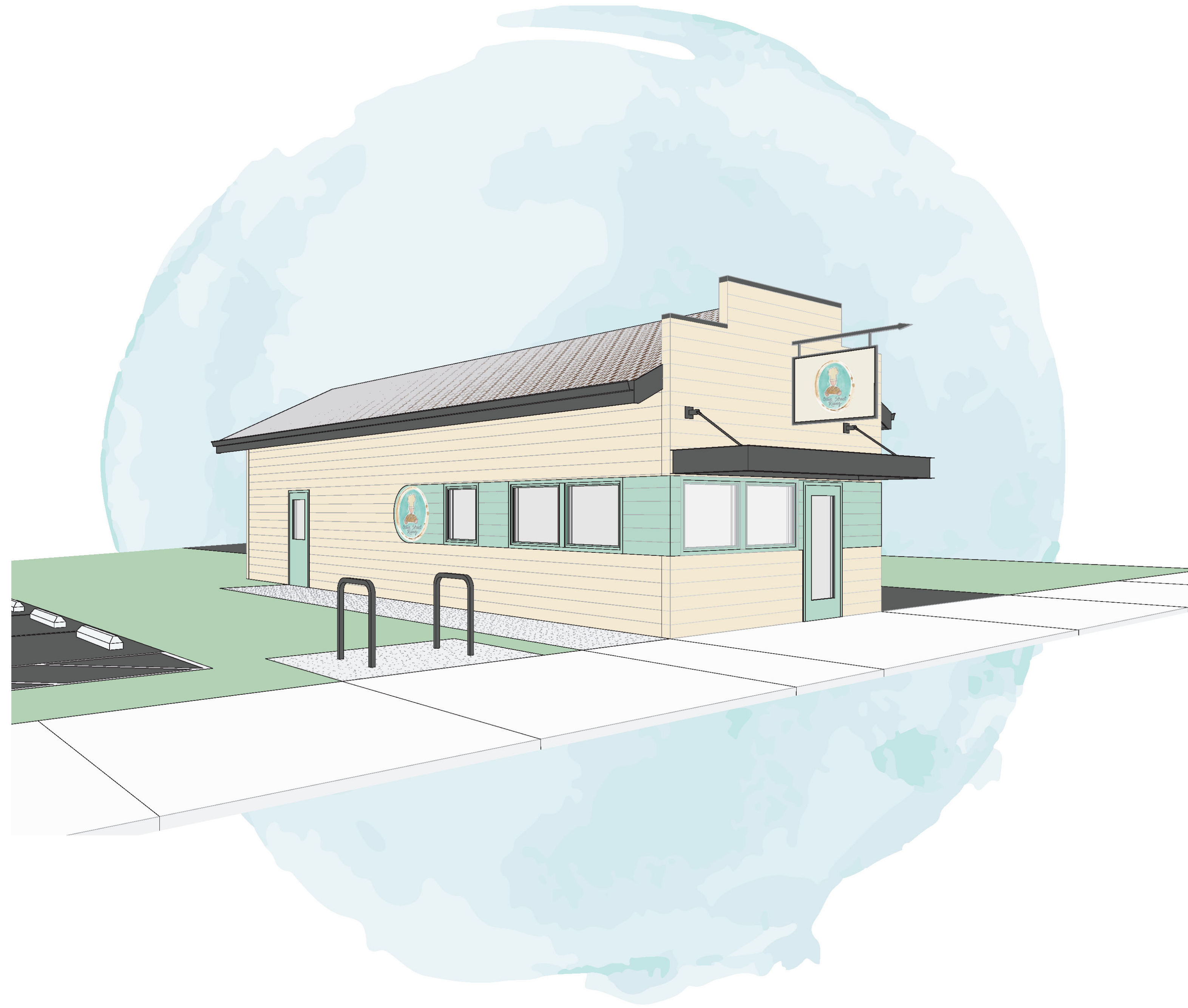


Building Renovation and Site Improvements for: Olive Street Rising

514 N. Olive Street
Knoxville, TN 37917



Special Use Review: 02/26/2024

TITLE		
G0.0	Cover Sheet	
G1.0	Specifications	
G2.0	Specifications	
LIFE SAFETY		
LS1.1	Life Safety Plan, Code Review, & Zoning Review	
ARCHITECTURAL DEMOLITION		
AD1.1	Architectural Demolition Plan & RCP	
ARCHITECTURAL SITE		
AS1.1	Architectural Site Plan	
CIVIL		
C1	Civil	
ARCHITECTURAL		
A1.1	Floor Plan, RCP, & Roof Plan	
A3.1	Building Elevations	
A4.1	Building Sections	
A5.1	Wall Sections	
A6.1	Door Schedule, Elevations, & Details	
A6.2	Fenestration Elevations	
A6.3	Details	
A7.0	Finish Index	
A7.1	Finish Schedule	
A7.2	Finish Floor Plan	
A8.1	Enlarged Floor Plans & Interior Elevations	
A9.1	Interior Details	
STRUCTURAL		
S2	Structural	
PLUMBING		
P1	Plumbing	
FIRE PROTECTION		
FP	Fire Protection	
MECHANICAL		
M1	Mechanical	
ELECTRICAL		
E1	Electrical	

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3 View From Olive Street NTS

<p>Owner: Olive Street Rising 514 N Olive Street Knoxville, TN 37917</p> <p>Contact: Grant & Suzanne Stelling T: 865.679.1094 E: a@rightbut@gmail.com</p>	<p>Architect: Studio Four Design, Inc. 414 Clinch Avenue Knoxville, TN 37902</p> <p>Contact: Corey Boss T: 865.523.5001 E: cboss@s4dinc.com</p>	<p>Civil Engineer: Urban Engineering Inc. 11852 Kingston Pike Farragut, TN 37934</p> <p>Contact: Chris Sharp T: 865.607.3517 E: chris@urban-eng.com</p>	<p>Structural Engineer: Elam Structural Engineering P.O. Box 30799 Knoxville, TN 37931</p> <p>Contact: Josh Elam T: 865.246.0164 E: elam@elamse.com</p>	<p>M/E/P Engineer: Facility Systems 713 South Central Street, Suite 101 Knoxville, Tennessee 37902</p> <p>Contact: Jason Hollway T: 865.246.0164 E: jhollway@facilitysystems.org</p>	<p>Specialty Consultant (Kitchen Equipment): KaTom 305 KaTom Drive Kodak, Tennessee 37764</p> <p>Contact: Turner Whaley T: 865.255.5231 E: twhaley@katom.com</p>
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2 Project Contacts NTS

4-A-24-SU
3/25/2024

1 Sheet List NTS



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Building Renovation and Site Improvements for:
Olive Street Rising

514 N. Olive Street
Knoxville, TN 37917



Project Phase: Schematic Design

Issue Date: 02/26/2024		
Revisions		
#	Description	Date

Job Number: 23075
Cover Sheet

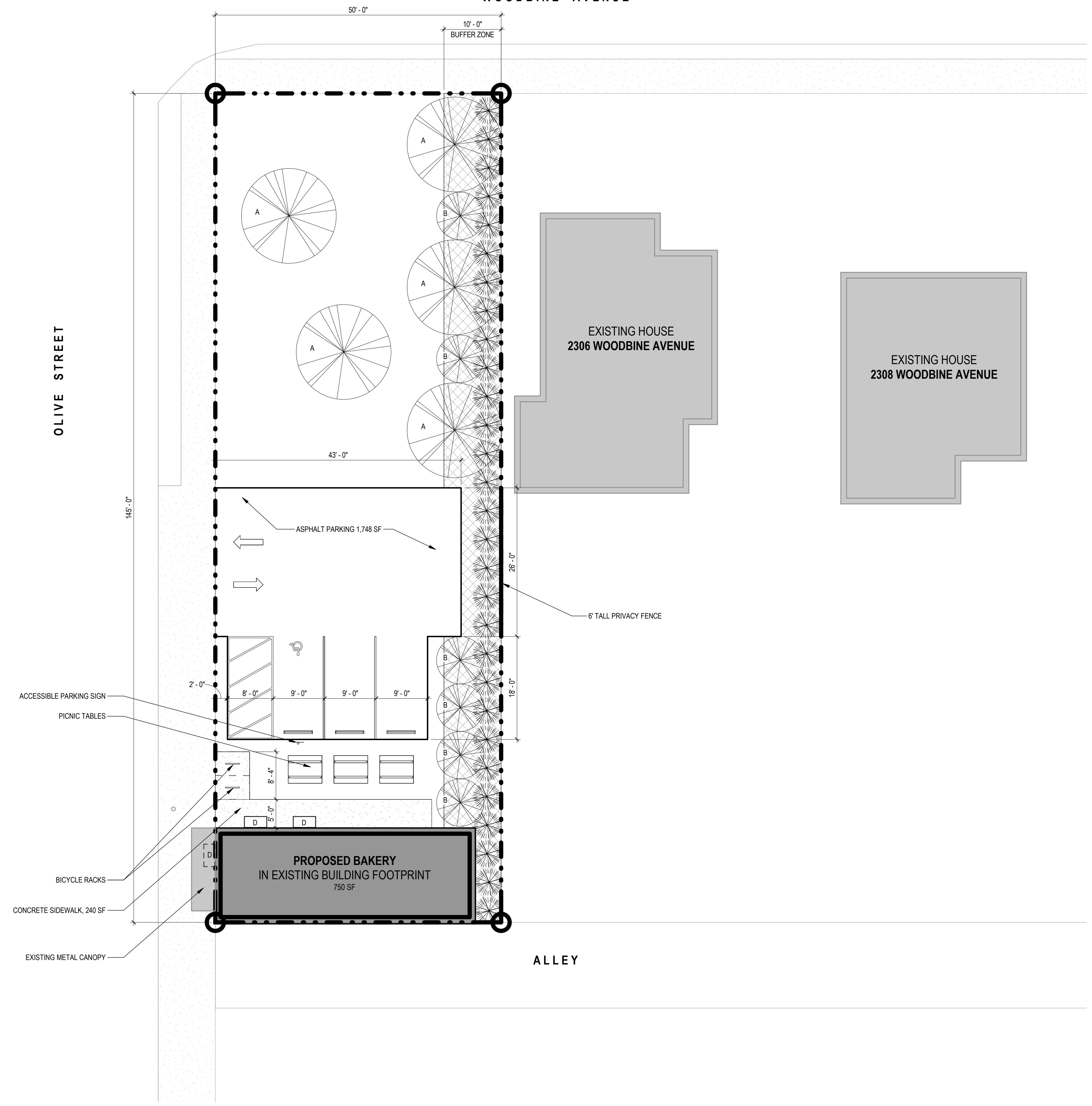
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WOODBINE AVENUE

OLIVE STREET



OLIVE STREET RISING (OSTR), A NEW NEIGHBORHOOD SUBSCRIPTION BAKERY, WILL BE OPEN TUESDAY - FRIDAY, 7AM - 6PM, AND SATURDAY (8:30AM - 11AM), SUBSCRIPTION PICK-UPS WILL BE BETWEEN 3-6PM. IT WILL BE OPEN FOR BREAKFAST AT 7AM, STAY OPEN FOR WALKING/BIKING TRAFFIC, BUT WILL PRIMARILY FOCUS ON KEEPING BASIC FOOD STOCK/GRAB-N-GO ITEMS AND WORKING ON SUBSCRIPTION ORDERS. OSTR DOES NOT HAVE INDOOR SEATING, BUT WOULD LIKE TO HAVE A FEW PICNIC TABLES OUTSIDE TO SIT AND EAT BECAUSE PARKRIDGE IS AN ACTIVE WALKING AND BIKING NEIGHBORHOOD.

3 Operational Summary

ZONING JURISDICTION:	CITY OF KNOXVILLE	
ZONING DISTRICT:	RN-2 (SINGLE FAMILY RESIDENTIAL)	
OVERLAY(S):	NONE	
NEIGHBORHOOD:	PARKRIDGE	
CITY WARD:	15	
CITY BLOCK:	15861	
PARCEL ID:	082JS001	
PLAT RECORDED:	YES	
DEVELOPMENT TYPE:	COMMERCIAL KITCHEN (BAKERY)	
USE PERMITTED:	BY SPECIAL USE	

ZONE REQUIREMENT	AS PERMITTED	AS PROPOSED
LOT AREA:	10,000 SF MIN / NO MAXIMUM LIMIT (KCO 4.3)	7,250 SF (EXISTING CONDITION)
LOT WIDTH (NONRESIDENTIAL):	75' MIN (KCO 4.3)	145'
BUILDING HEIGHT ¹ :	35' MAX (KCO 4.3)	16' (EXISTING CONDITION)
BUILDING COVERAGE:	30% MAX (KCO 4.3)	10.3% (750 SF / 7,250 SF) (EXISTING CONDITION)
IMPERVIOUS SURFACE:	50% MAX (KCO 4.3)	38.8%
FRONT SETBACK:	20' MIN (KCO 4.3)	NO CHANGE (KCO 17.1.A.2)
INTERIOR SIDE SETBACK:	5' OR 15%, WHICHEVER IS LESS (KCO 4.3)	NO CHANGE (KCO 17.1.A.2)
CORNER SIDE SETBACK (NONRESIDENTIAL):	20' MIN (KCO 4.3)	NO CHANGE (KCO 17.1.A.2)
REAR SETBACK:	25' MIN (KCO 4.3)	NO CHANGE (KCO 17.1.A.2)
AUTOMOBILE PARKING:	3 SPACES MIN / 6 SPACES MAX	3 SPACES
BICYCLE PARKING:	4 SPACES MIN	4 SPACES

¹ SEE SECTIONS & ELEVATIONS
² SEE LIFE SAFETY PLANS

2 Zoning Review

NOT FOR CONSTRUCTION

DD

Project Phase: Design Development

Issue Date: 03.25.2024

#	Description	Date

Job Number: 23075

Architectural Site Plan

- SHADE TREE: ALLEE LACEBARK ELM (ULMUS PARVIFOLIA) - PROPOSED
- EVERGREEN TREE - PROPOSED
- SHRUB, MINIMUM OF 50% TO BE EVERGREEN - PROPOSED
- PLANTER BOX (SEASONAL FLOWERS) - PROPOSED
- CLASS A BUFFER YARD INCLUDING SHRUBS EVERY 5', (6) EVERGREEN TREES, AND (3) SHADE TREES - PROPOSED
- BUILDING FOOTPRINT - PROPOSED
- BUILDING FOOTPRINT - EXISTING
- AWNING - PROPOSED
- CONCRETE SITE SLAB - PROPOSED
- PROPERTY BOUNDARY
- SETBACK
- PAINTED STRIPING & PARKING LOT SYMBOLS - SEE PLAN FOR LAYOUT
- BICYCLE RACK (IN-GROUND MOUNT) - PROPOSED
- CONDENSING UNIT (PER MECHANICAL) - PROPOSED
- CURBSIDE TRASH / RECYCLING CART (PER JURISDICTION) - PROPOSED

4 Architectural Site Plan

1 Site Plan Legend



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 514 N. Olive Street
 Knoxville, TN 37917



Project Phase: Design Development

Issue Date: 03.25.2024

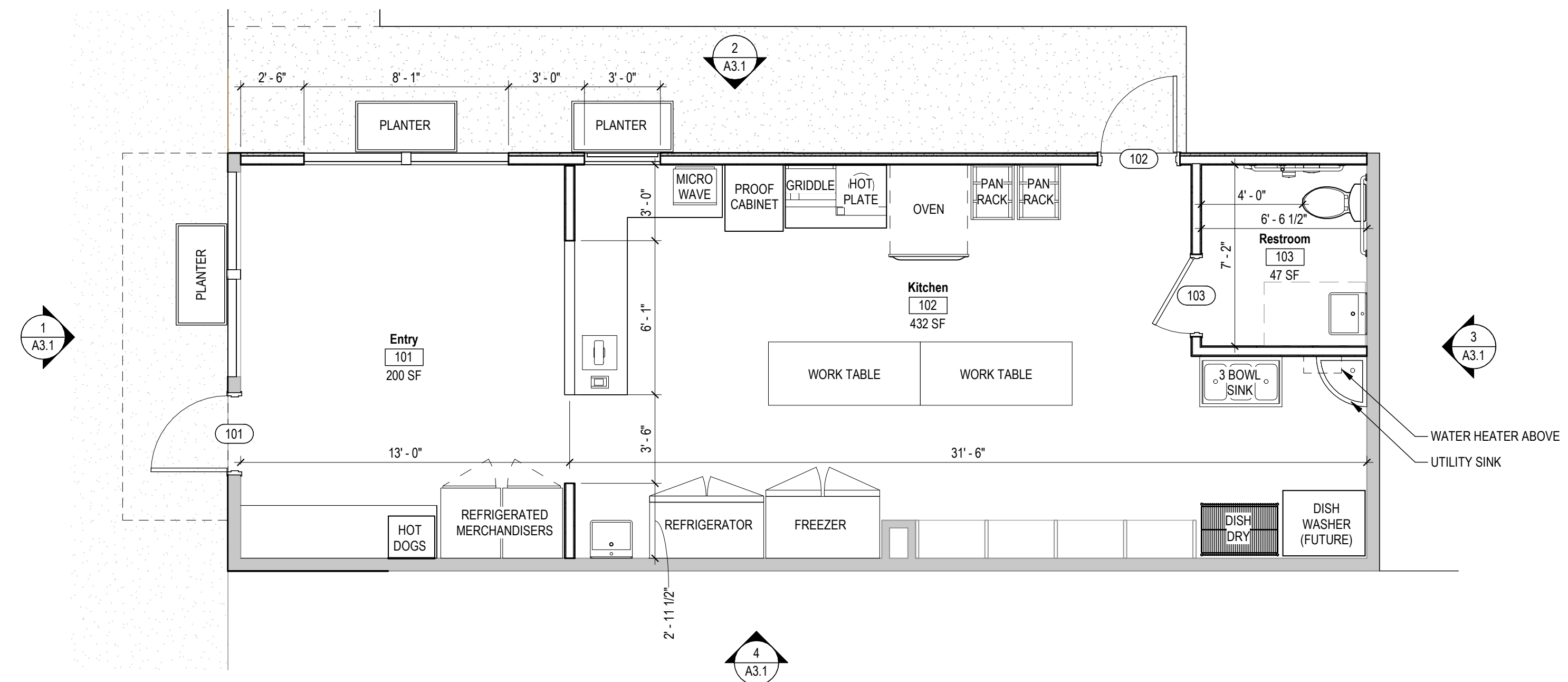
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Job Number: 23075
 Architectural Site Plan

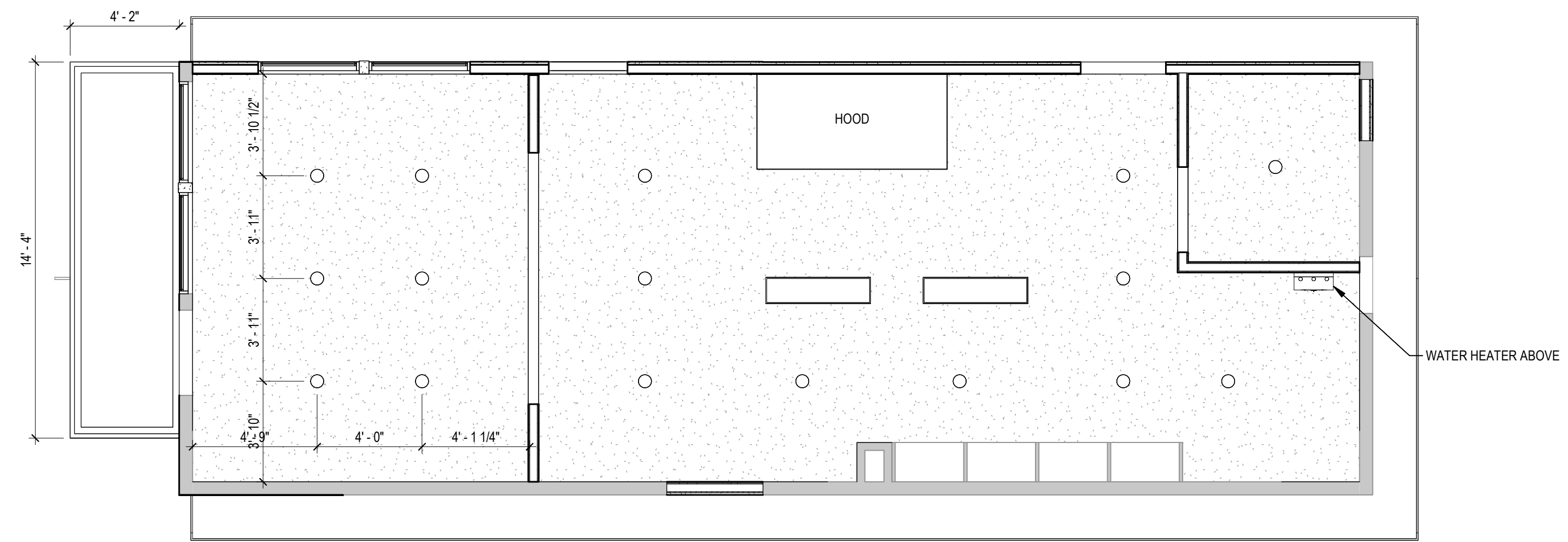
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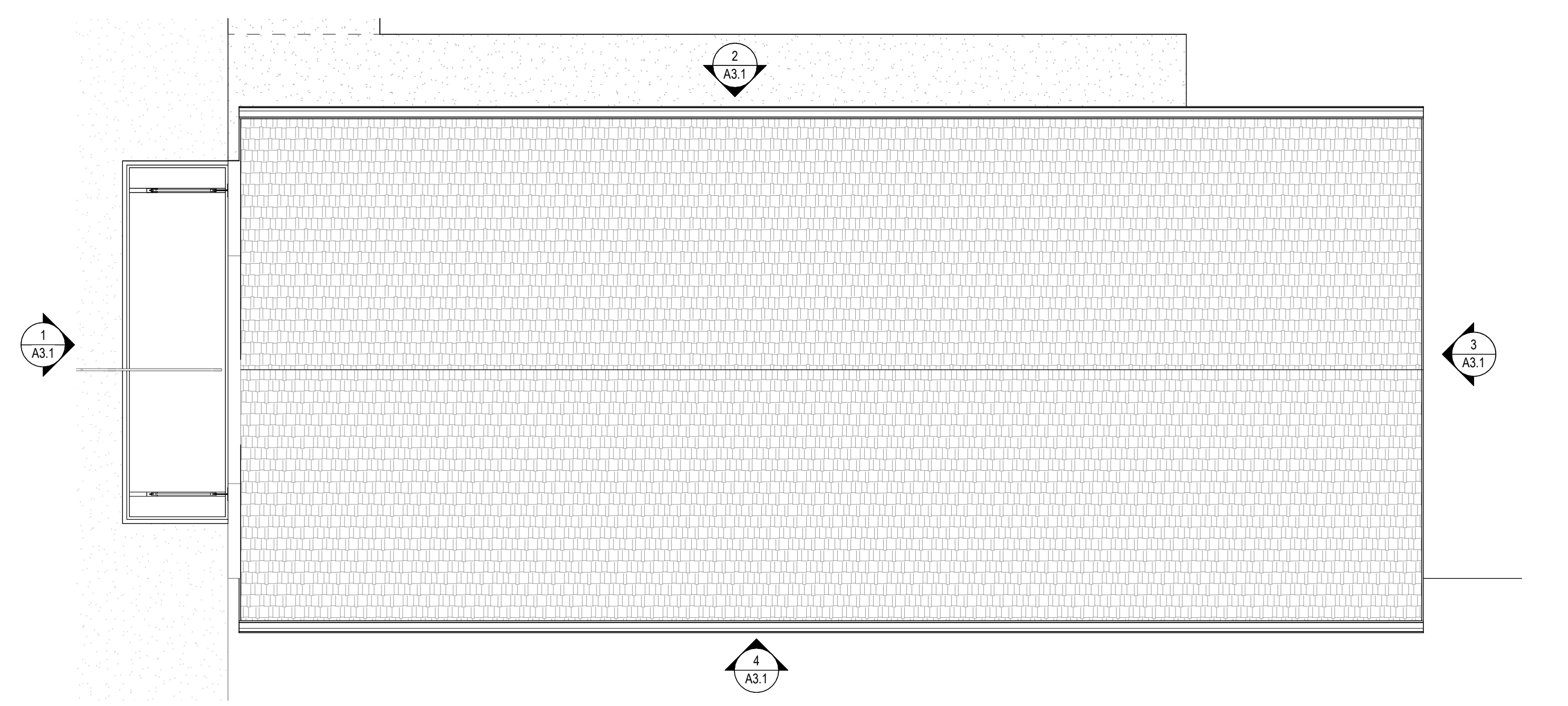
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6 Floor Plan
 1/4" = 1'-0"



5 Reflected Ceiling Plan
 1/4" = 1'-0"



4 Roof Plan
 1/4" = 1'-0"

- Partition (3 5/8" Steel Stud)**
 5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS. PROVIDE SOUND-ATTENUATING BATT INSULATION WHERE INDICATED ON PLANS. EXTEND ALL LAYERS 6" ABOVE THE HIGHEST ADJACENT CEILING PLANE. PROVIDE BRACING AS REQUIRED. PROVIDE SOUND-ATTENUATING BATT INSULATION 48" HORIZONTAL ABOVE ADJACENT CEILINGS ON EACH SIDE.
- Low Wall Partition (3 5/8" Steel Stud)**
 5/8" GYPSUM BOARD ON EACH SIDE OF 3 5/8" STEEL STUDS. PROVIDE BRACING AS REQUIRED.

- WALL GENERAL NOTES:**
1. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD IF WALL FACE CONTAINS A PLUMBING FIXTURE, IS LOCATED IN A RESTROOM, OR IS WITHIN 2' OF A PLUMBING FIXTURE.
 2. PROVIDE CEMENT BACKERBOARD IN LIEU OF GYPSUM BOARD WHERE TILE FINISH IS SPECIFIED.
 3. ALL NON-BEARING WALL FRAMING TO BE 16" OC. SEE STRUCTURAL FOR BEARING WALL FRAMING.

3 Wall Legend
 NTS

Equipment Schedule				
MARK	DESCRIPTION	MANUFACTURER	MODEL #	SIZE (HxWxD)

2 Equipment Schedule
 NTS

- Recessed Can Light (6" Diameter)**
 LED. PROVIDE ? LENS. PROVIDE I.C.-RATED MODEL WHEN IN CONTACT WITH INSULATION.
- Recessed Troffer Light (2x4)**
 LED. PROVIDE ? LENS.
- Multi-Mount Box Light (1x4)**
 LED. MOUNT BOTTOM OF HOUSING BETWEEN 8'-0" & 9'-0" A.F.F. SURFACE-MOUNT OR PENDANT MOUNT ACCEPTABLE.
- Gypsum Board Ceiling**
 5/8" THICK GYPSUM BOARD OVER LIGHT-GAUGE STEEL FRAMING. SEE INTERIOR FINISH SCHEDULE.
- Acoustical Ceiling Tile System**
 TILES PER FINISH SCHEDULE. PROVIDE SOUND BATT INSULATION ?. SEE INTERIOR FINISH SCHEDULE.
- Metal Panel Soffit System**
 NON-PERFORATED, 7" WIDE METAL PANEL SOFFIT SYSTEM. MOUNT TO UNDERSIDE OF ?. SEE EXTERIOR FINISH SCHEDULE.

- REFLECTED CEILING PLAN GENERAL NOTES:**
1. CENTER ACOUSTICAL CEILING TILE GRID SYSTEM IN ROOM, EITHER WITH GRID CENTERED OR TILE CENTERED PER THE REFLECTED CEILING PLAN, UNLESS DIMENSIONED OR SHOWN TO ALIGN OTHERWISE.
 2. CENTER LIGHTS IN HOST CEILING / SOFFIT SPACE UNLESS DIMENSIONED OTHERWISE.
 3. PROVIDE MOISTURE-RESISTANT GYPSUM BOARD FOR CEILINGS IN ROOMS CONTAINING A SHOWER, SAUNA, OR ARE PRONE TO ABOVE AVERAGE LEVELS OF HUMIDITY.
 4. PROVIDE SOUND-ATTENUATING BATT INSULATION OVER CEILINGS PER WALL LEGEND.
 5. PROVIDE DAMP-RATED LIGHTS IN RESTROOMS AND OTHER ROOMS PRONE TO ABOVE AVERAGE LEVELS OF HUMIDITY.
 6. PROVIDE WET-RATED LIGHTS IN SHOWERS, SAUNAS, AND EXTERIOR CONDITIONS.

1 Reflected Ceiling Plan Legend
 NTS



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Revisions		
#	Description	Date

Job Number: 23075
 Floor Plan, RCP, & Roof Plan

A1.1



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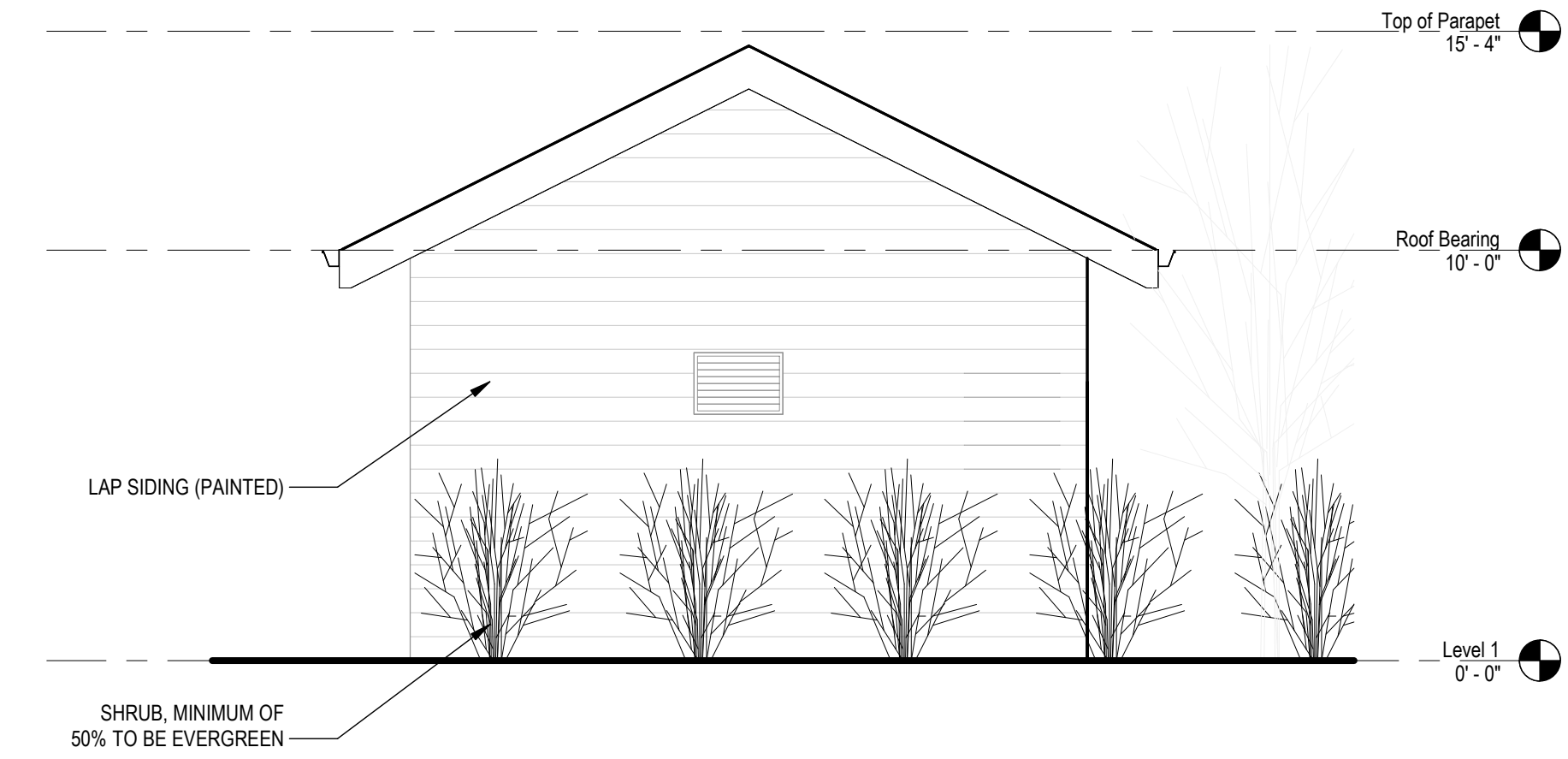
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Revisions		
#	Description	Date

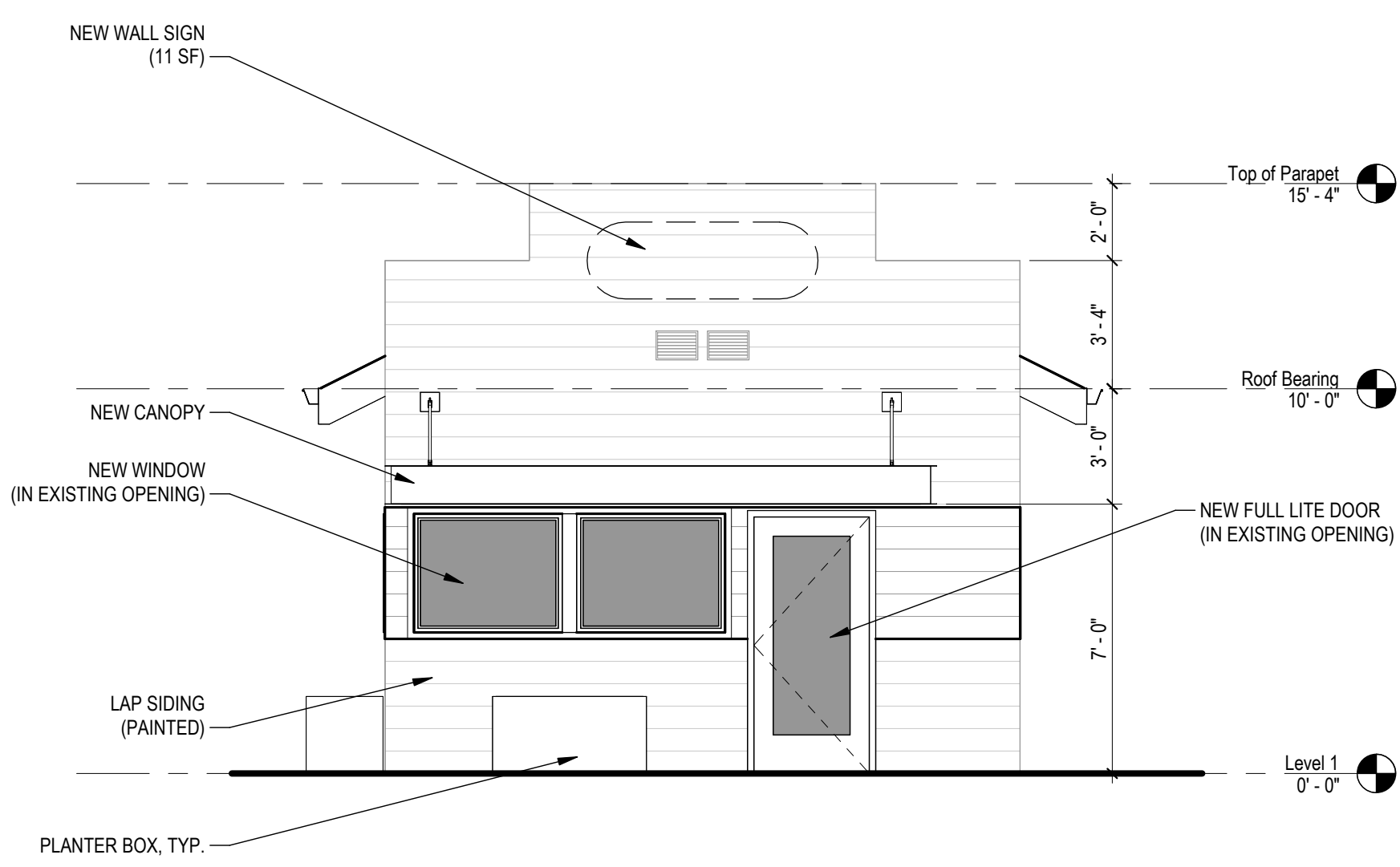
Job Number: 23075

Building Elevations

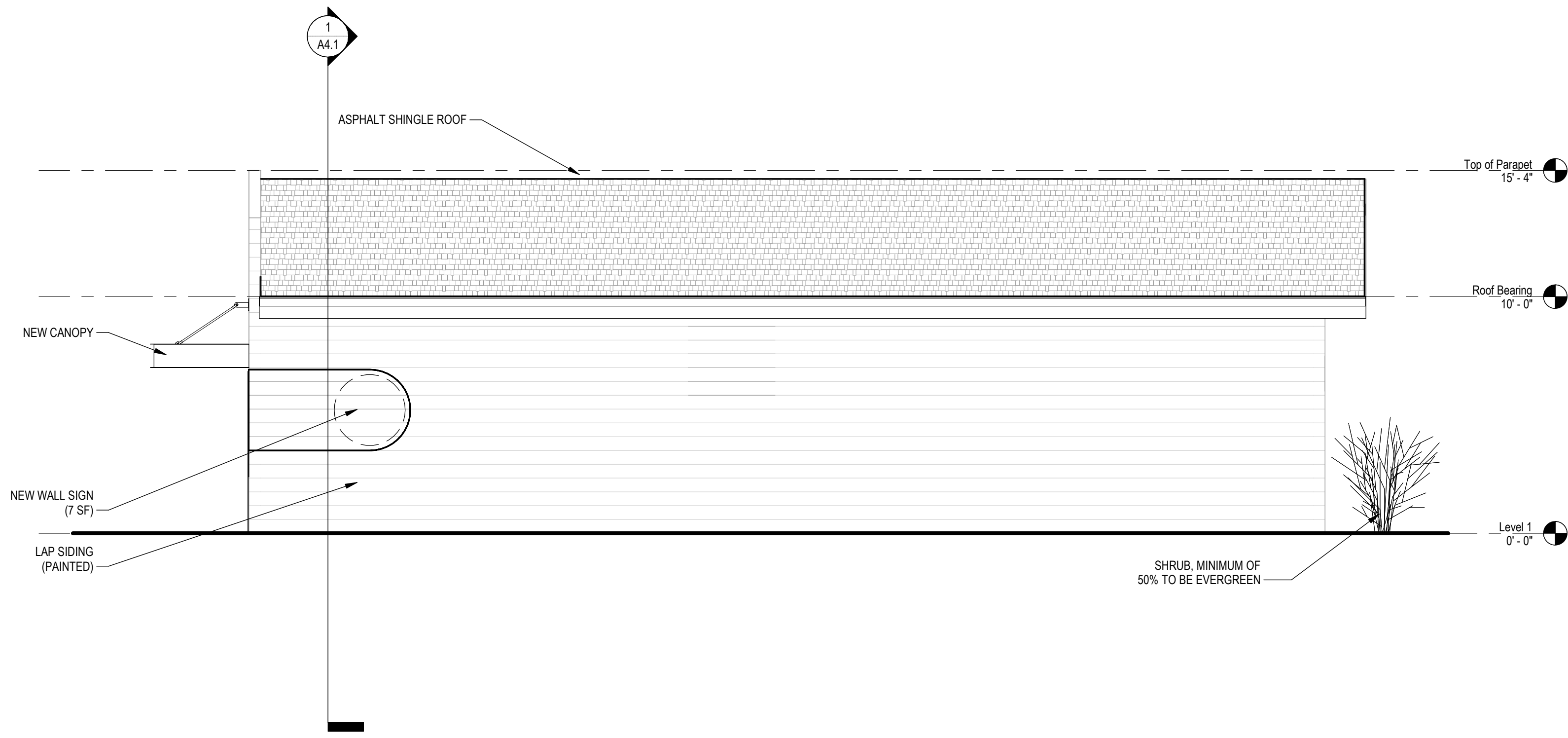
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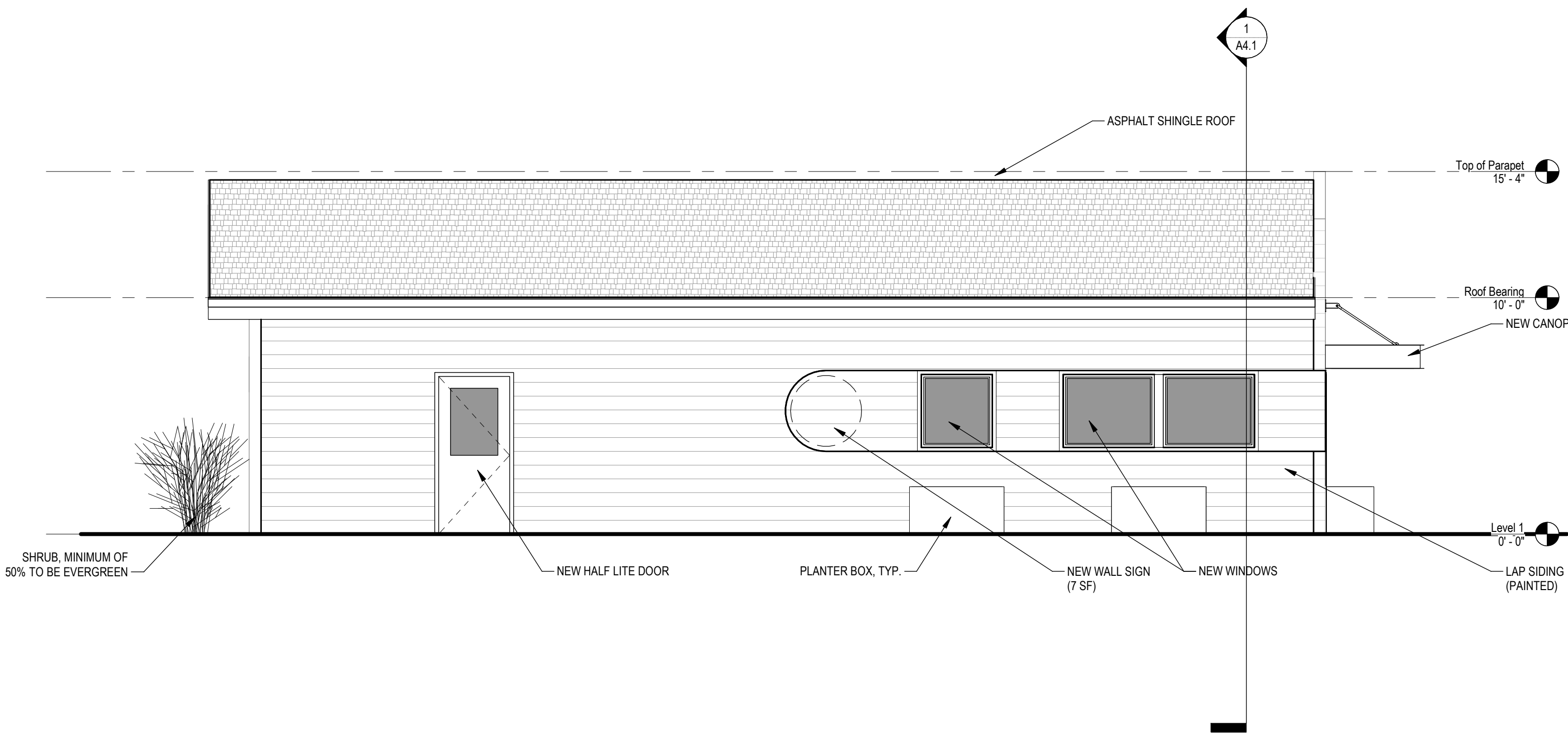
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 1/4" = 1'-0"



1 Exterior Elevation - West
 1/4" = 1'-0"



4 Exterior Elevation - South
 1/4" = 1'-0"



2 Exterior Elevation - North
 1/4" = 1'-0"

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