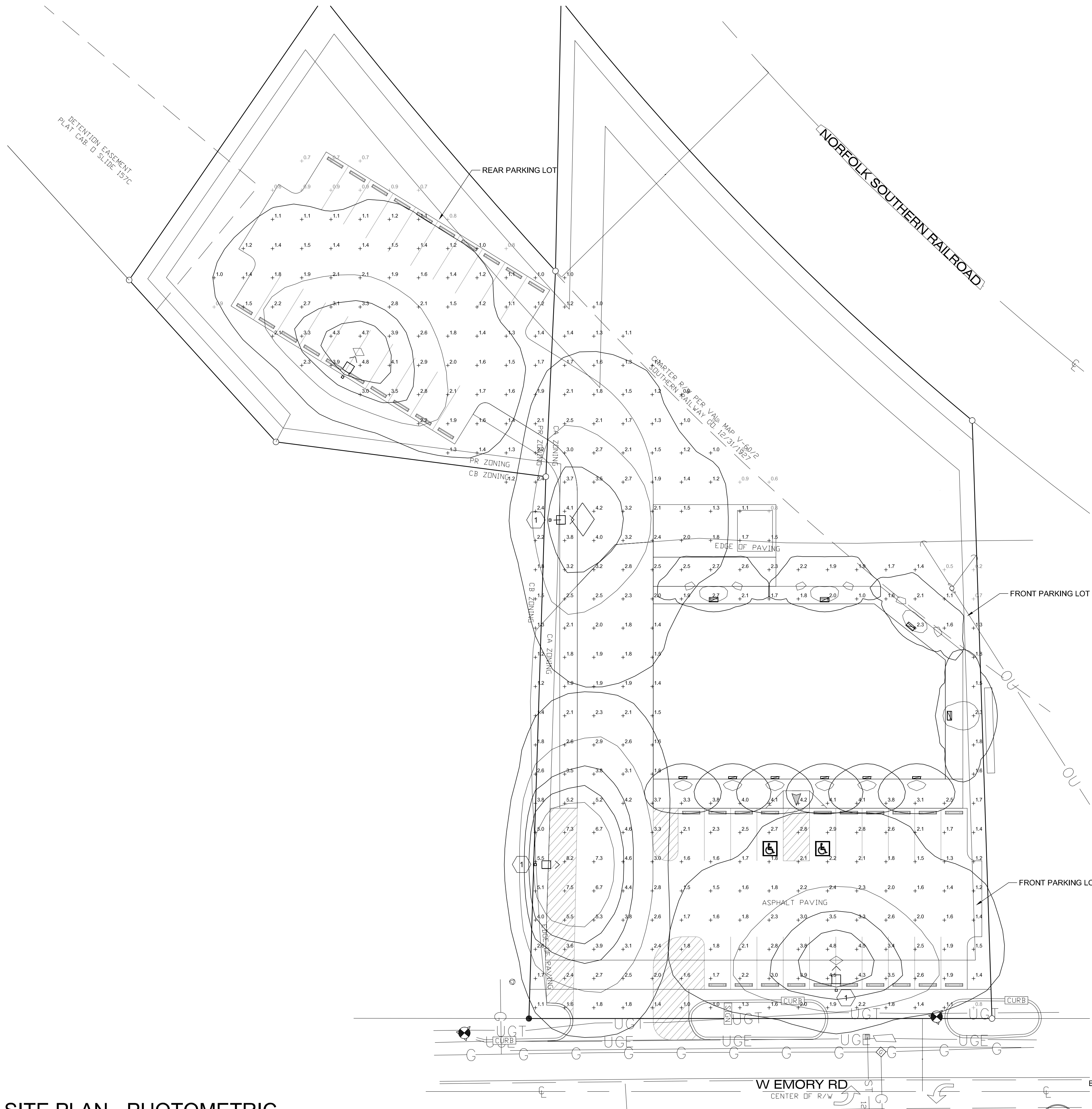
SHEET INFORMATION  
SHEET ISSUED: 01-26-2023  
DESIGNED BY: SMN  
DRAWN BY: IDM  
REVIEWED BY: SMN  
SHEET TITLE:

SITE PLAN -  
ELECTRICAL

SHEET NO.:

ES101

SITE LIGHTING FIXTURE SCHEDULE											
TYPE	LAMP	WATTS	VOLTS	LUMENS	COLOR TEMP	MOUNTING	HEIGHT	MANUFACTURER	CATALOG NO.	REMARKS	
SA	LED	195	208	27,639	4000K	POLE	33'-0"	LITHONIA	RSX4-LED-P1-40K-R4-MVOLT-RPA-NLTAIR2-PIRHN-DOBXD	LED AREA LIGHT. 1 FIXTURE, COLOR: DARK BRONZE (NOTE 2)	
SB	LED	195	208	27,379	4000K	POLE	33'-0"	LITHONIA	RSX4-LED-P1-40K-R2-MVOLT-RPA-NLTAIR2-PIRHN-DOBXD	LED AREA LIGHT. 1 FIXTURE, COLOR: DARK BRONZE (NOTE 2)	
PA							30'-0"	LITHONIA	RTA-30-8E-DM28AS-FBC-VD-DOBXD	ROUND TAPERED STEEL POLE. COLOR: DARK BRONZE	
NOTES:											
1. PROVIDE ALL NECESSARY EQUIPMENT, ACCESSORIES, AND MOUNTING HARDWARE FOR A COMPLETE INSTALLATION OF ALL SITE LIGHTING FIXTURES.											
2. FIXTURE SHALL HAVE MOTION SENSOR FOR SETBACK CONTROL OF FIXTURES TO 70% OUTPUT WHEN MOTION IS NOT DETECTED. WHEN MOTION IS DETECTED BY ANY SENSOR ALL LIGHTS SHALL COME UP TO FULL BRIGHTNESS.											



GENERAL SHEET NOTES:

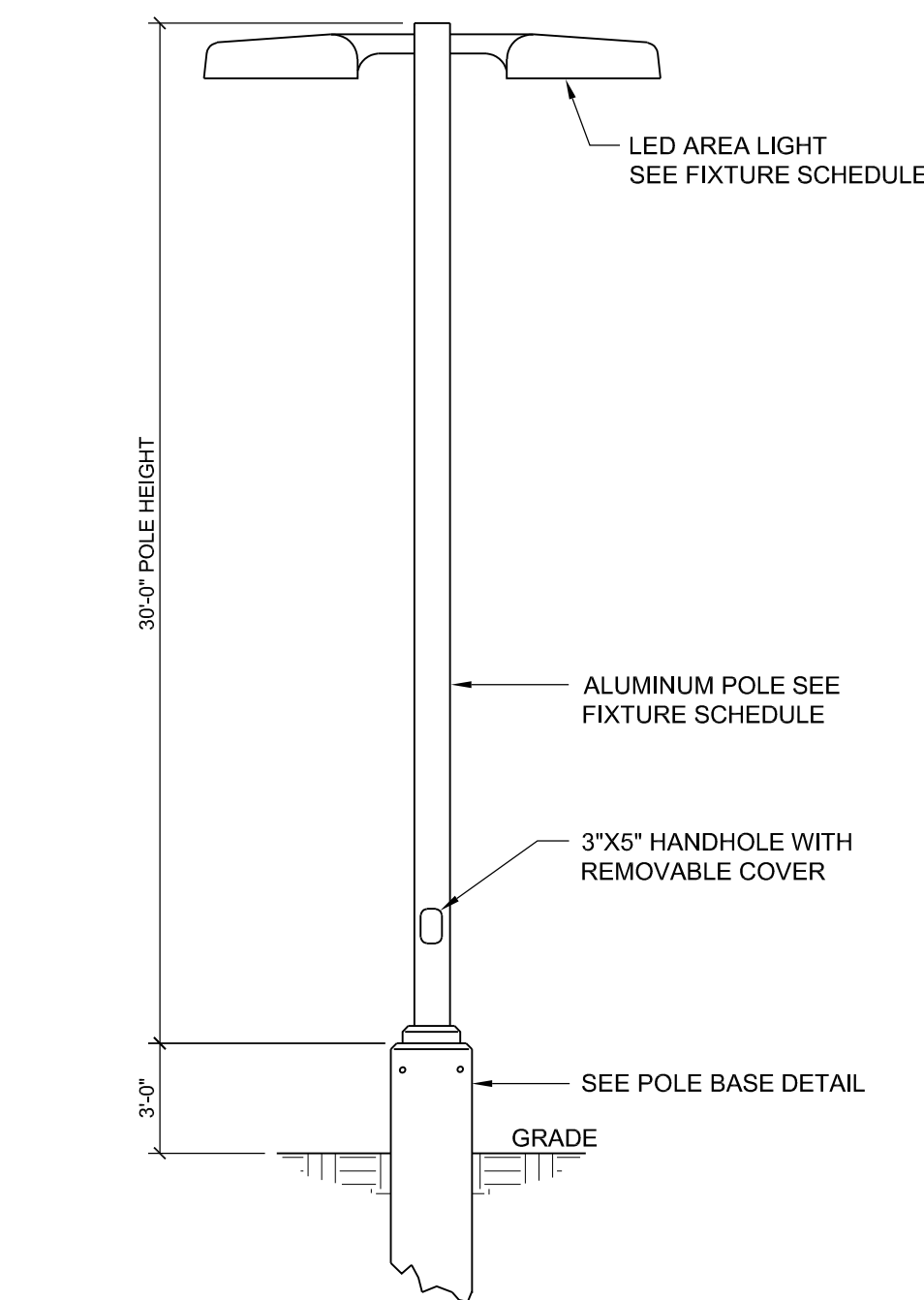
1. SEE SHEET E001 FOR ELECTRICAL LEGEND AND GENERAL NOTES.
2. ALL EXTERIOR LIGHTING FIXTURES ARE CONTROLLED THROUGH THE LIGHTING CONTROL PANEL "LCP". SEE SHEET E204 FOR LIGHTING CONTROL SCHEDULES.

### # KEYED SHEET NOTES:

1. ADD HOUSE-SIDE SHIELD TO FIXTURE INDICATED.

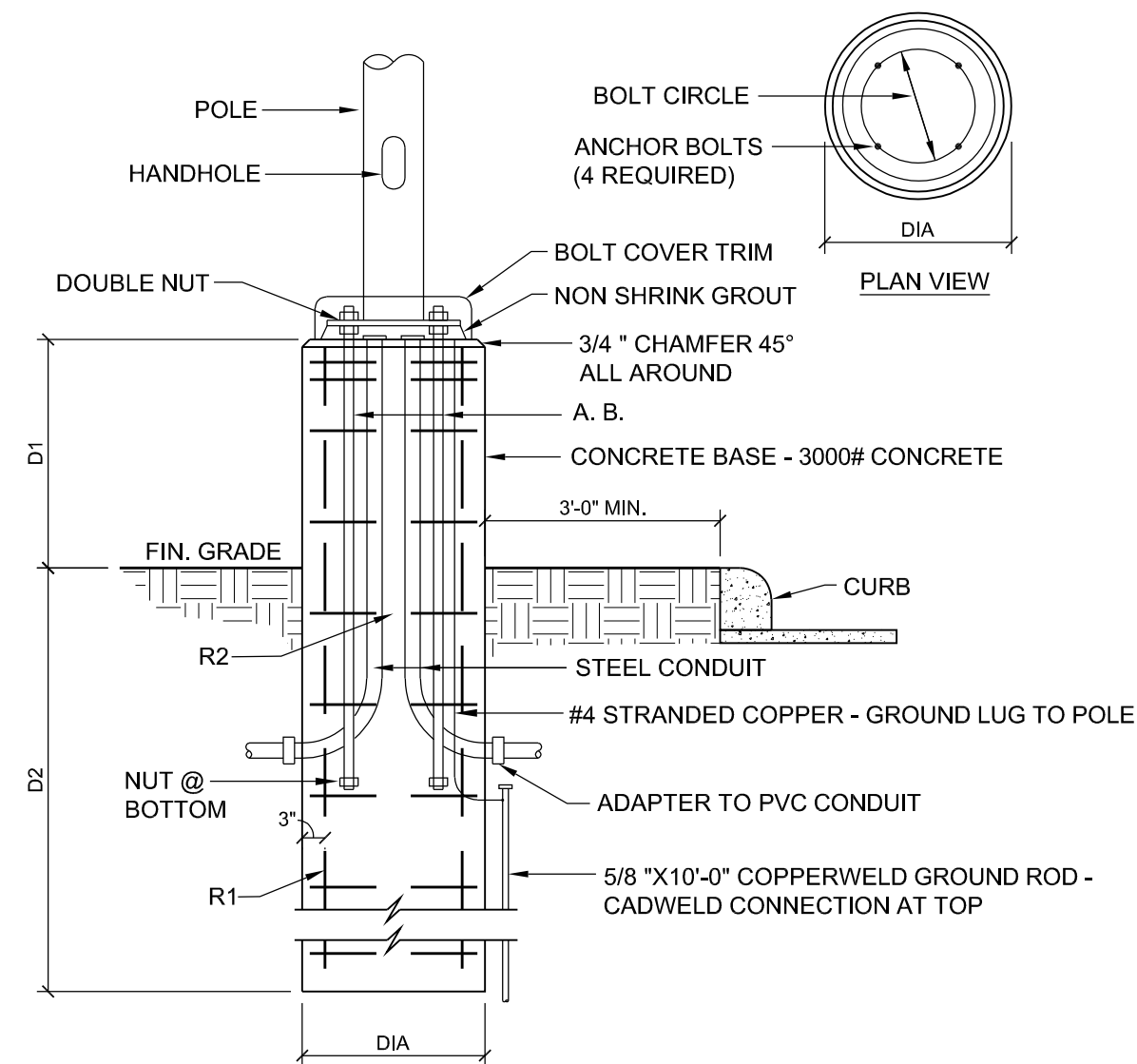
## PHOTOMETRIC SUMMARY

PROJECT: AHM - ALABAMA PPO BUILDING									
LABEL	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN	L.L.F.		
OVERALL CALC ZONE	+	2.2 FC	8.2 FC	0.2 FC	41.0 : 1	11.0 : 1	0.95		
REAR PARKING LOT	+	2.0 FC	4.8 FC	0.7 FC	6.9 : 1	2.9 : 1	0.95		
FRONT PARKING LOT	+	2.4 FC	4.8 FC	1.3 FC	3.7 : 1	1.8 : 1	0.95		
BUILDING PERIMETER	+	2.4 FC	4.2 FC	0.8 FC	5.3 : 1	3.0 : 1	0.95		



## POLE DETAIL

SCALE: N.T.S.



POLE HT.	D1	D2	DIA	R1	R2	A. B.'s (A307)	M max
30'	3'-0"	6'-0"	24"	(4) # 6 BAR	#3 TIES @ 12"O.C. 3" O.C. @ TOP	(4) 3/4" X 36"	10.25 K-FT

## POLE BASE DETAIL

SCALE: N.T.S.

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
KNOXVILLE, TN 37919

---

PHONE: (865) 584-0999

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## PROJECT INFORMATION

PROJECT:

POWELL SHOPPING  
CENTER

PROJECT ADDRESS

2109 W. EMORY RD.  
POWELL, TN 37849

PROJECT NO.: 221026

## ACTIVE DESIGN PHASE

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|-------------------------------------|------------------------|
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| <input type="checkbox"/>            | FOR PERMITTING ONLY    |
| <input type="checkbox"/>            | SCHEMATIC DESIGN       |
| <input type="checkbox"/>            | DESIGN DEVELOPMENT     |
| <input type="checkbox"/>            | CONSTRUCTION BIDDING   |
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## REVISION INFORMATION

NO.	DATE	DESCRIPTION
01	04/08/2022	REV #01

## KEY PLAN

## SHEET INFORMATION

SHEET ISSUED:	01-26-2023
DESIGNED BY:	SMM
DRAWN BY:	IDM
REVIEWED BY:	SMM
SHEET TITLE:	

SITE PLAN -  
PHOTOMETRIC

SHEET NO.:

## SITE PLAN - PHOTOMETRIC

ES102