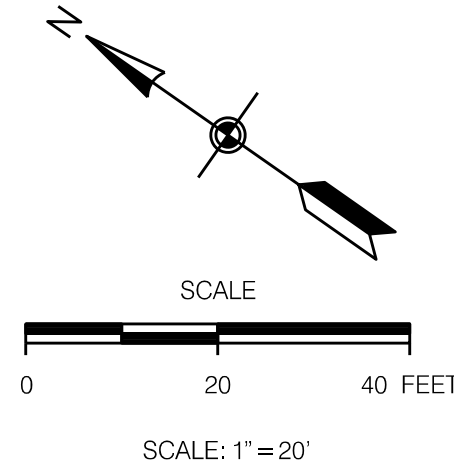
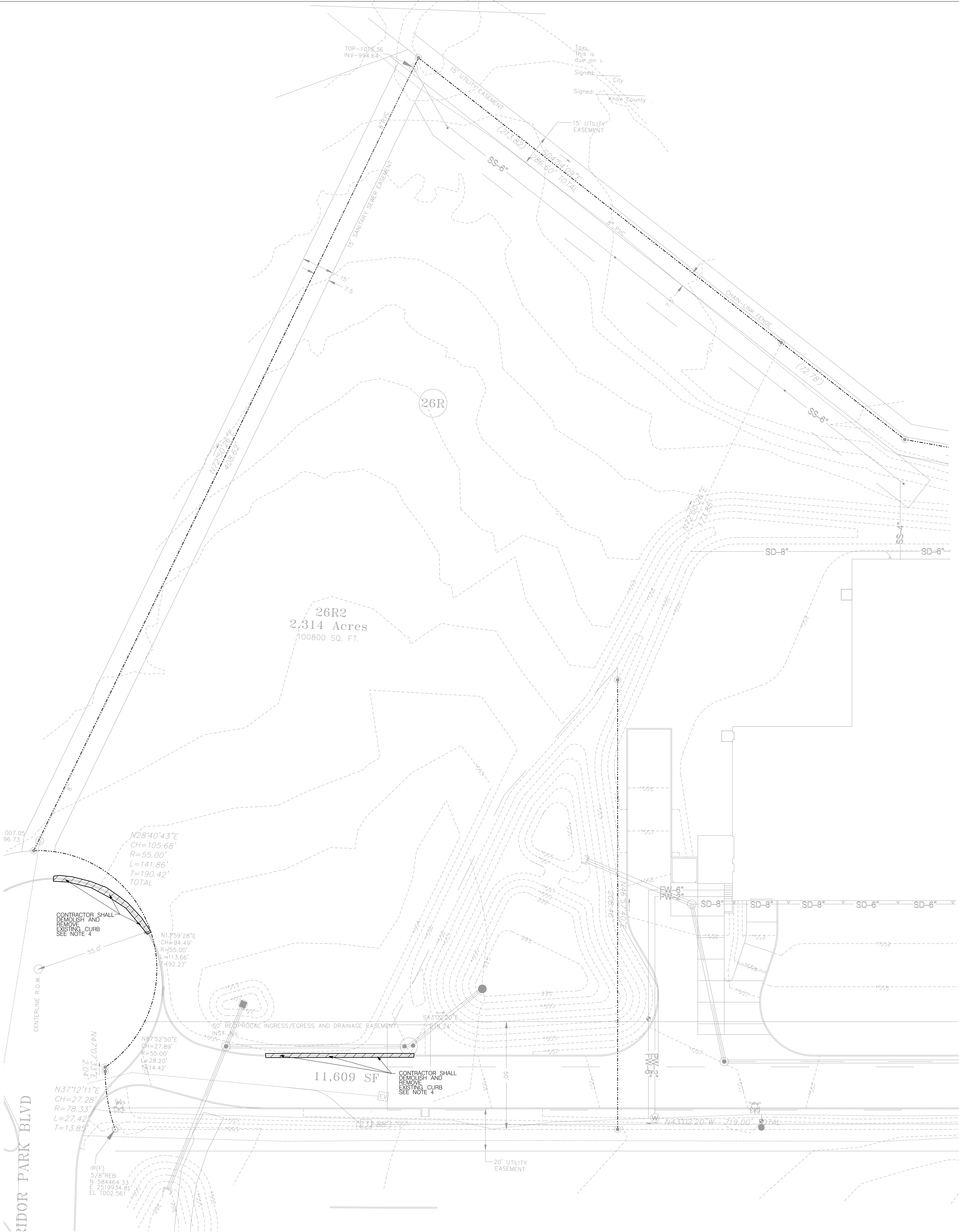


PLOT SCALE:

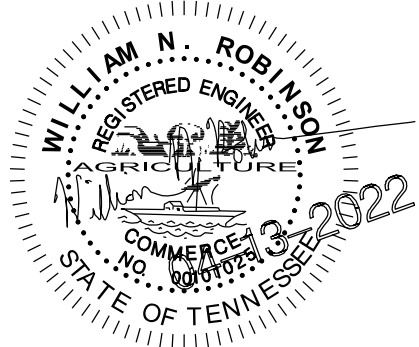


LEGEND:		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT

SITE DEMOLITION NOTES

1. SITE BOUNDARY AND TOPOGRAPHIC SURVEY IS FROM A SURVEY BY LYNCH SURVEYS SURVEYING DATED 10/20/2021. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ENGINEER DOES NOT ACCEPT ANY RESPONSIBILITY FOR EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
2. CONTRACTOR SHALL CALL TN ONE CALL TO LOCATE SITE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL UTILIZE ONE CALL INFORMATION, SITE RECORDS, AND ANY OTHER MEANS AT HIS DISPOSAL TO DETERMINE THE LOCATION OF EXISTING UTILITIES.
3. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EROSION AND SEDIMENTATION CONTROL MEASURES HAVE BEEN INSTALLED AND ARE FUNCTIONAL.
4. CONTRACTOR SHALL REMOVE EXISTING ASPHALT PAVEMENT, CURBS, SIDEWALKS AND/OR OTHER RELATED MATERIALS TO THE LIMITS INDICATED ON THIS PLAN AND DISPOSE OF THE WASTE MATERIALS AS DIRECTED BY THE OWNER AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL RULES AND REGULATIONS. COORDINATE DEMOLITION WITH THE OWNER, PROVIDE TEMPORARY ACCESS ROUTES AS REQUIRED, PERFORM DEMOLITION IN ACCORDANCE WITH THE PROJECT PHASING PLANS.
5. THE CONTRACTOR SHALL REMOVE EXISTING TREES WITHIN THE AREA OF WORK DEPICTED ON THE FOLLOWING DRAWINGS AND AS REQUIRED IN THE FIELD. CONTRACTOR SHALL REMOVE ENTIRE TREE INCLUDING ROOTBALL UNLESS DIRECTED OTHERWISE BY THE GEOTECHNICAL ENGINEER. CONTRACTOR SHALL DISPOSE OF WASTE OFFSITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS. MULCHED BRANCHES MAY BE USED FOR EROSION CONTROL BUT MUST BE REMOVED WHEN THE SITE HAS BEEN STABILIZED.
6. PROVIDE NEAT AND STRAIGHT SAWCUTS OF EXISTING CONCRETE AND/OR PAVEMENT ALONG ALL LIMITS OF CONCRETE AND/OR PAVEMENT DEMOLITION.
7. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS NOTED OTHERWISE. DISPOSE OF DEMOLITION WASTE OFF THE OWNERS PROPERTY IN A LEGAL MANNER.
8. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK. WATER USE SHALL NOT BE EXCESSIVE TO THE POINT OF SUSPENDING SOLIDS/SEDIMENT IN RUNOFF WATER.
9. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, FENCES, TREES, UTILITIES AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
10. THE CONTRACTOR SHALL PREPARE THE PROJECT SITE FOR THE PROPOSED CONSTRUCTION DEPICTED ON THE FOLLOWING DRAWINGS FOR THIS PROJECT. NO ADDITIONAL PAYMENT SHALL BE MADE FOR WORK REQUIRED AND NOT SPECIFICALLY NOTED ON THIS DRAWING. DEMOLITION WORK MAY BE INDICATED ON DRAWINGS BY OTHER DISCIPLINES.

4-B-22-UR
4/13/2022



A NEW CORPORATE HEADQUARTERS FACILITY FOR:
JOHN H. COLEMAN CO., LLC
TTCDA (5-A-22-TOB) PC (4-B-22-JR)
805 Corridor Park Blvd
Knoxville, Tennessee 37932

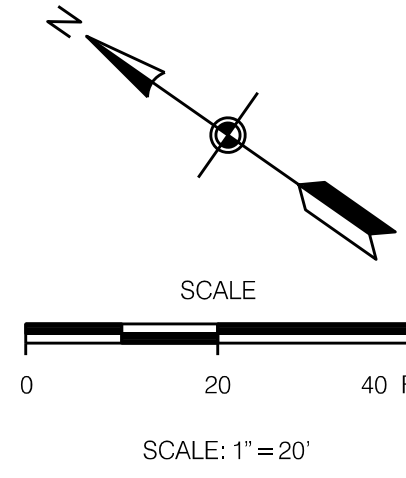
SITE DEMOLITION PLAN

REVISIONS:

DATE: 14/13/2022
FILE NAME:
PROJECT NO: 213142

C1.1

PLOT SCALE:



LEGEND:		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
	NA	FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT

FLOOR AREA RATIO: 14.7% 30% ALLOWABLE
GROSS AREA COVERAGE: 14.7% 25% ALLOWABLE
IMPERVIOUS AREA RATIO: 38.0% 70% ALLOWABLE

SITE LAYOUT NOTES

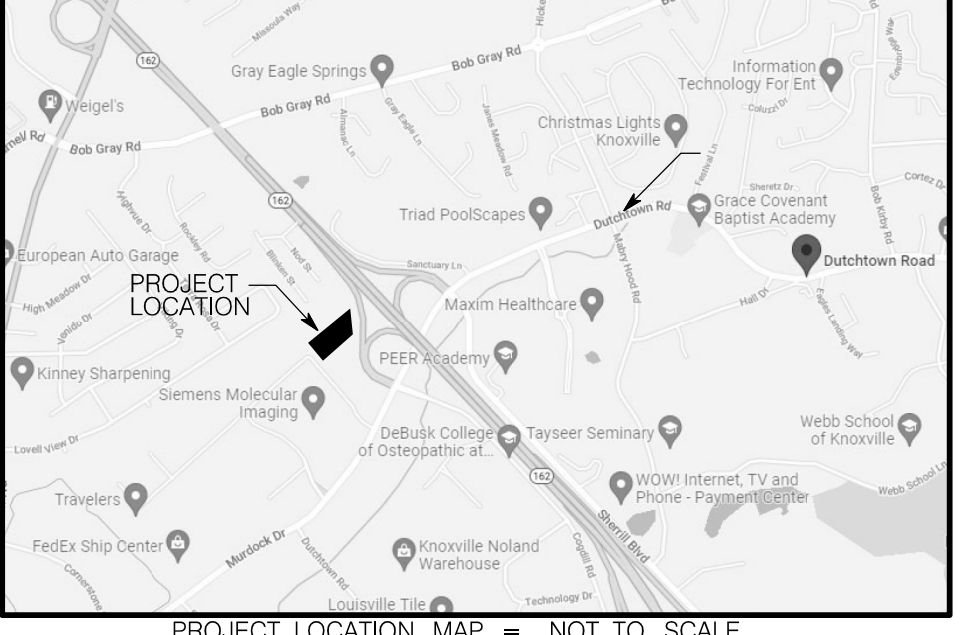
- USE: OFFICE/WAREHOUSE. ZONING: PC/TO, PARCEL 118 17337
- TOTAL BUILDING AREA: EXISTING 14,763 SF (1 STORY)
- TOTAL SITE: 2.31 AC, TOTAL DIST AREA: 1.72 AC, IMPERVIOUS AREA: 37,959 SF
- DEED REFERENCE: 20181113-00300132
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 0242G.
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM NAVD 88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY LYNCH SURVEYS DATED 10/20/2021. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- PARKING SUMMARY:
TTODA WAREHOUSE 1 - 1,541,000 SF OFFICE 3-4-5/1000 SF
KNOX COUNTY: 1 PER 2 EMPLOYEES ON THE TWO LARGEST CONSECUTIVE SHIFTS
TTODA CALC: MIN - 8,225 SF WH X 11,000 MAX - 8,225 WH X 1,541,000 8-12 MIN - 6,538 SF OFFICE X 3,1000 - 6,538 SF OFFICE X 4,51000 20-30
TOTAL SPACES TTODA MIN 28 SPACES, MAX 42 SPACES
KNOX CO CALC: 45 EMPLOYEES / 2 = 22.5 SPACES
TOTAL PROVIDED: 42 SPACES
- SETBACKS:
FRONT: TTODA - 60' PC - NONE
SIDE: TTODA - 20' PC - NONE
REAR: TTODA - 20' PC - NONE
PERIPHERAL TTODA - NONE, PC - 50'
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
- DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK RAMPS. ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

4-B-22-UR
4/13/2022

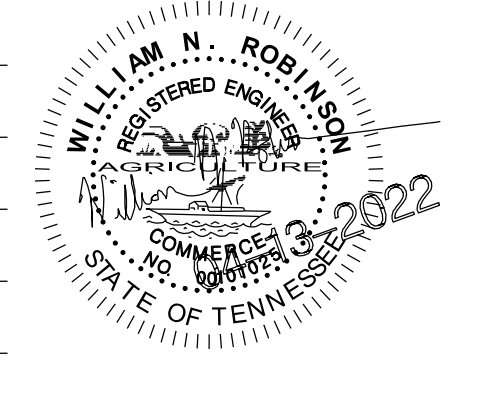
OWNER:
JOHN H. COLEMAN CO
702 E JACKSON AVE
KNOXVILLE, TN 37915
PHONE: 865-412-8465
CONTACT: BUDDY CRUZE

ENGINEER:
WILL ROBINSON & ASSOCIATES
1288 N SHOREWOOD LN
CARYVILLE, TN 37714
PHONE: 386-4200
CONTACT: WILL ROBINSON

CONTRACTOR:



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A NEW CORPORATE HEADQUARTERS FACILITY FOR:
JOHN H. COLEMAN CO., LLC
TTODA (5-A-22-TOB) PC (4-B-22-UR)
805 Corridor Park Blvd
Knoxville, Tennessee 37932

SITE LAYOUT PLAN

REVISIONS:

DATE: 14/13/2022
FILE NAME:
PROJECT NO: 213142

C1.2



- SITE GRADING NOTES

- CONSTRUCTION SEQUENCE OF EVENTS:
1. INSTALL EROSION CONTROL MEASURES
 2. SITE CLEARING AND GRUBBING
 3. SITE DEMOLITION
 4. SITE ROUGH GRADING
 5. TEMPORARY SEEDING
 6. FOUNDATION CONSTRUCTION
 7. SLAB CONSTRUCTION
 8. WALL/ROOF SYSTEM CONSTRUCTION
 9. EXTERIOR/INTERIOR FINISH
 10. PARKING LOT PAVING
 11. FINISH GRADING
 12. PERMANENT SEEDING/LANDSCAPING
 13. SITE CLOSEOUT/LONG TERM MAINTENANCE

1. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.

2. ADEQUATE DRAINAGE EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTIES FROM THE CONSTRUCTION OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE PROJECT OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND/OR EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROJECT OWNER AND/OR CONTRACTOR.
3. EROSION ASSURANCE OR EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL PERFORMING EROSION PREVENTION AND SEDIMENT CONTROL. EACH OUTFALL INVOLVING DRAINAGE TOTALING TO TEN (10) MORE ACRES, OR FIVE (5) MORE ACRES IF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS, THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL. A PROVIDE OF CONSTRUCTION OF THE PROJECTS SHALL COMPLY WITH 2012 FPA ASSESSMENT LANGUAGE.
4. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO THE PUBLIC. THE REMOVAL OF SEDIMENT FROM ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.
5. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT BASINS, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. LITTER/CONSTRUCTION DEBRIS AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS. LITTER AND/OR CHEMICALS OFF THE SITE BY WIND OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
7. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 15 DAYS PER YEAR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
8. EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
9. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 15 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES (>35%) MUST BE STABILIZED AND/OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABLE SITES.

EROSION CONTROL

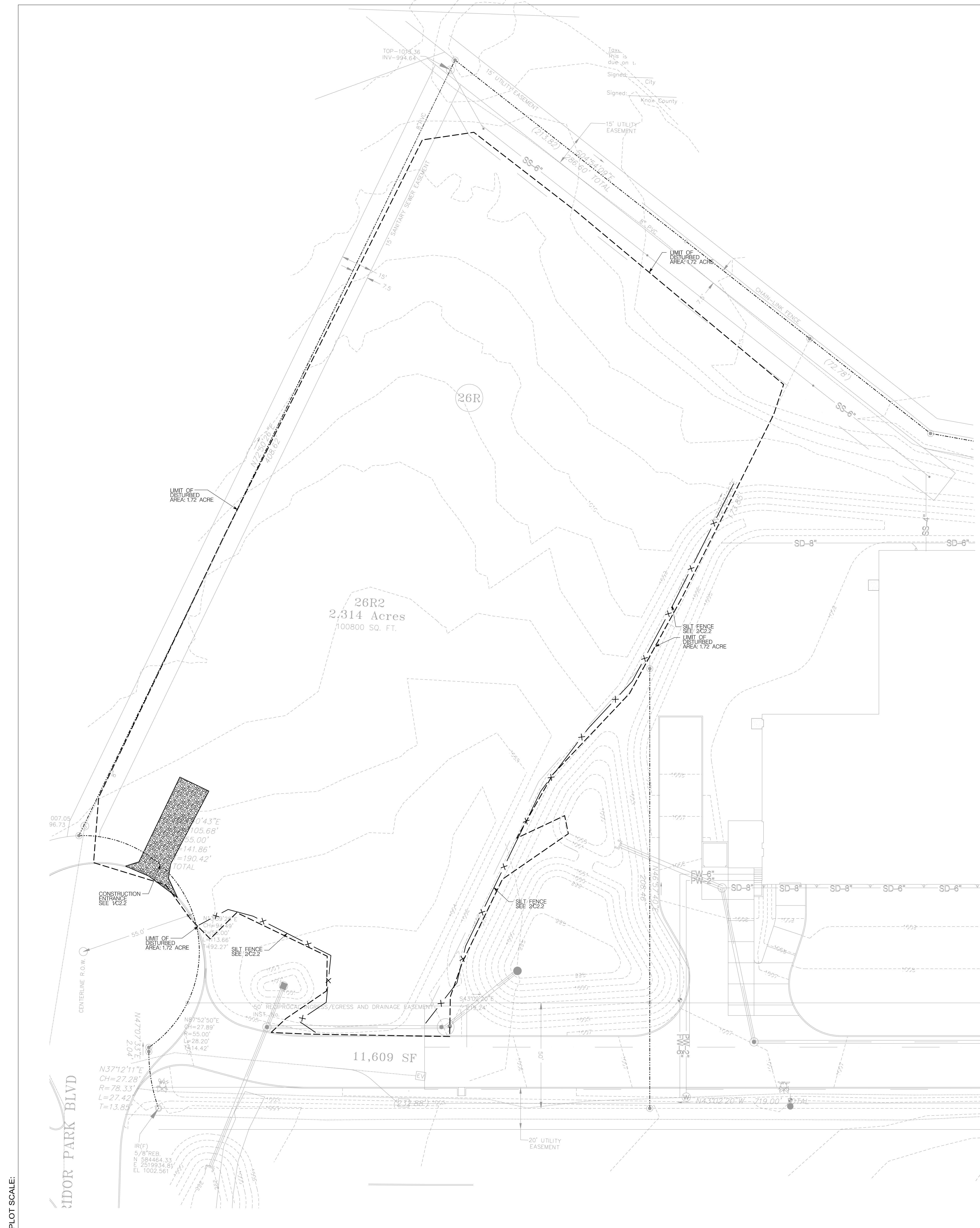
REVISIONS:

DATE: 14/13/202

FILE NAME:

PROJECT NO: 21314

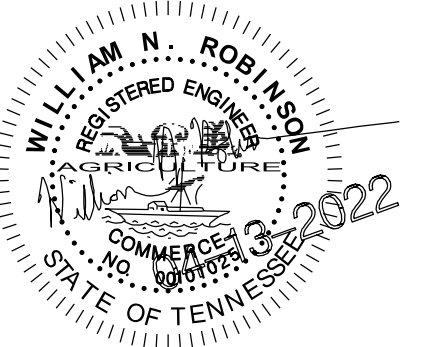
C1.3





**Johnson
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A NEW CORPORATE HEADQUARTERS FACILITY FOR:
JOHN H. COLEMAN CO., LLC
TTCDA (5-A-22-TOB) PC (4-B-22-JR)
805 Corridor Park Blvd
Knoxville, Tennessee 37932

EROSION CONTROL - 2

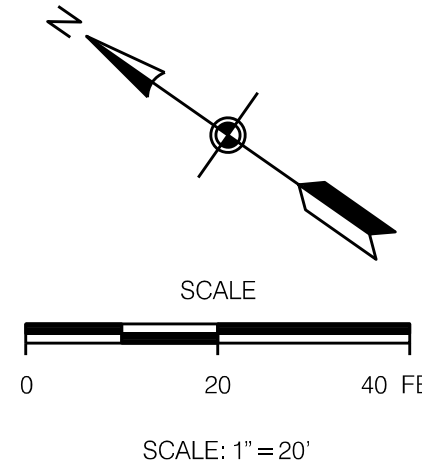
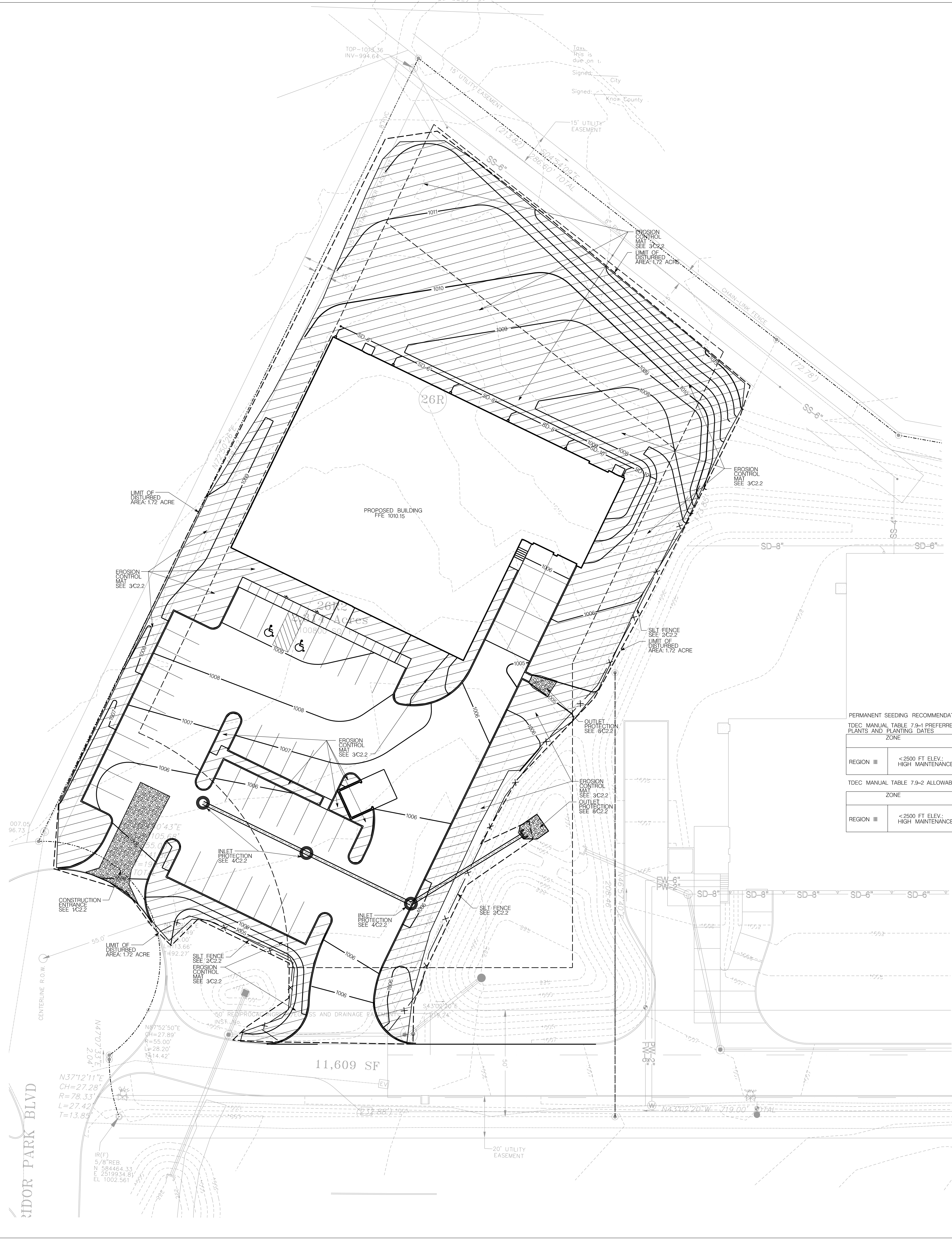
REVISIONS:

DATE: 14/13/2022

FILE NAME:

PROJECT NO: 213142

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LEGEND:		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT

SITE GRADING NOTES

1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASES NAVD83.
2. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LYNCH SURVEYS DATED 06/2015. THE GRADING CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ENGINEER OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN $\pm 3\%$ OF OPTIMUM.
6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION.
12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE LOCK IN OF EROSION MAT.
13. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
14. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
15. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
16. PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
17. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
18. CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND DRY GAP PAVE FOR TRASH ON THE PROJECT. PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN A NEAT AND ORDERLY MANNER.
19. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE KNOX COUNTY SITE INSPECTOR.

PERMANENT SEEDING RECOMMENDATIONS FOR HIGH MAINTENANCE AREAS (REGION III)
TDEC MANUAL TABLE 7.9-1 PREFERRED SEED MIXTURES USING NATIVES OR NATURALIZED PLANTS AND PLANTING DATES

ZONE	BEST	MARGINAL	RATE MIX (LB/ACRE)
REGION III	≤ 2500 FT ELEV. HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	SEPT 1 - SEPT 15 APR 1 - JUNE 10
			15 BROWNTOP MILLET (NURSE CROP) 45 RED FESCUE 45 HARD FESCUE 25 CHEWING FESCUE

TDEC MANUAL TABLE 7.9-2 ALLOWABLE SEED MIXES AND PLANTING DATES

ZONE	BEST	MARGINAL	RATE MIX (LB/ACRE)
REGION III	≤ 2500 FT ELEV. HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	JULY 25 - AUG 15 SEPT 1 - SEPT 15 APR 1 - MAY 10
			200 KY 31 FESCUE

CONSTRUCTION SEQUENCE OF EVENTS:

1. INSTALL EROSION CONTROL MEASURES
2. SITE CLEARING AND GRUBBING
3. SITE DEMOLITION
4. SITE ROUGH GRADING
5. TEMPORARY SEEDING
6. FOUNDATION CONSTRUCTION
7. SLAB CONSTRUCTION
8. WALL/ROOF SYSTEM CONSTRUCTION
9. EXTERIOR/INTERIOR FINISH
10. PARKING LOT PAVING
11. FINISH GRADING
12. PERMANENT SEEDING/LANDSCAPING
13. SITE CLOSURE/LONG TERM MAINTENANCE

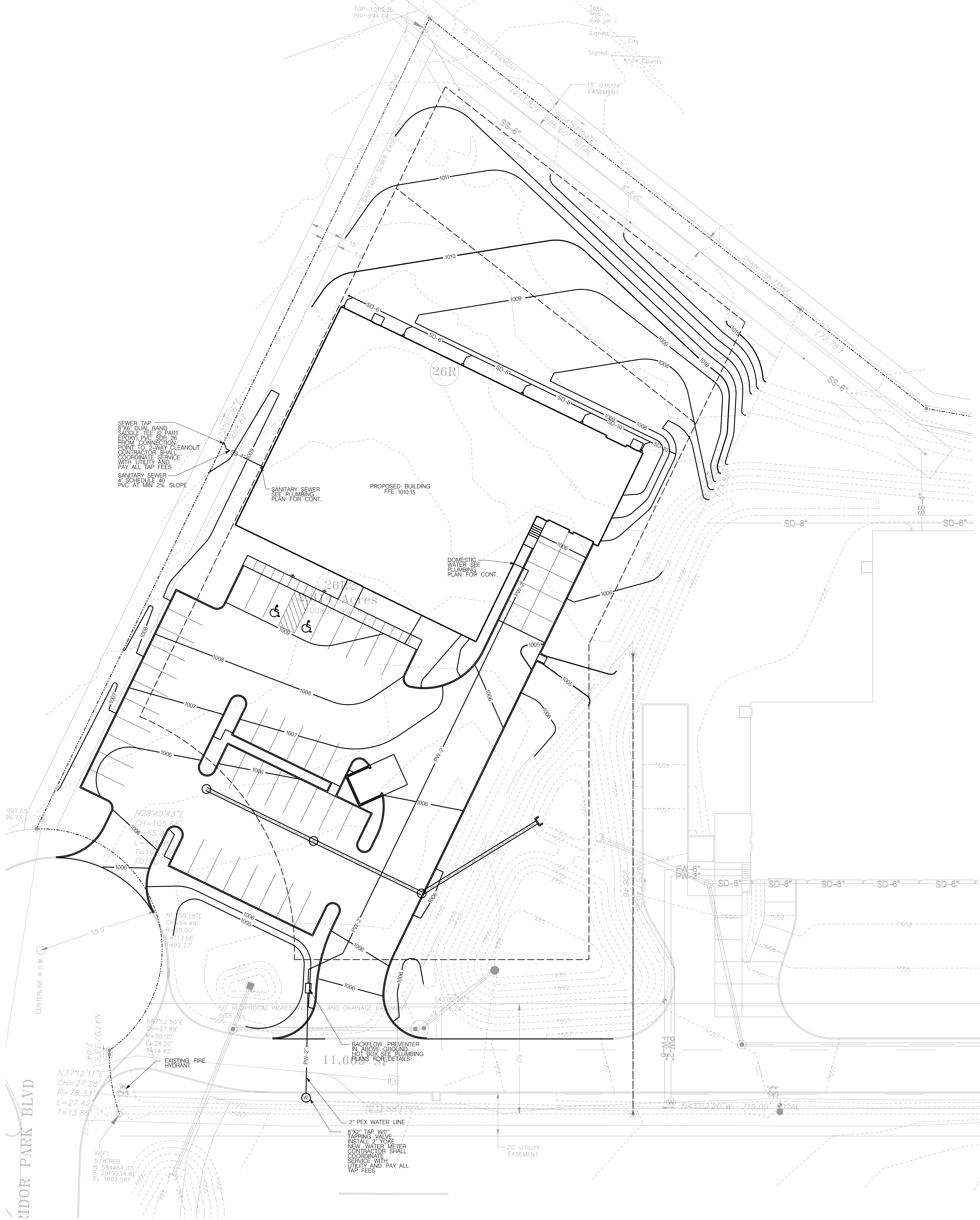
STANDARD NOTES:

1. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.
2. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
3. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL. PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES OR FIVE OR MORE ACRES OF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE CGP 3.12 FOR ASSESSMENT LANGUAGE)
4. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.
5. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. LITTER CONSTRUCTION DEBRIS AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.
7. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 15 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDING AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
8. EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.
9. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 15 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES ($> 35\%$) MUST BE PERMANENTLY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.
10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.

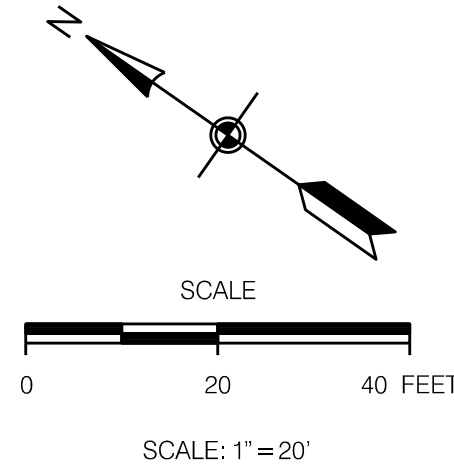
4-B-22-UR
4/13/2022

PLOT SCALE:

PLOT SCALE:



4-B-22-UR
4/13/2022



LEGEND:		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
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		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT

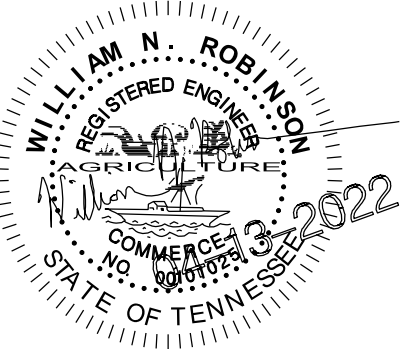
SITE UTILITY NOTES

- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY BY LYNCH SURVEYS DATED 06/2015. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. DESIGN PLANS FOR THE DEVELOPMENT AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL LOCAL UTILITY PROVIDERS AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- UTILITIES UNDERGROUND SHALL BE INSTALLED, INSPECTED, AND APPROVED BEFORE BACKFILLING. CONTRACTOR SHALL PAY ALL FEES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR LOCAL UTILITY PROVIDERS SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE. AS BUILT DRAWINGS SHALL BE PREPARED AND SUBMITTED TO UTILITY PROVIDERS AS REQUIRED AFTER CONSTRUCTION AND COPIED TO ENGINEER OF RECORD.
- CONTRACTOR SHALL MAINTAIN A MINIMUM COVER OF 18" ON WATER LINES AND 4 FEET ON SEWER LINES.
- WATER SEWER AND STORM LINES SHALL BE KEPT 10 FEET APART HORIZONTALLY AND 18 INCHES APART VERTICALLY WHEN CROSSING OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE UNLESS NOTED OTHERWISE.
- PRIVATE WATER LINES SHALL BE AS FOLLOWS:
1-1/2" WATER LINE: PEX (ASTM F876 AND AWWA C904)
PIPE SIZES 4 INCHES AND LARGER: C900 PVC (4 INCHES - 12 INCHES).
- PRIVATE SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
PVC (SCHEDULE 40 PVC, ASTM D-7765, CONTINUALLY MARKED AS REQUIRED), FOR PIPE LESS THAN 12 FEET DEEP
DUCTILE IRON PIPE (AWWA C151), FOR PIPES GREATER THAN 12 FEET DEEP.
- TOPS OF EXISTING UTILITY STRUCTURES SHALL BE RAISED OR LOWERED AS NECESSARY TO BE FLUSH WITH THE PROPOSED PAVEMENT GRADE AND 6 INCHES ABOVE FINISHED GRADE IN UNPAVED AREAS.
- GAS LINES SHALL BE SIZED, LOCATED, AND INSTALLED BY LOCAL UTILITY PROVIDER. CONTRACTOR SHALL COORDINATE AND PAY ALL FEES.
- REFER TO ARCHITECTURAL/MEP PLANS FOR TIE IN OF ALL UTILITIES.
- REFER TO ARCHITECTURAL/MEP PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
- FIRE PROTECTION SERVICE SHALL BE BY EXISTING FIRE HYDRANT AS DEPICTED ON THIS PLAN.
- CONTRACTOR SHALL TAKE SPECIAL CARE TO BED, BACKFILL AND COMPACT PIPE CROSSINGS WHERE A WATER OR SANITARY SEWER MAIN CROSSES WITH STORM SEWERS. CROSSINGS SHALL BE CONSTRUCTED WITH A WELL COMPACTED FULL STONE ENVELOPE SUCH THAT STORM SEWER DOES NOT BEAR DIRECTLY ON WATER OR SANITARY SEWER MAINS.
- SEWER LINES SHALL HAVE A MINIMUM 6 INCHES OF STONE BEDDING AND BACKFILL AROUND THE CIRCUMFERENCE OF THE PIPE (TYPE 57). UNDER ALL ROADS AND PAVED AREAS WATER AND SEWER MAINS MUST BE STONE BACKFILLED FULL DEPTH TO PAVEMENT SUBGRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UTILITY CONNECTION TAP, USE, AND OTHER FEES REQUIRED TO CONNECT WATER, SEWER AND GAS.
- ANY EXISTING UTILITY STRUCTURES SHALL BE BROUGHT INTO CONFORMANCE WITH FINISH GRADE IN ACCORDANCE WITH THE RULES, RATES, AND POLICIES OF THE UTILITY OWNER.



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TTCDA (5-A-22-TOB) PC (4-B-22-UR)
805 Corridor Park Blvd

Knoxville, Tennessee 37932

SITE UTILITY PLAN

REVISIONS:

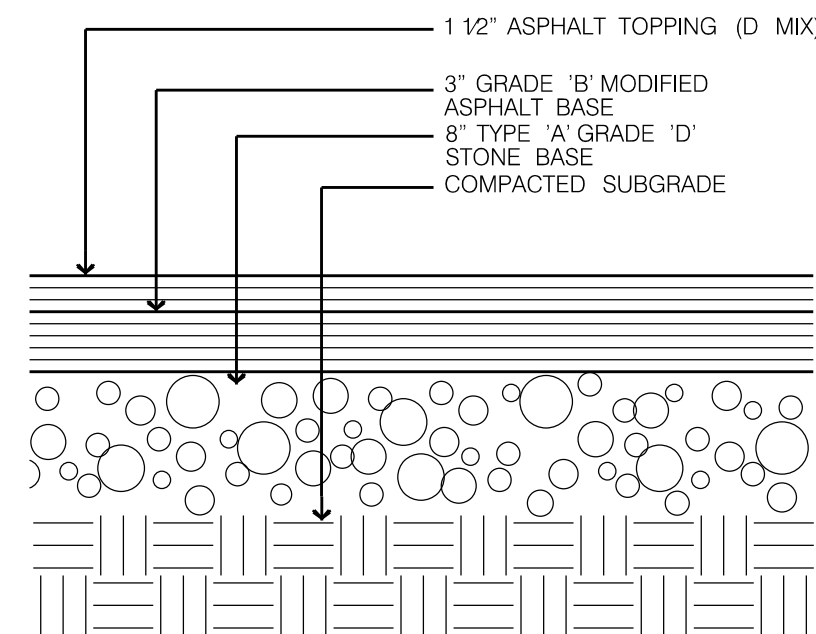
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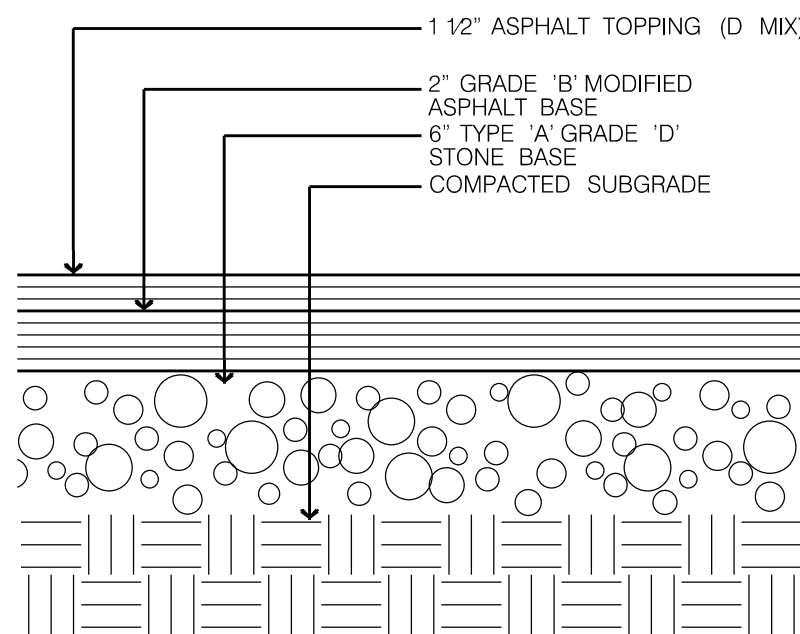
PROJECT NO: 213142

C1.6

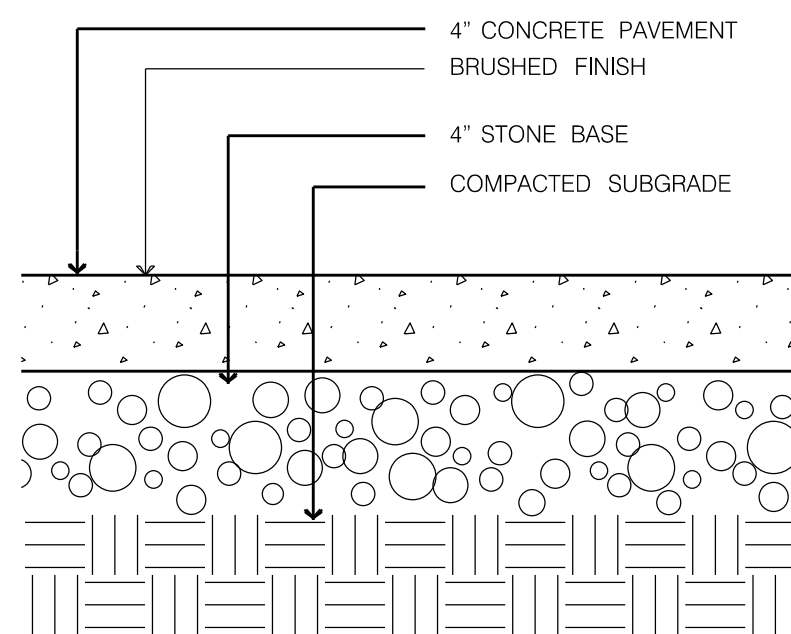
PLOT SCALE: AS NOTED



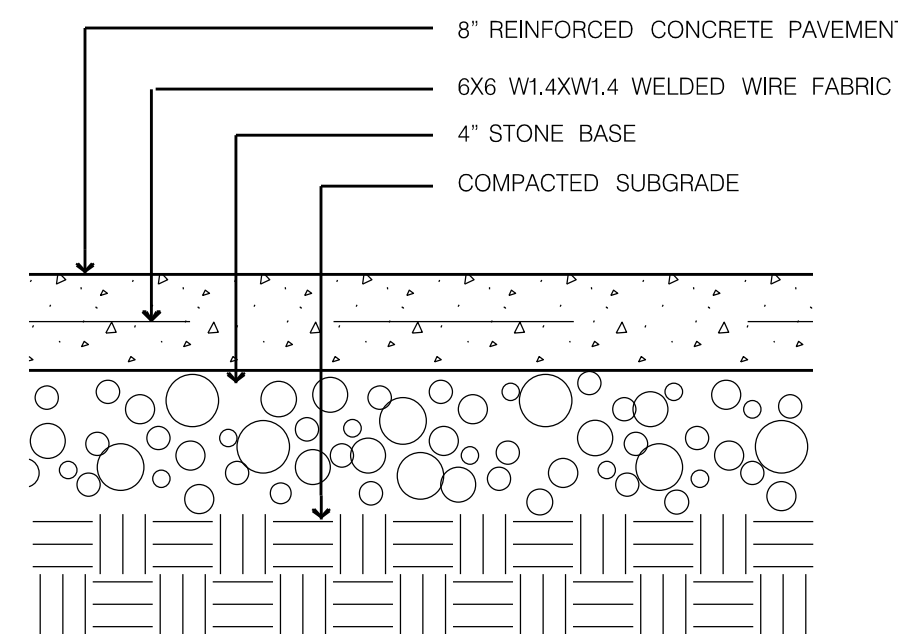
1
C2.1
HEAVY DUTY PAVING SECTION
NOT TO SCALE



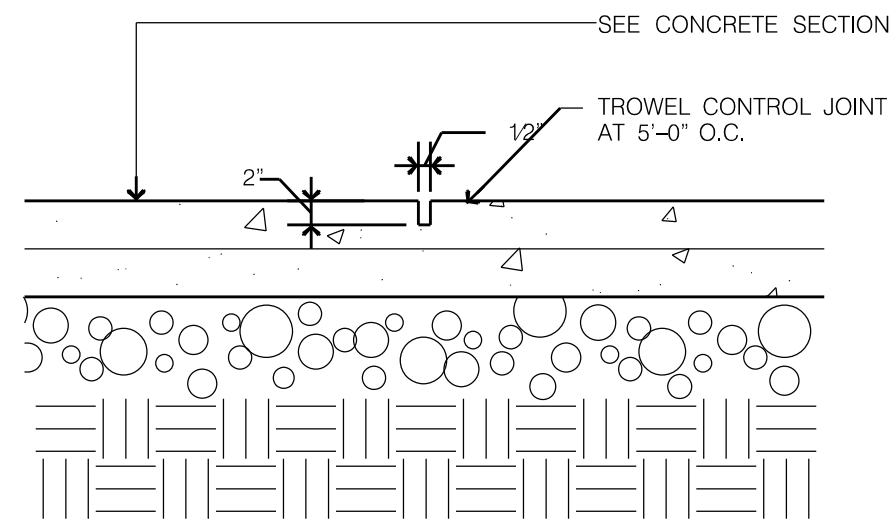
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C2.1
LIGHT DUTY PAVING SECTION
NOT TO SCALE



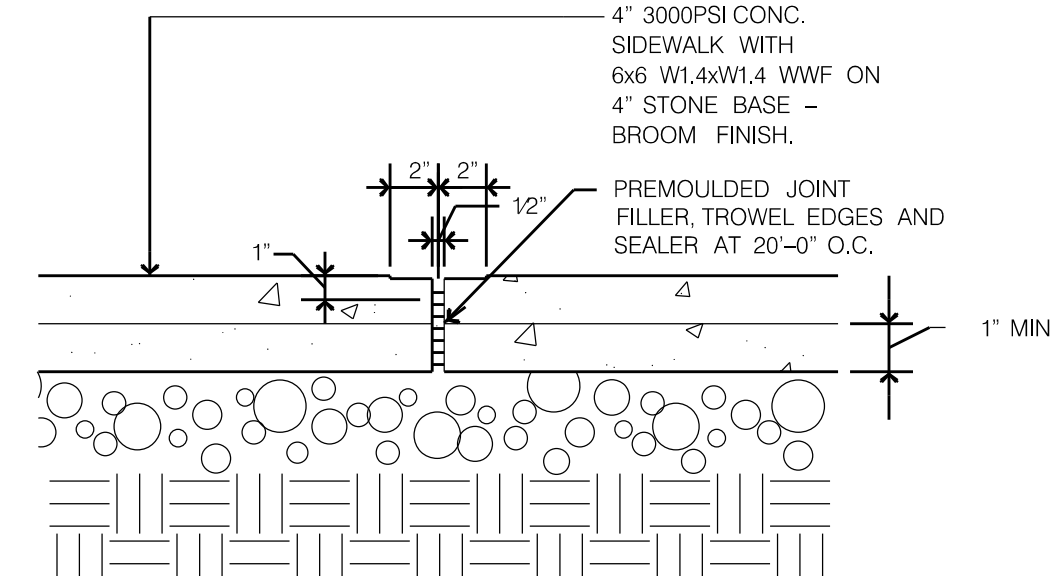
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C2.1
TYPICAL SIDEWALK SECTION
NOT TO SCALE



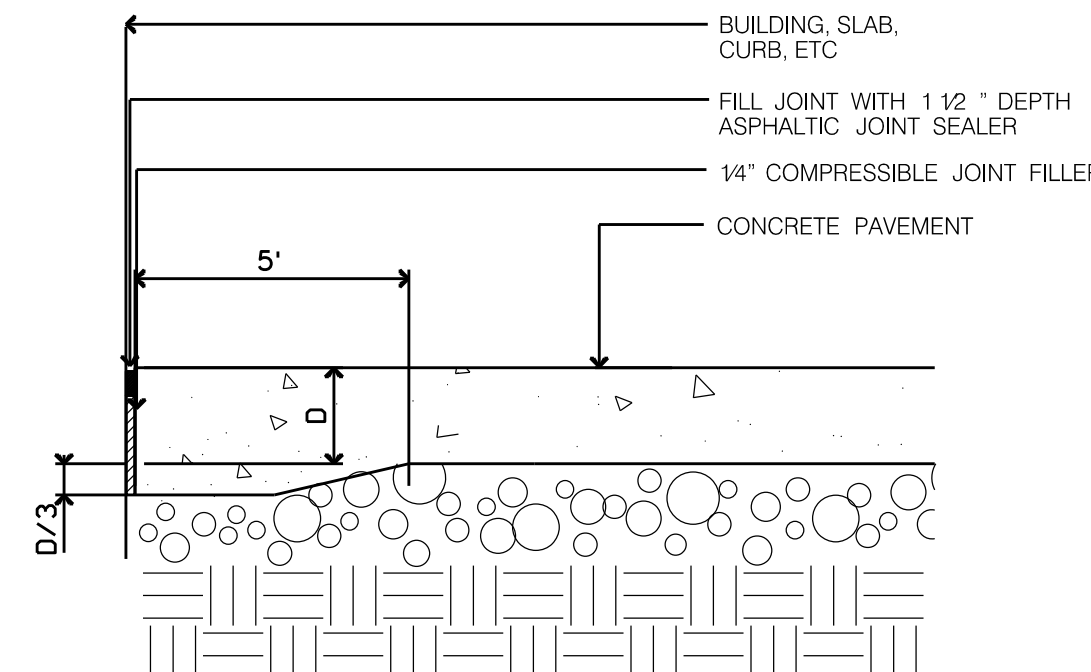
4
C2.1
TYPICAL CONCRETE PAVING SECTION
NOT TO SCALE



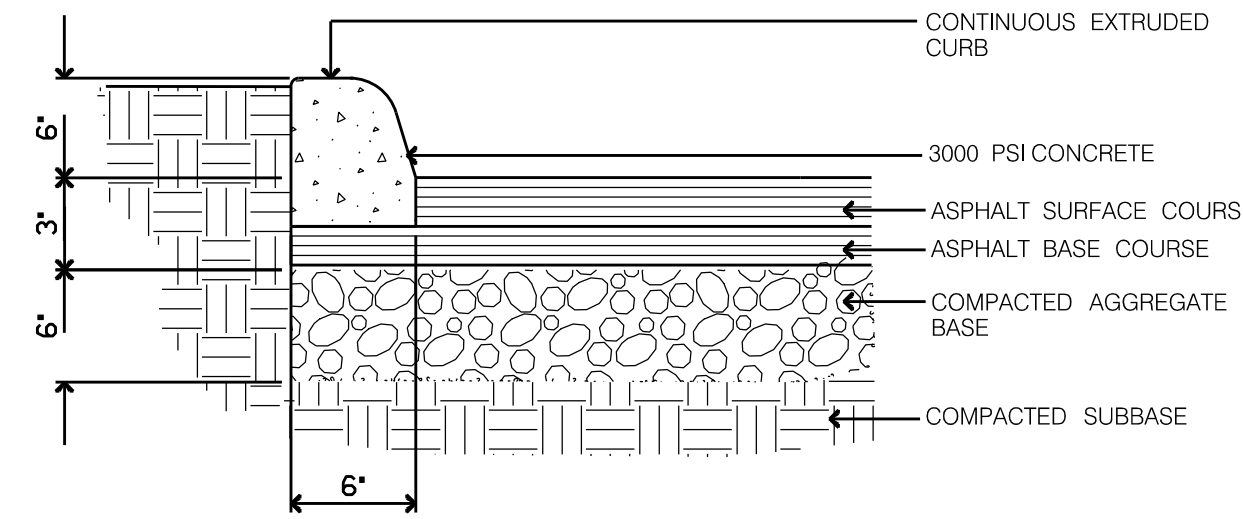
5
C2.1
CONTROL JOINT DETAIL
NOT TO SCALE



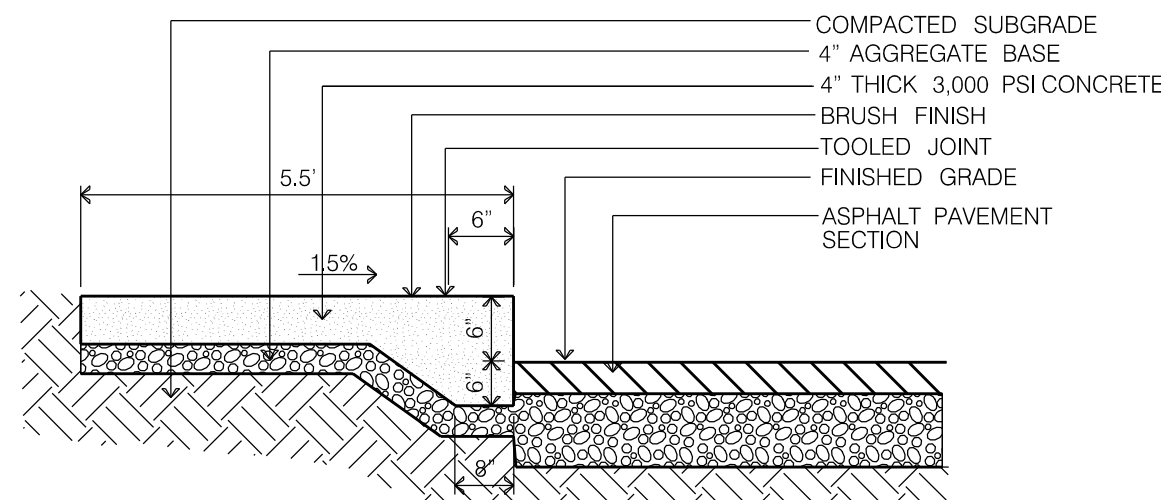
6
C2.1
EXPANSION JOINT DETAIL
NOT TO SCALE



7
C2.1
THICKENED EDGE DETAIL
NOT TO SCALE

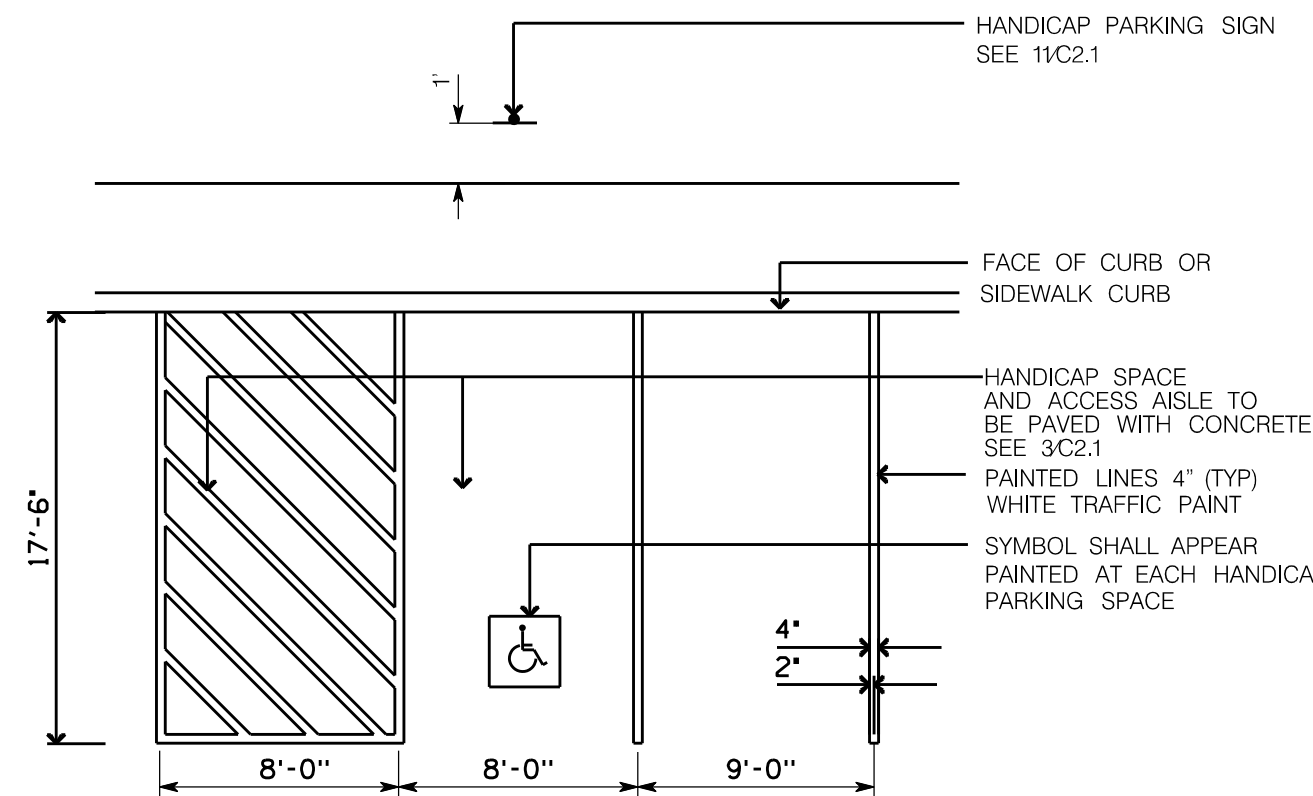


8
C2.1
TYPICAL CURB
NOT TO SCALE

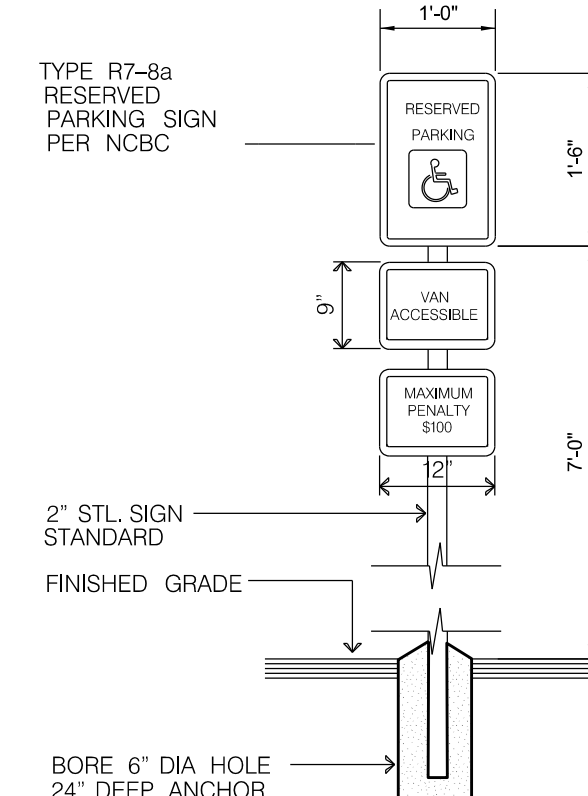


NOTES:
PERFORMED 1/2" EXPANSION JOINTS SHALL BE EQUALLY SPACED AT 30' MAX. CENTERS. EQUALLY SPACE 1/4" CONTRACTION JOINTS AT 10' MAX. CENTERS BETWEEN EXPANSION JOINTS.
EXACT CURB DIMENSIONS MAY BE ALTERED SLIGHTLY TO FIT STANDARD EXTRUDED CURB MACHINES BUT SUCH VARIANCES MUST BE APPROVED BY THE ENGINEER.
MAX SLOPE FOR RAMPS SHALL BE 1:21 IN ACCORDANCE WITH ADA REQUIREMENTS.

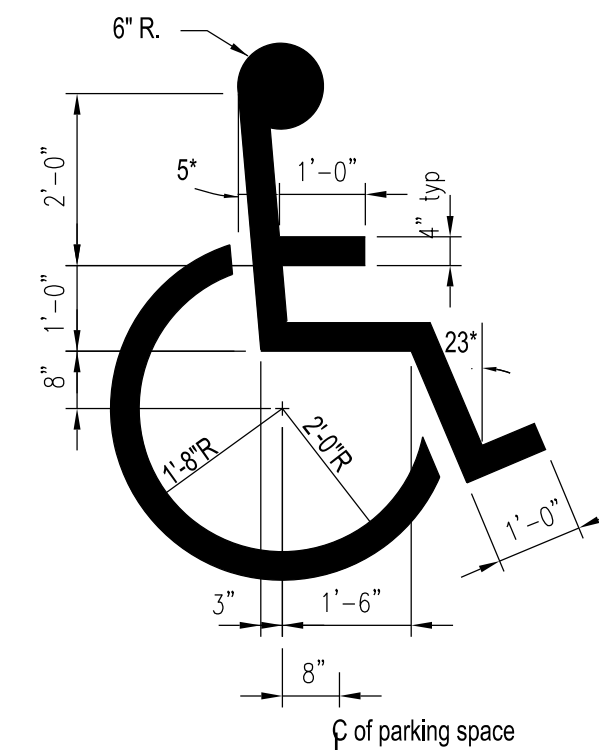
9
C2.1
SIDEWALK WITH INTEGRAL CURB
NOT TO SCALE



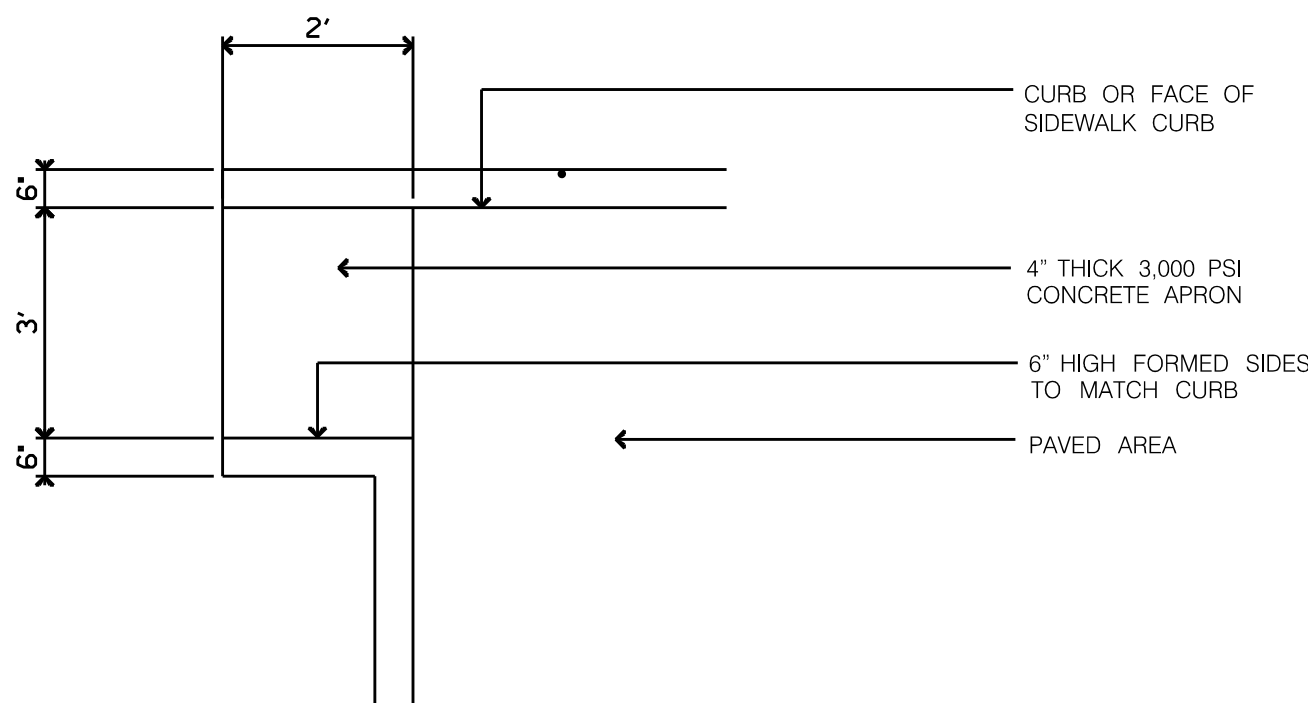
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C2.1
TYPICAL PARKING SPACE DETAIL
NOT TO SCALE



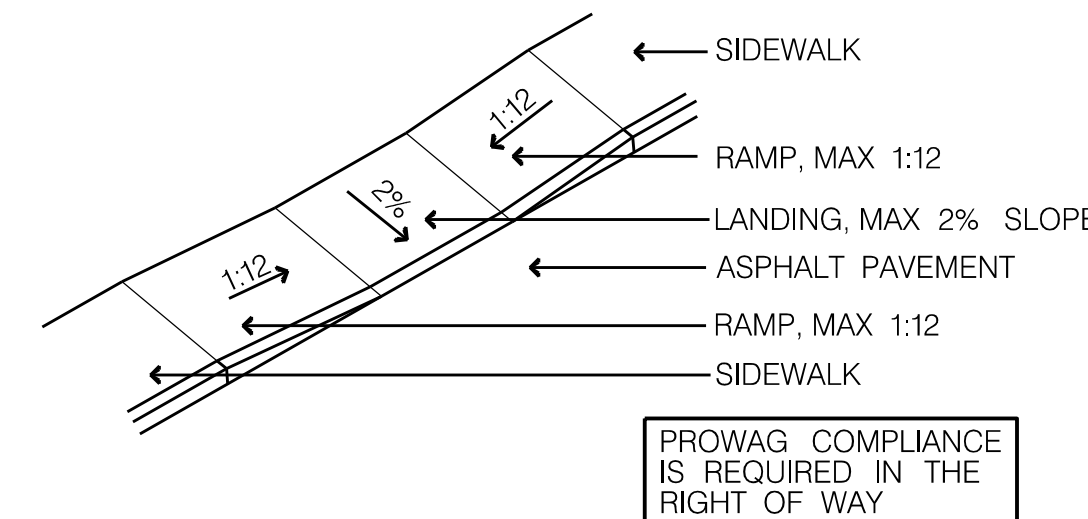
11
C2.1
HANDICAP SIGN
NOT TO SCALE



12
C2.1
ACCESSIBILITY SYMBOL
NOT TO SCALE



13
C2.1
CURB CUT DETAIL
NOT TO SCALE

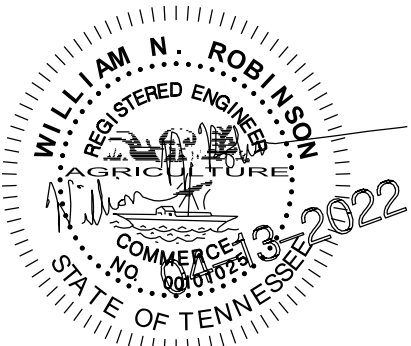


14
C2.1
ADA SIDE RAMP DETAIL
NOT TO SCALE



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SITE DETAILS - 2

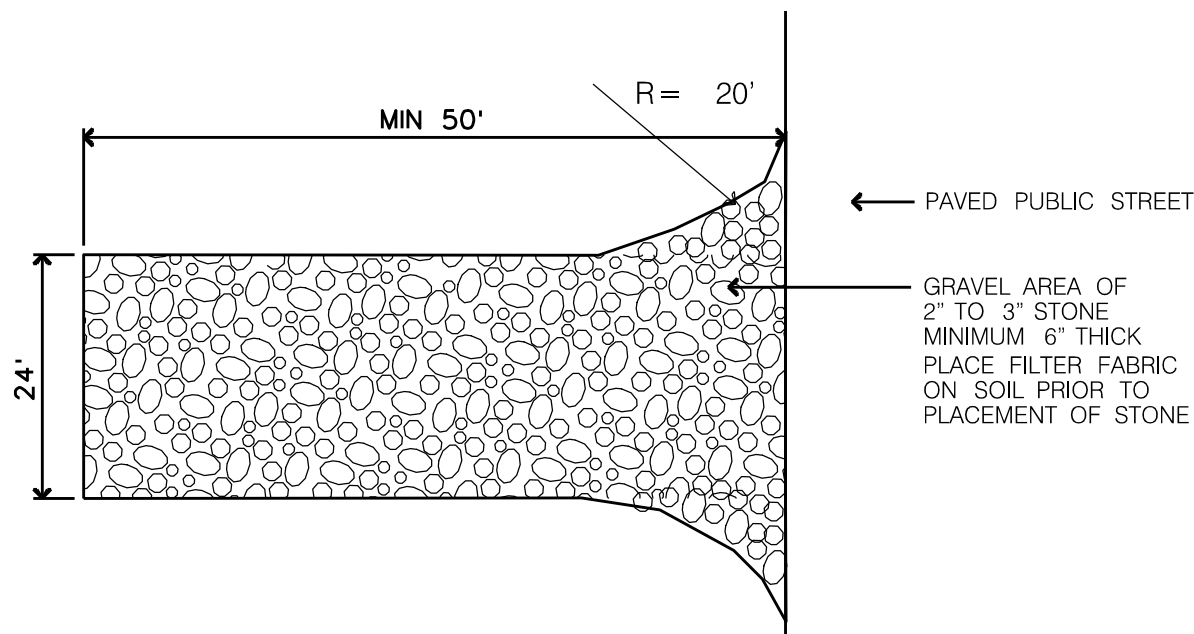
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DATE: 14/13/2022

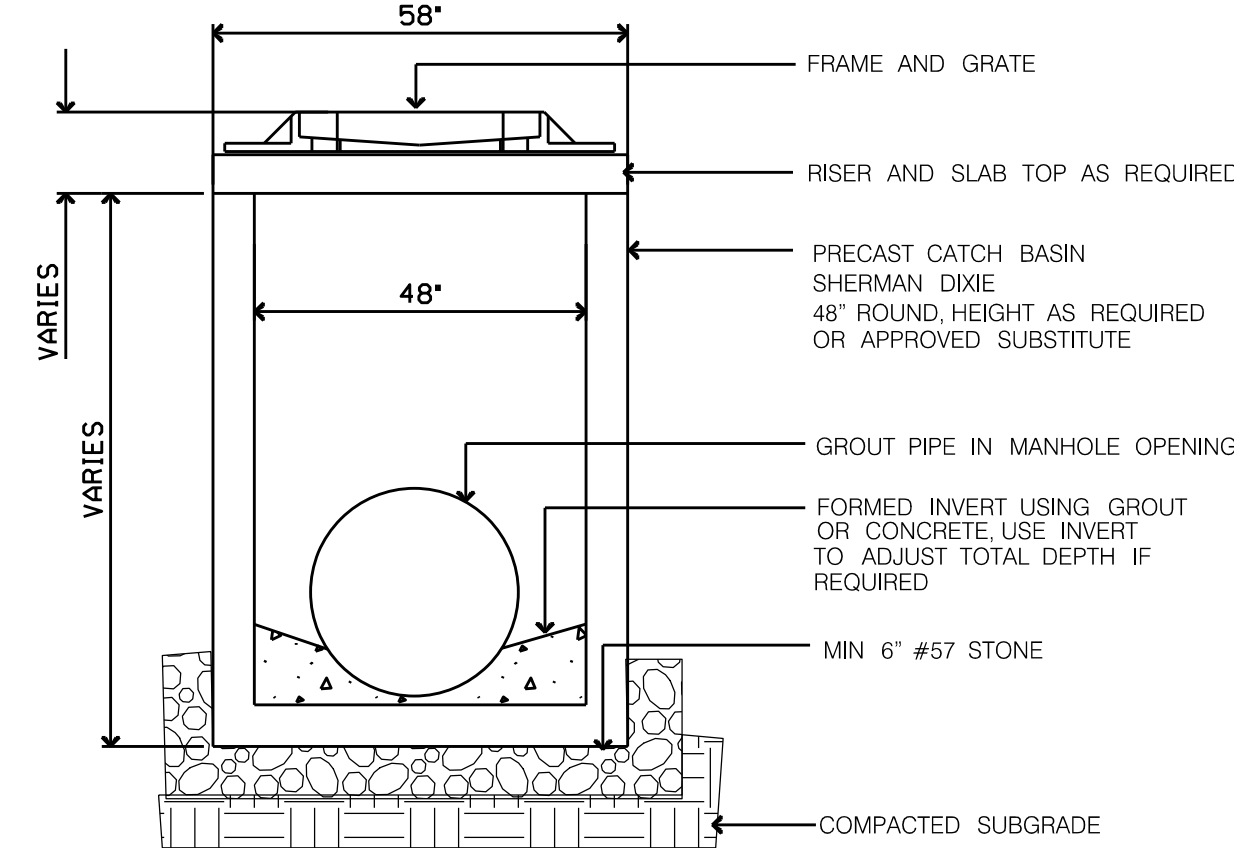
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PROJECT NO: 213142

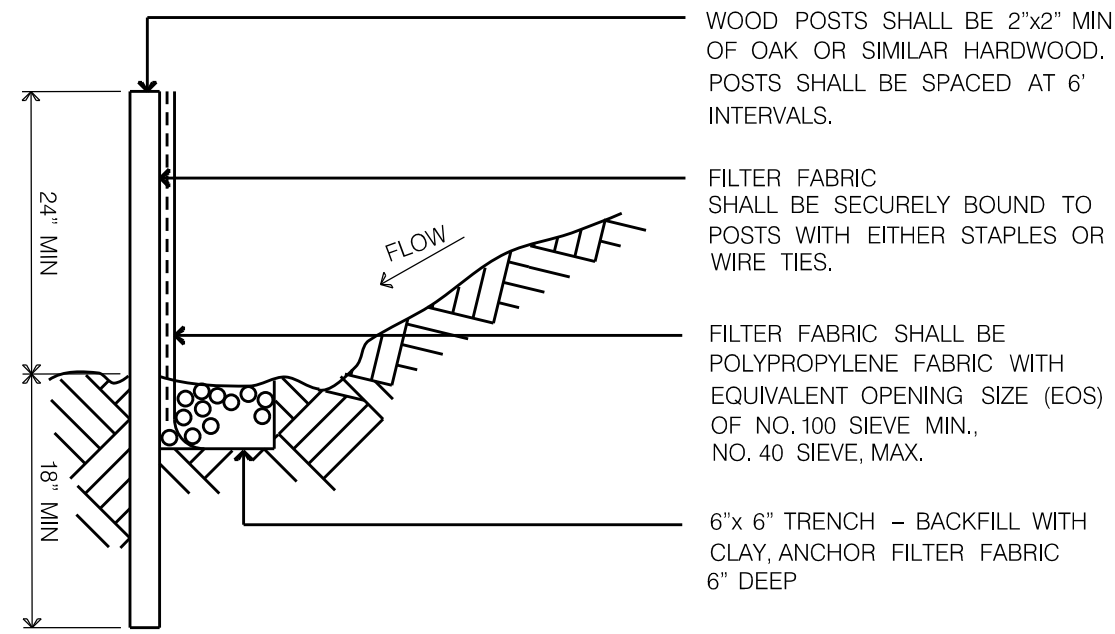
C2.2



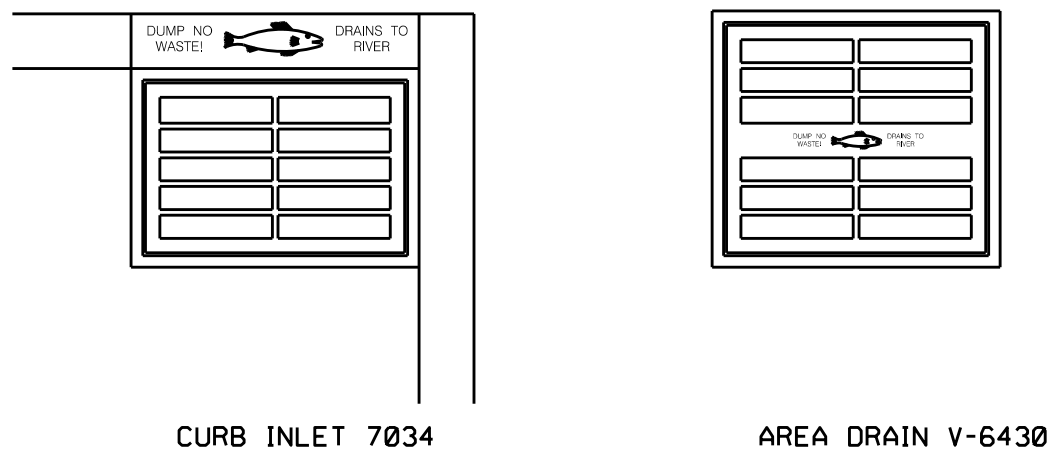
1 CONSTRUCTION ENTRANCE DETAIL
C2.2 NOT TO SCALE



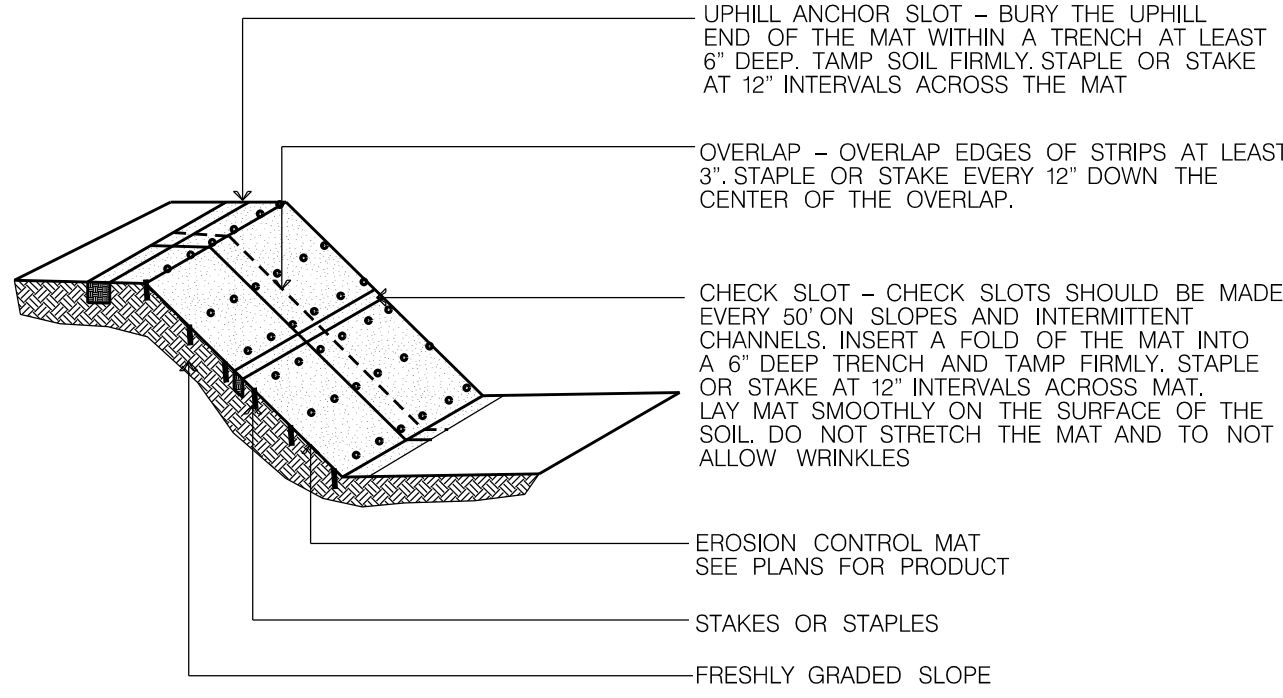
5 48" ROUND CATCH BASIN DETAIL
C2.2 NOT TO SCALE



2 SILT FENCE DETAIL
C2.2 NOT TO SCALE

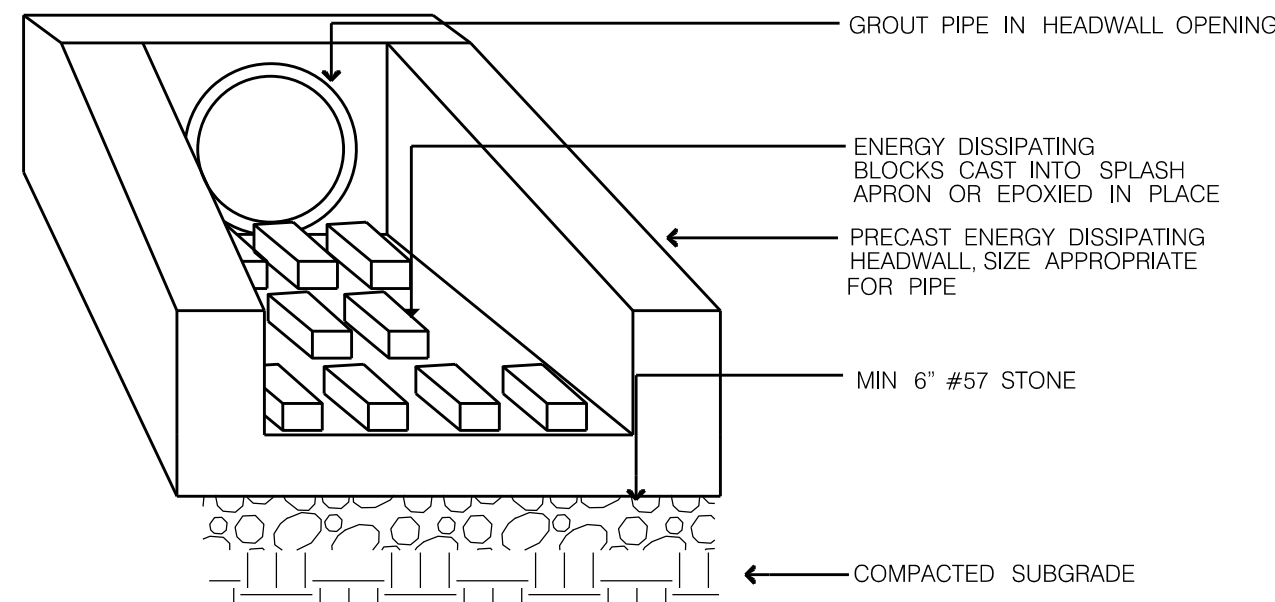


6 ENVIRONMENTAL MESSAGE DETAIL
C2.2 NOT TO SCALE

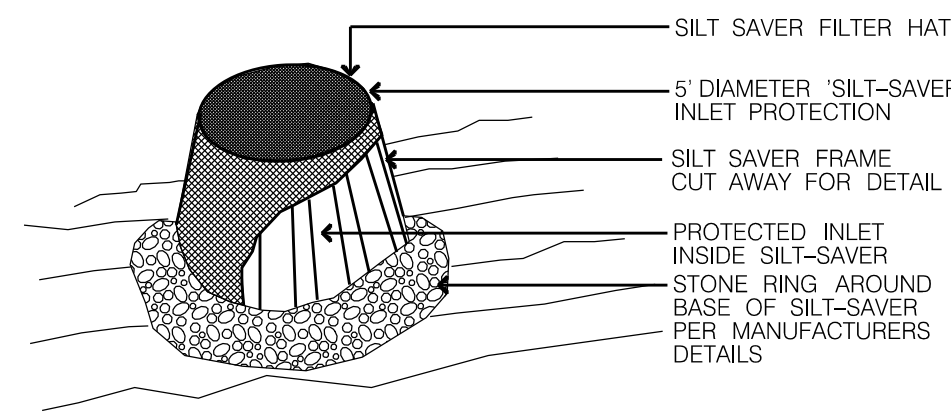


NOTES:
FOLLOW MANUFACTURERS INSTALLATION INSTRUCTIONS. IN THE EVENT OF CONFLICT IN REQUIREMENTS, USE THE MORE RESTRICTIVE REQUIREMENT.

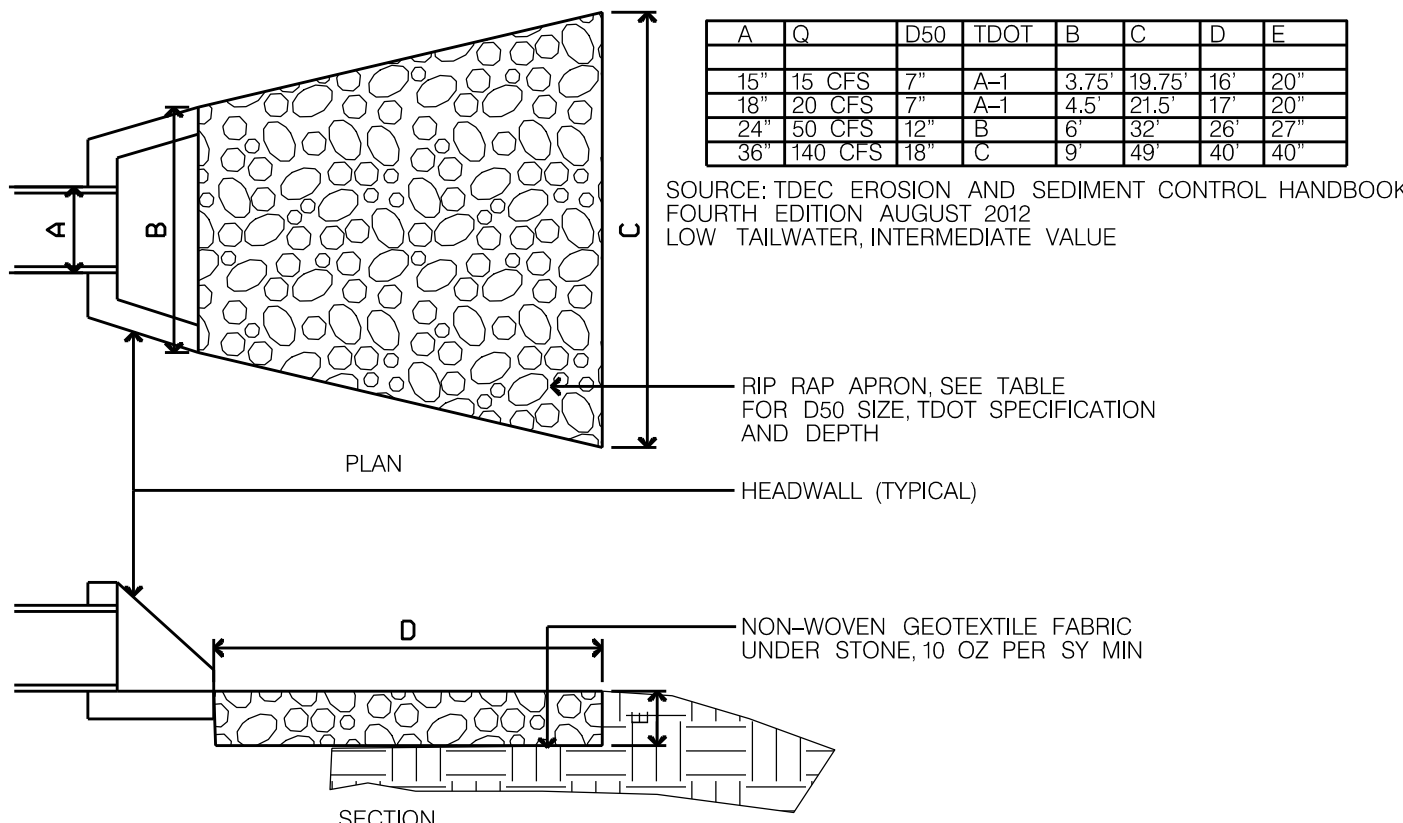
3 EROSION MAT INSTALLATION
C2.2 NOT TO SCALE



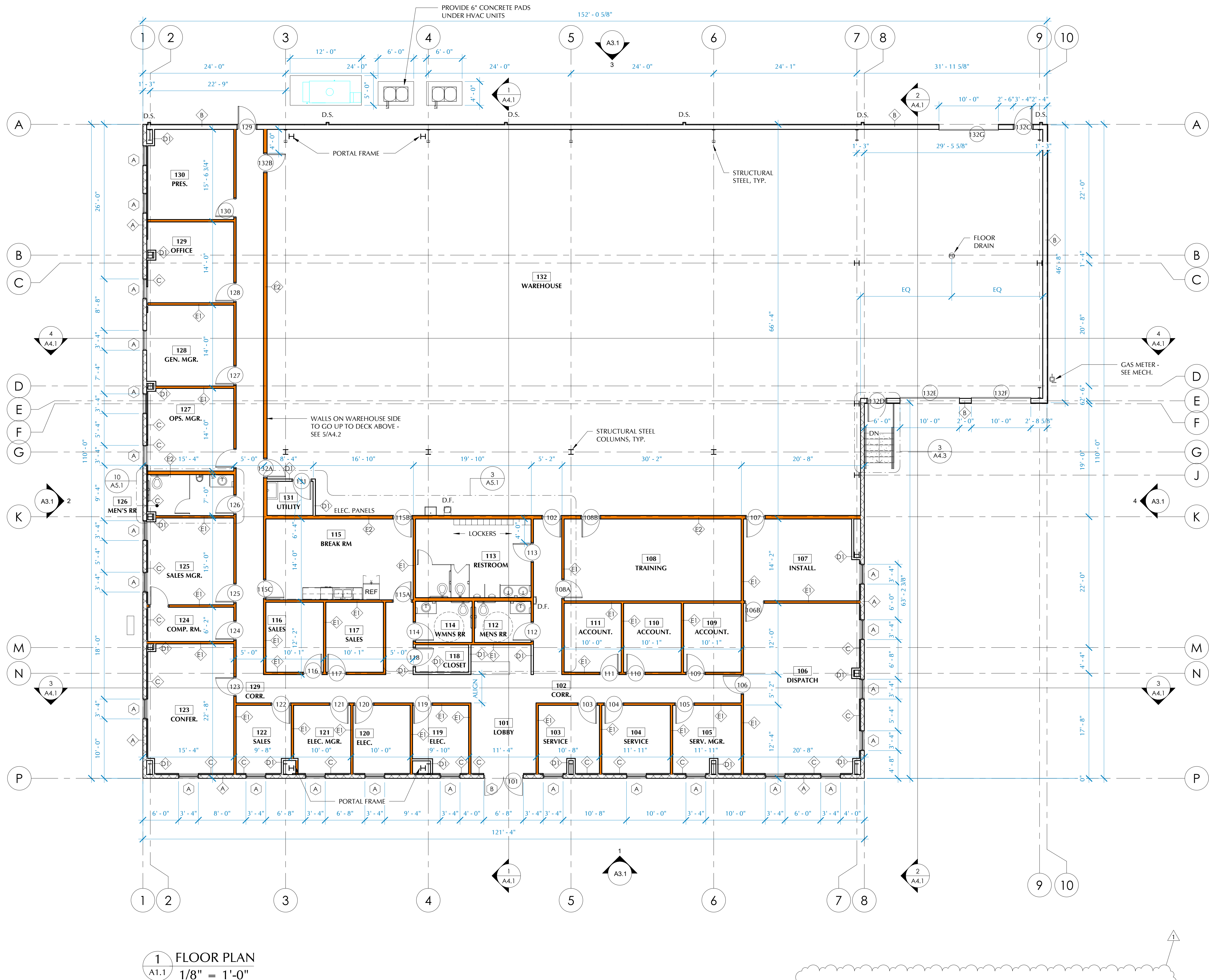
7 ENERGY DISSIPATING HEADWALL DETAIL
C2.2 NOT TO SCALE



4 INLET PROTECTION DETAIL
C2.2 NOT TO SCALE



8 LOW TAILWATER OUTLET PROTECTION DETAIL
C2.2 NOT TO SCALE



FLOOR PLAN NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS
- SEE SHEET A0.1 FOR ABBREVIATIONS, SYMBOLS, GENERAL NOTES AND TYPICAL ACCESSIBLE MOUNTING HEIGHTS
- FURNISH AND INSTALL FIRE EXTINGUISHERS AS REQUIRED BY A.H.J. MINIMUM REQUIRED PER 75'-0" TRAVEL OR 1 PER 6,000 SF OF BUILDING AREA
- PROVIDE BLOCKING, ROUGH HARDWARE, ETC. AS REQUIRED TO MOUNT EQUIPMENT
- PROVIDE POSITIVE SLOPE TO ALL FLOOR DRAINS
- PROVIDE GYPSUM BOARD CONTROL JOINTS AT 30'-0" O.C. MAX. COORDINATE LOCATIONS WITH INTERIOR ELEVATIONS. WHERE JOINTS ARE NOT SHOWN, CENTER SPACING WITHIN ROOM, EDGE OF WALL OPENINGS
- ALL EXPOSED STEEL TO BE PAINTED W/ ENAMEL LATEX PAINT PER SPEC (PRIMER + 2 COATS MIN.)

WALL LEGEND

	EXTERIOR WALL PARTITION 'A1' & 'A2' 8" CMU UP TO 8'-8" A.F.F. TO UNDERSIDE OF PEMB WALL PANEL SYSTEM
	EXTERIOR WALL PARTITION 'B' PEMB WALL PANEL SYSTEM
	INTERIOR WALL PARTITION 'B' 1-5/8" 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" GYPSUM BOARD ON EACH SIDE. EXTEND STUDS 10'-0" A.F.F.
	INTERIOR WALL PARTITION 'D1' & 'D2' 3-5/8" (D1) OR 6" (D2) 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" GYPSUM BOARD ON EACH SIDE. EXTEND STUDS 10'-0" A.F.F.
	INTERIOR WALL PARTITION 'E1' & 'E2' 3-5/8" (E1) OR 6" (E2) 20GA. METAL STUD FRAMING @ 16" O.C. MAX W/ 5/8" GYPSUM BOARD ON EACH SIDE. EXTEND STUDS 10'-0" A.F.F. AND PROVIDE SOUND BATT INSULATION.

- NOTE: SC-1 = SEALED CONCRETE FLOOR
NOTE: CT-1 = CERAMIC TILE UP TO 4'-0" AFF, TYP. ON WET WALLS IN RESTROOMS
NOTE: CPT-1 = 2' x 2' CARPET TILE - COLOR BY OWNER: SHAW NATIVE OR EQUAL
NOTE: VB-1 = 4" VINYL BASE: COLOR BY OWNER: JOHNSONITE OR EQUAL
NOTE: ACT = ACT TO BE ARMSTRONG REGULAR DUNE - WHITE
NOTE: COORDINATE FINISH COLORS WITH OWNER

FINISH SCHEDULE

ROOM NO.	CEILING	FLOOR	WALL	BASE	NOTES
101	ACT (2x2) GYP	SC-1	PAINT	VB-1	
102	ACT (2x2)	SC-1	PAINT	VB-1	
103	ACT (2x2)	CPT-1	PAINT	VB-1	
104	ACT (2x2)	CPT-1	PAINT	VB-1	
105	ACT (2x2)	CPT-1	PAINT	VB-1	
106	ACT (2x2)	CPT-1	PAINT	VB-1	
107	ACT (2x2)	SC-1	PAINT	VB-1	
108	ACT (2x2)	SC-1	PAINT	VB-1	
109	ACT (2x2)	CPT-1	PAINT	VB-1	
110	ACT (2x2)	CPT-1	PAINT	VB-1	
111	ACT (2x2)	CPT-1	PAINT	VB-1	
112	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
113	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
114	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
115	ACT (2x2)	SC-1	PAINT	VB-1	
116	ACT (2x2)	CPT-1	PAINT	VB-1	
117	ACT (2x2)	CPT-1	PAINT	VB-1	
118	ACT (2x2)	SC-1	PAINT	VB-1	
119	ACT (2x2)	CPT-1	PAINT	VB-1	
120	ACT (2x2)	CPT-1	PAINT	VB-1	
121	ACT (2x2)	CPT-1	PAINT	VB-1	
122	ACT (2x2)	CPT-1	PAINT	VB-1	
123	ACT (2x2) GYP	CPT-1	PAINT	VB-1	
124	ACT (2x2)	CPT-1	PAINT	VB-1	
125	ACT (2x2)	CPT-1	PAINT	VB-1	
126	ACT (2x2)	SC-1	CT-1/ PAINT	CT-1 / VB-1	
127	ACT (2x2)	CPT-1	PAINT	VB-1	
128	ACT (2x2)	CPT-1	PAINT	VB-1	
129	ACT (2x2)	SC-1	PAINT	VB-1	
130	ACT (2x2)	CPT-1	PAINT	VB-1	
131	GYP	SC-1	PAINT	VB-1	
132	OPEN	SC-1	PAINT / *NF	VB-1	CEILING OPEN TO STRUCTURE

*NF = NOT FINISHED

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FLOOR PLAN &
FINISH SCHEDULE

REVISIONS

Revision #	Description	Date
1	Revision 1	4-13-22

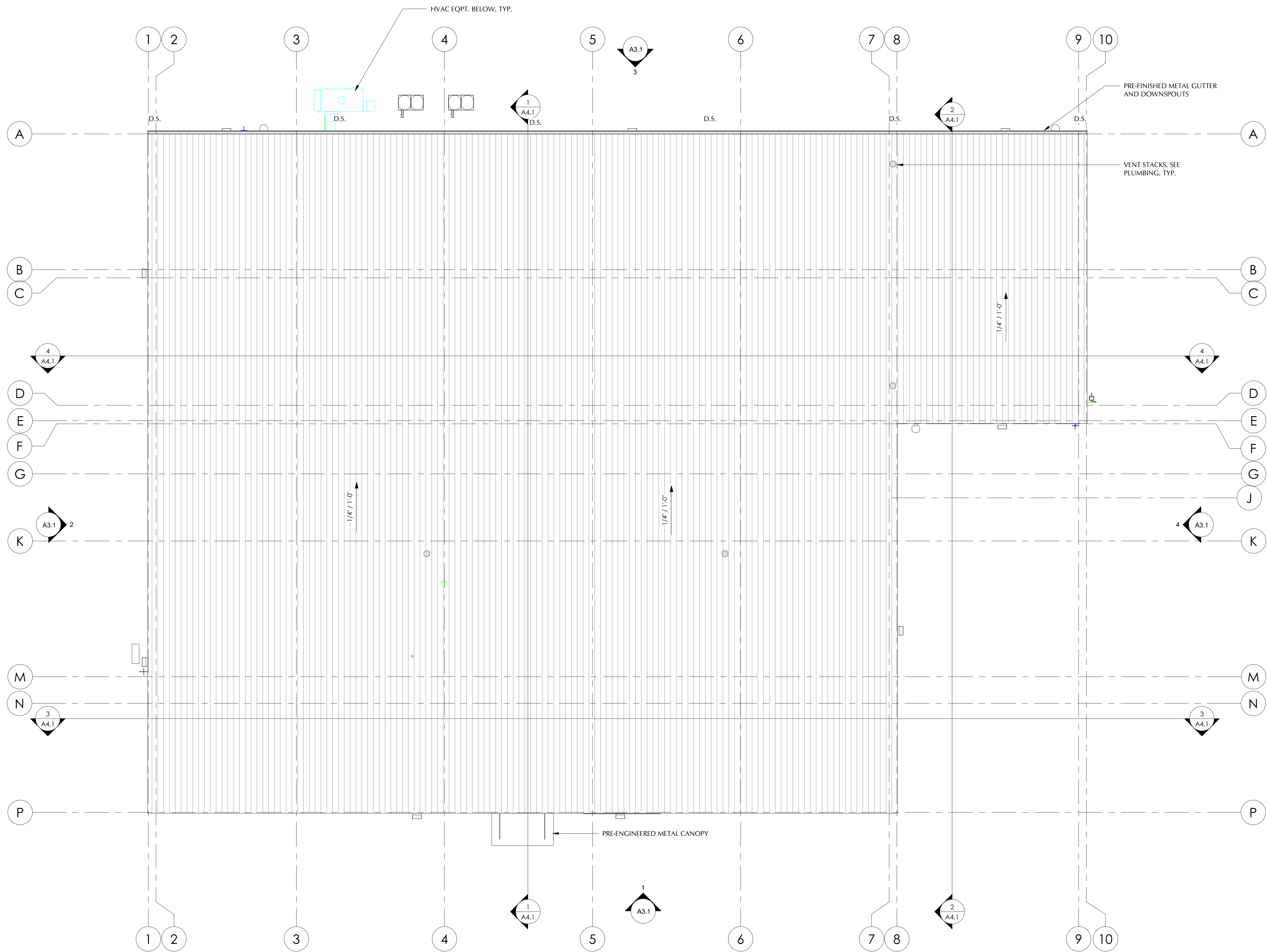
DATE: 3/23/22

PROJECT NO: 213142

A1.1

4-B-22-UR
4/13/2022

ROOF PLAN NOTES		
1.	ARROWS INDICATE DOWNWARD ROOF SLOPE, 1/4" PER FOOT MINIMUM.	
2.	PROVIDE ROOF WALK PADS AS REQUIRED TO ACCESS ALL ROOF TOP EQUIPMENT AND PENETRATIONS, TYP.	
3.	ROOF ASSEMBLY TO BE CLASS "C" CONSTRUCTION.	
4.	PROVIDE VENTS THROUGH ROOF AS INDICATED FOR PLUMBING SYSTEMS. LOCATIONS TO BE NO CLOSER THAN 5'-0" TO PARAPET CONDITION AND NO CLOSER THAN 10'-0" TO ANY AIR INTAKE.	
5.	PROVIDE TAPERED RIGID ROOF INSULATION CRICKETS AT ALL ROOFTOP EQUIPMENT OR EQUIPMENT CURBS WITH INTEGRAL CRICKETS / DIVERTERS - NOT SHOWN FOR CLARITY.	
6.	PROVIDE SERVICE LIGHTING IN MANSARD SERVICE AREAS, TYP.	



1 ROOF PLAN
A1.2 1/8" = 1'-0"

KNOX COUNTY PLANNING COMMISSION # **4-B-22-UR**
TENN. TECH. CORR. DEVELOPMENT AUTH. # **5-A-22-TOB**

4-B-22-UR
4/13/2022

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ROOF PLAN

REVISIONS		
Revision #	Description	Date
1	Revision 1	4-13-22

DATE:	3/23/22
PROJECT NO:	213142

A1.2



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BUILDING
ELEVATIONS

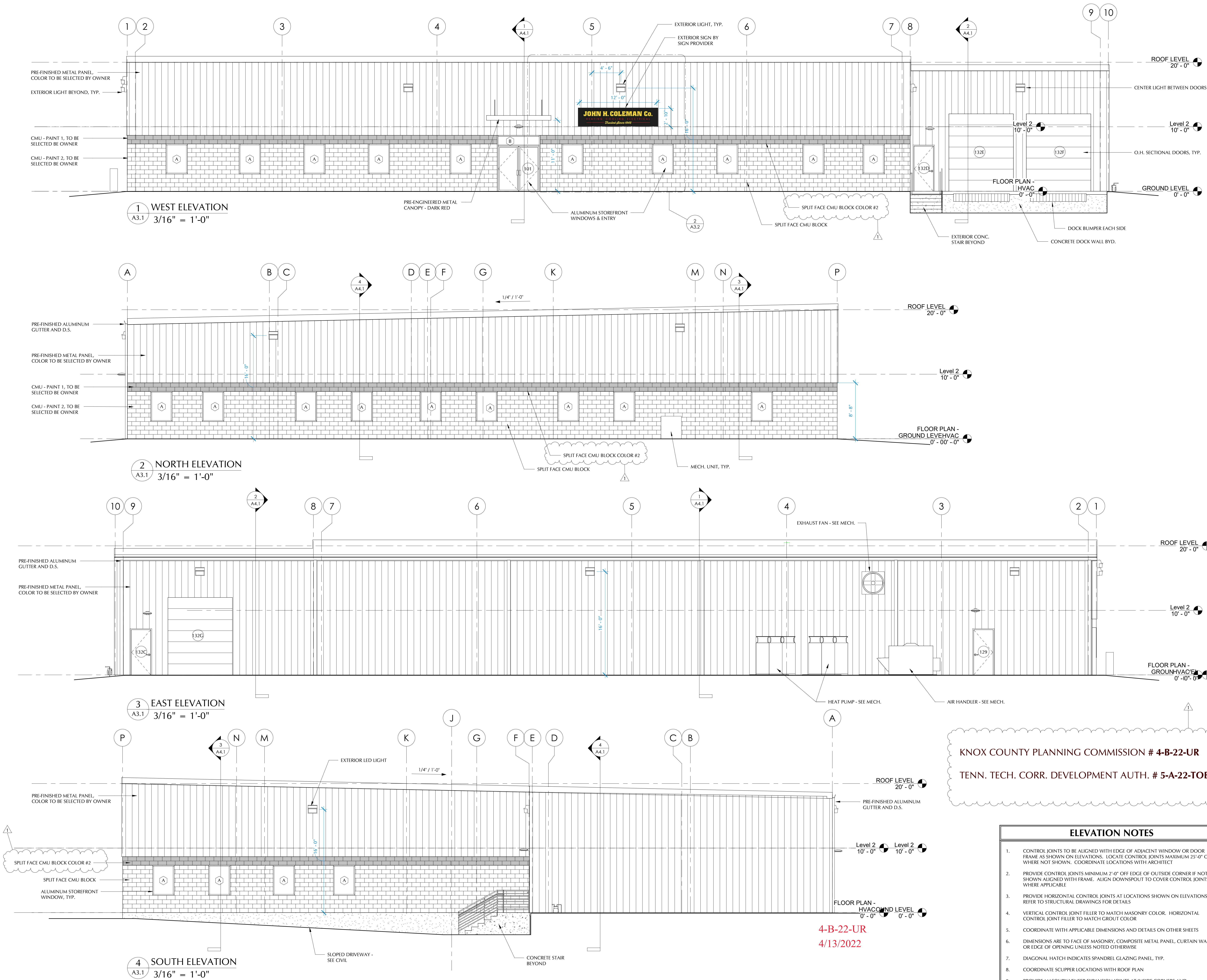
REVISIONS

Revision #	Description	Date
1	Revision 1	4-13-22

DATE: 3/23/22

PROJECT NO: 213142

A3.1



KNOX COUNTY PLANNING COMMISSION # 4-B-22-UR

TENN. TECH. CORR. DEVELOPMENT AUTH. # 5-A-22-TOB

4-B-22-UR
4/13/2022



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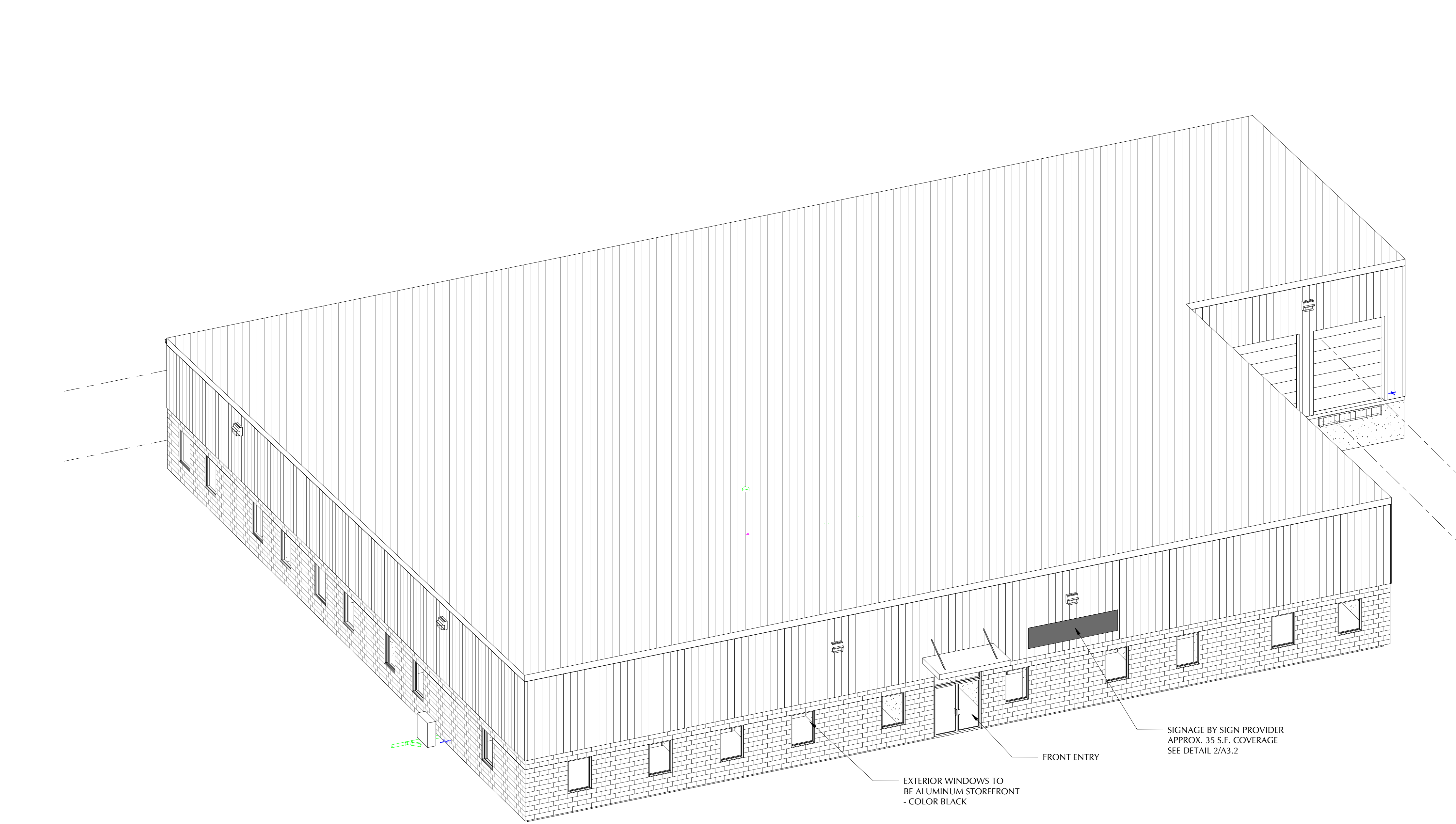
3D VIEWS &
EXTERIOR MATERIALS

REVISIONS		
Revision #	Description	Date
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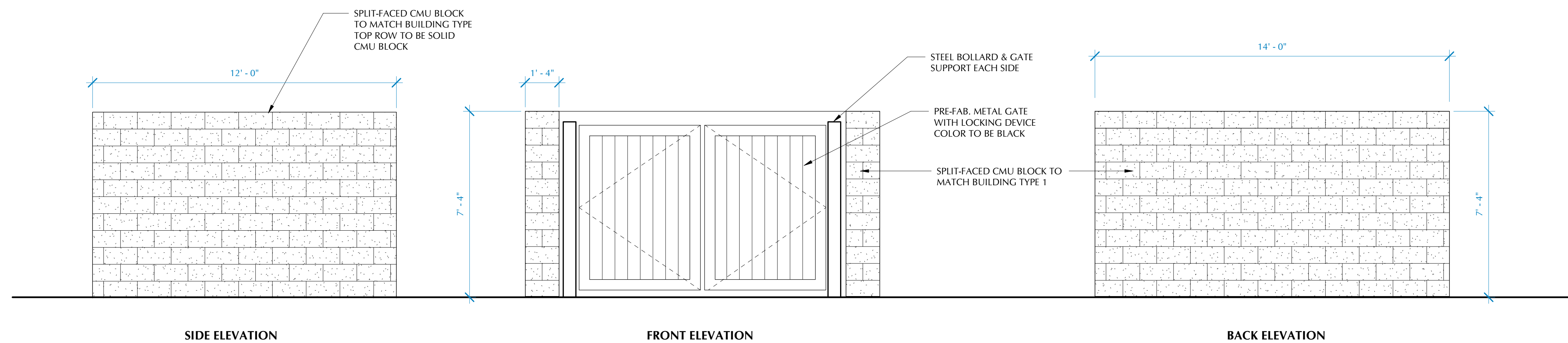
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PROJECT NO: 213142

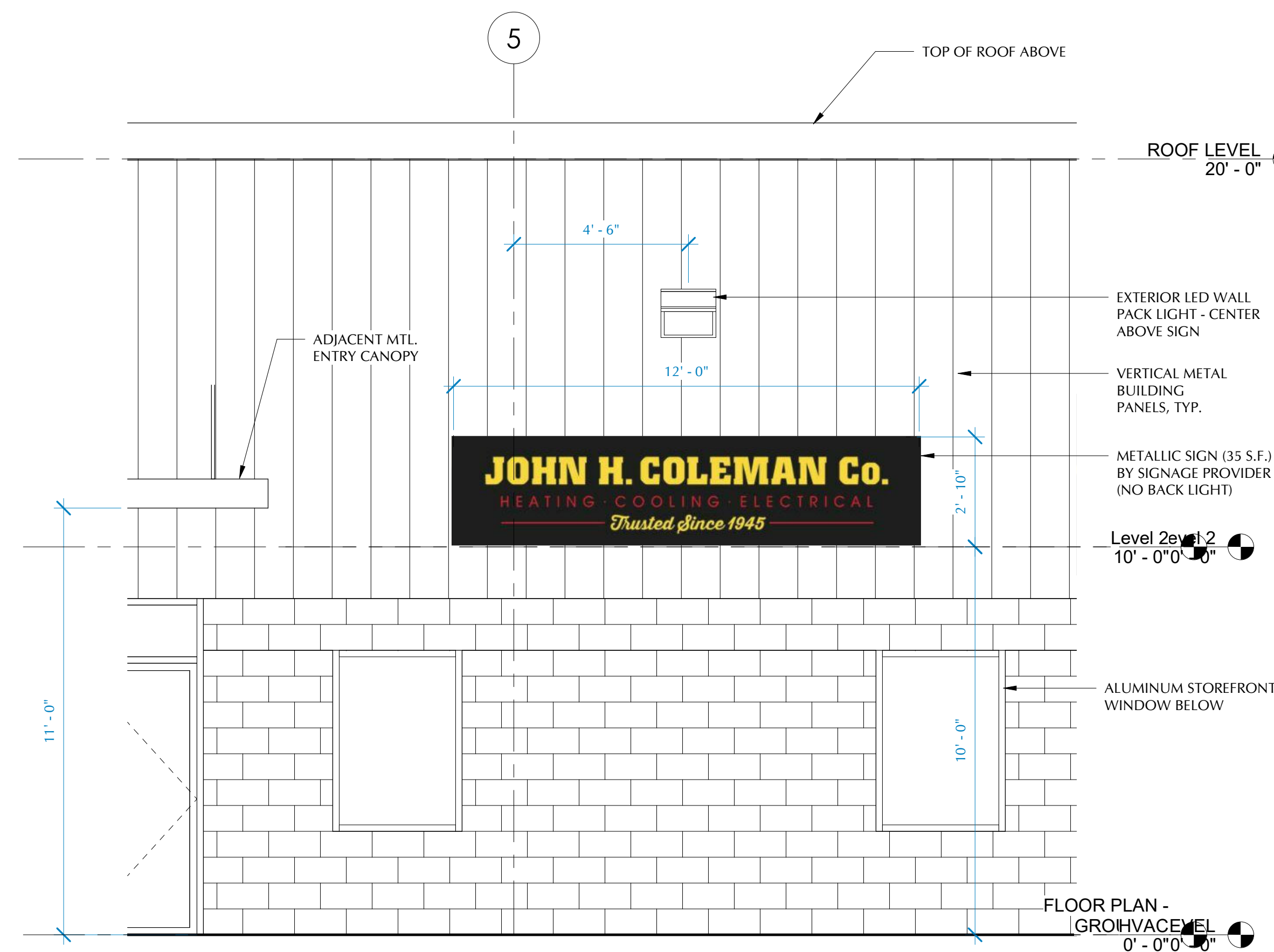
A3.2



1 3D AERIAL VIEW
A3.2



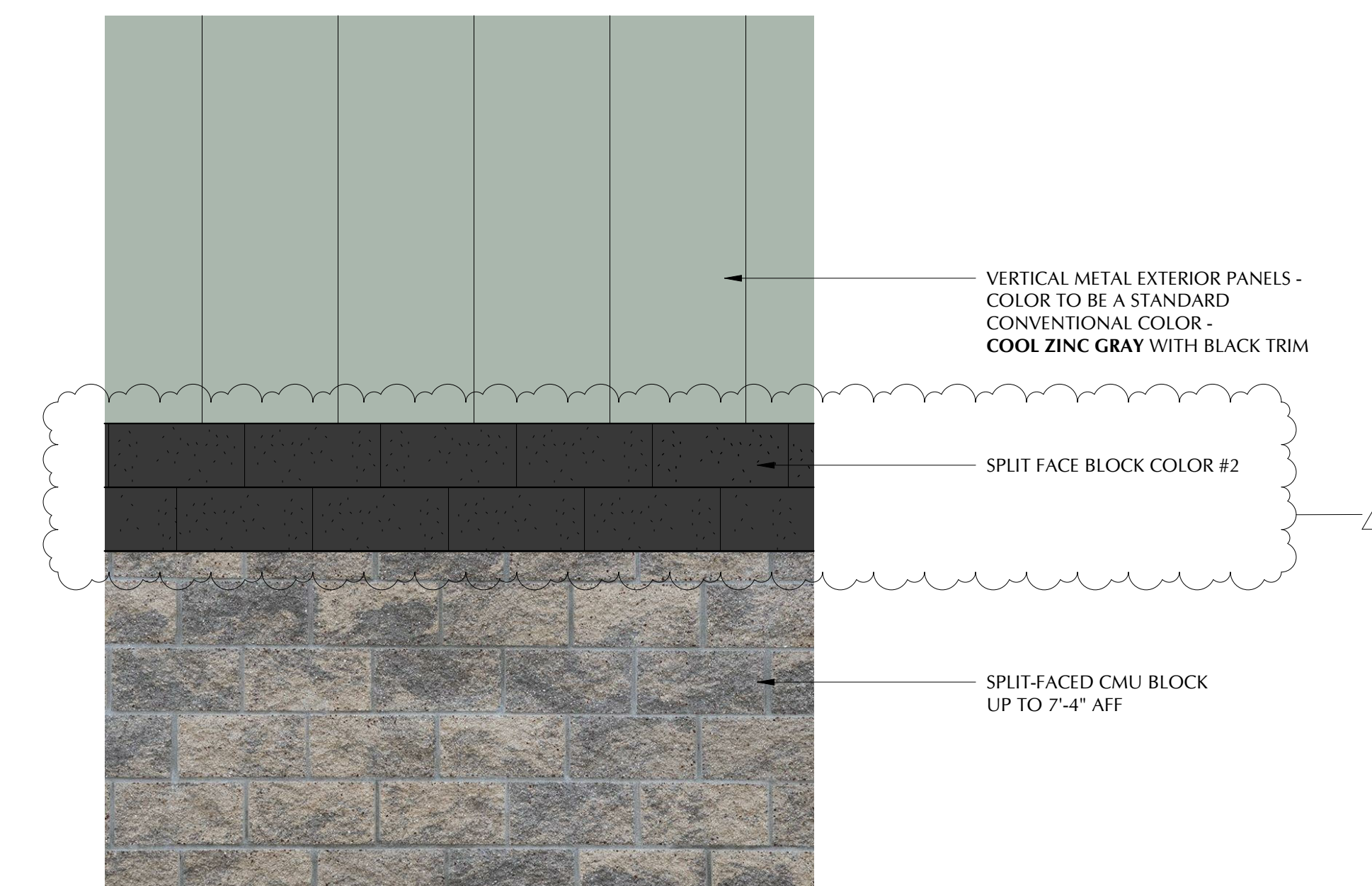
3 DUMPSTER ENCLOSURE ELEVATIONS
A3.2 3/8" = 1'-0"



2 EXTERIOR SIGN ELEVATION
A3.2 3/8" = 1'-0"



VARCO PRUDEN METAL PANEL COLORS



EXTERIOR MATERIALS ELVATION

KNOX COUNTY PLANNING COMMISSION # 4-B-22-UR

TENN. TECH. CORR. DEVELOPMENT AUTH. # 5-A-22-TOB

4-B-22-UR
4/13/2022

0 30' 60' 90'

Scale: 1" = 30' - 0"

N
W E
S

28 Carrissa Holly
3 Spartan Juniper
60'R
Parking and Vehicular Use Area 27,658 SF
3 Trident Maple
12 Rose Creek Abelia
18 Cassian Pennisetum
6 Ninebark
5 Winterberry Holly
6 Redbud
3 Winterberry Holly
3 Oakleaf Hydrangea
13 Rose Creek Abelia
5 Oakleaf Hydrangea
13 False Indigo
19 Drift Rose
27 Densiflorum Yew
4 Sweetbay Magnolia
2 Dwarf Japanese Cedar
13 Schipka Laurel
4 Red Maple
1 Lacebark Elm
6 Crepe Myrtle
3 Trident Maple
3 Winterberry Holly
1 Oakleaf Hydrangea
11 Rose Creek Abelia
3 Carolina Cherry Laurel
10 Annabelle Hydrangea
6 Loblolly Pine
16 Summerweet

PLANTING NOTES:

- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to provide allowance for soil amendments, percolation tests, soil tests, mulch and irrigation.
- Irrigation system to be drip unless otherwise noted and approved.
- Contractor to complete work within schedule established by owner.
- Contractor to provide one year warranty for all plant material from date of substantial completion.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
- The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
- All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition, quality of the plant material to be judged by the landscape architect. Inferior plant material to be rejected.
- Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
- No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
- Planting plans may need to be adjusted in the field. Contractor to coordinate layout of plant material with landscape architect for on site approval prior to installation.
- Test plant beds and plant pits for adequate drainage. Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
- Trees shall be installed 3" above finish grade in hardpan areas to provide good drainage unless otherwise directed.
- Groundcover and shrub mass beds shall be cultivated to a depth of 12 inches below grade to break through compacted or hardpan soil. Remove all stones, roots, and weeds. Add specified soil amendments and fertilizer. Install plants, edge bed area, mulch and water thoroughly.
- Set all plants plumb and turned so that the most attractive side is viewed.
- Plants shall be measured to their main structure, not tip to tip of branches.
- Tree pit and shrub pit to be twice the size of the root mass. Fill with plant mix.
- Broken root balls for trees shall be rejected. Contractor to check root balls and expose rootflares to check for root girdling. Do not assume the rootflare is exposed upon purchase from the nursery.
- Any plant materials shipped to site in uncovered vehicles/ trailer shall be rejected regardless of season.
- All tree scars over 1 - 1/2" shall be rejected and tree to be replaced.
- All shrubs to be dense and full. All trees to have a symmetrical growth habit (360 degrees) unless uncharacteristic to plant type or otherwise noted on plans.
- Remove all excess growth of trees and shrubs as directed by landscape architect. Do not cut central leader.
- If rootball is wrapped in non-biodegradeable burlap, remove entire wrap after placed in pit.

TTCCA - LANDSCAPE REQUIREMENT NOTES:

3.1.4 In order to provide year-round greenery, at least 25% of newly planted or conserved trees should be evergreen.

- 45 trees proposed
- 19 evergreen = 42%

3.1.5 When planting trees on a development site, a roughly equal combination of large, medium and small trees (see Appendix B) should be planted, with at least 10 large maturing trees per acre of yard space.

- 2.32 acres - 1.04 acres (parking and building) = 1.28 * 10 = 13 trees
- 17 large trees proposed
- 13 medium trees proposed
- 15 small trees proposed

3.1.8 The required front yard for a 1-, 2- or 3-story building with no parking in front shall be landscaped. A minimum 20-foot landscaped yard shall be placed between the right-of-way and a parking area in front of a building.

- entry landscape provided at cul-de-sac entrance

3.2.1 The arrival areas should be landscaped to make an introductory statement about each site.

- landscape provided at driveway entrance and front of building

3.2.2 Landscaping should be used to accentuate entryways to the site and the building(s) and to provide areas of shade

- all entry areas landscaped, shade provided where adequate room for tree growth is available

3.3.2 Entrances into buildings should be accented by plantings.

- all entry areas landscaped

3.3.3 Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery and bedding plants (see Appendix B).

- Front Elevation = 3,263 Side Elevation = 2,143 Side Elevation = 2,143
- Total Front and Side Elevations = 7,549 Required Square Footage of Landscape = 3,775
- Total Proposed Perimeter Landscape = 4,206 square feet

3.3.4 Minimize shading of south-facing facades in winter; maximize shading of south-facing facades in summer.

- trees proposed near south facade

3.3.5 Landscaping should buffer the building from the microclimate of the parking area.

- trees proposed around parking and drive aisles

3.3.6 Landscaping should be used to screen mechanical equipment or other unsightly exterior building elements.

- evergreen shrubs proposed

3.4.1 Parking areas should be screened from public rights-of-way by landscaped berms, low level shrubbery or a combination of the two.

- landscape proposed between parking and cul-de-sac

3.4.2 If surface parking is necessary, existing trees both upslope and downslope should be conserved for environmental and aesthetic purposes. In cases where existing vegetation cannot be saved, or does not exist, medium and large maturing canopy trees should be planted between parking areas.

- trees proposed near all parking areas

3.4.3 Trees shall be required at the rate of one (1) medium or large maturing canopy tree for every ten parking spaces provided.

- 42 parking space proposed, 5 trees required, 17 large trees proposed

3.4.4 In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.

- Total Parking Lot and Vehicular Use Area = 27,658 square feet
- Total Landscape Bed Area = 9,341 square feet
- 34%

3.4.5 Medium and large maturing canopy and ornamental trees may be chosen from the recommended species list in Appendix B.

3.3.6 Mature trees that are preserved within eight feet of the parking area may be used to satisfy up to 50% of the required number of canopy trees, as described in (a) above. In all other respects, however, the number of trees and other plantings required for parking areas shall be in addition to those required under Section 3.1.

- N/A, no trees preserved

3.3.7 Required canopy trees shall be located within the parking areas as terminal islands, interior islands, interior wells, medians, traffic delineators, between rows of parking spaces, or in planting areas adjacent to buildings in a manner such that no parking space is located more than sixty (60) feet from the trunk of a large canopy tree.

- trees proposed within 60' of all parking spaces

3.3.8 Interior islands at the rate of one for every 200 feet of parking shall be installed to break up long rows of parking stalls.

PLANTING LEGEND:

Qty	Botanical Name	Common Name	Size	Notes	Size
Deciduous Trees					
6	Acer buergerianum	Trident Maple	2" cal.	central leader, full and dense	M
4	Acer rubrum 'October Glory'	October Glory Red Maple	2" cal.	central leader, full and dense	L
6	Cercis canadensis	Redbud	2" cal.	central leader, full and dense	S
6	Lagerstromia indica 'Muskogee'	Muskogee Crape Myrtle	2" cal	MT, 5 cane min, full and well branched	S
4	Liriodendron tulipifera	Tulip Poplar	2" cal.	central leader, full and dense	L
3	Quercus phellos	Willow Oak	2" cal.	central leader, full and dense	L
1	Ulmus parvifolia	Lacebark Elm	2" cal.	central leader, full and dense	M
Evergreen Trees					
3	Juniperus chinensis	Spartan Juniper	6' hgt.	central leader, full and dense	M
4	Magnolia x soulangeana	Sweetbay Magnolia	6' hgt.	central leader, full and dense	M
6	Pinus taeda	Loblolly	12' hgt.	central leader, full and well branched	L
3	Prunus caroliniana	Carolina Cherry Laurel	6' hgt.	central leader, full and dense	S
3	Ilex x	Nellie R Stevens Holly	6' hgt.	central leader, full and dense	M
Deciduous Shrubs					
16	Clethra alnifolia	Sweet Pepperbush	3 gallon	full and dense	
10	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gallon	full and dense	
11	Hydrangea quercifolia	Oakleaf Hydrangea	3 gallon	full and dense	
1	Ilex verticillata 'Southern Gentleman'	Winterberry Holly	7 gal, 36"	5' oc, full and dense, plant one male pollinator for each grouping	
10	Ilex verticillata 'Winter Red'	Winterberry Holly	7 gal, 36"	5' oc, full and dense	
6	Physocarpus opulifolius	Ninebark	3 gallon	full and dense	
0	Rhus aromatica	Gro-Low Sumac	3 gallon	full and dense	
Evergreen Shrubs					
36	Abelia	Rose Creek Abelia	3 gallon	full and dense	
2	Cryptomeria japonica 'Nana Glubosa'	Dwarf Japanese Cedar	3 gallon	full and dense	
41	Ilex cornuta 'Carissa'	Carissa Holly	3 gallon	full and dense	
0	Ilex glabra	Inkberry Holly	3 gallon	full and dense	
13	Prunus laurocerasus 'Schipkaensis'	Shipka Laurel	3 gallon	full and dense	
19	Rosa hybrida	Pink Drift Rose	3 gallon	full and dense	
Grasses					
18	Pennisetum alopecuroides	Cassian Pennisetum	1 gallon	full and dense	

Notes:

- This landscape plan is designed to meet minimum TTCCA landscape requirements only.
- All HVAC units shall be screened with vegetation as per TTCCA landscaping ordinance. Location and screening material TBD.
- Planning Commission File #4-B-22-UR
- TTCCA Case #5-A-22-TOB

Set shrubs and perennials 1-2" above finished grade. Space plants as shown on planting plans.

Lightly scarify rootball and soil mass

3" Mulch as specified

Specified plant mix in planting pit

Compacted soil mix to prevent settling and ensure proper drainage

Compacted subgrade

Shrub & Perennial Planting
Scale: NTS

Polystrip

Rootflare of tree to be exposed. No mulch shall cover rootflare of tree.

3" Mulch as specified

Earth saucer to contain water

Tree stake, 36" long driven a minimum of 12" in the ground

Compacted soil mix to prevent settling and ensure proper drainage

Specified plant mix in tree pit

Compacted subgrade

- General Notes:
- Excavate tree pit to a depth equal to depth of rootball plus 24", and a width equal to two times the diameter of the rootball.
 - Fill tree pit with water and confirm percolation rate. (Notify landscape architect if poor drainage conditions exist.)
 - Install tree per detail avoiding any damage to rootball or trunk of tree.
 - Add specified plant mix and soil amendments.
 - Remove burlap on top 1/3 of tree rootball. Remove burlap on top 1/3 of tree rootball.
 - Immediately soak tree pit with water and remove any air pockets that may have occurred during backfilling.
 - Stake and guy tree with specified materials.

General Tree Planting
Scale: NTS



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A New Corporate Headquarters for:
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805 Corridor Park Blvd.
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LANDSCAPE
PLAN

- Planning Commission File #4-B-22-UR
- TTCCA Case #5-A-22-TOB

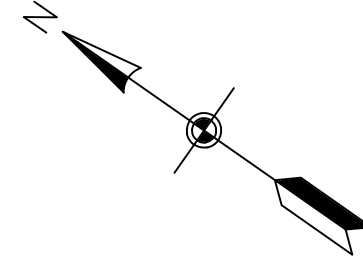
REVISIONS

Revision #	Description	Date
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DATE: 3/28/22

PROJECT NO: 213142

L1.0



4-B-22-UR
4/13/2022

SE1.1



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