



Blankenship & Partners, LLC
Architects and Planners

1112 E. Weisgarber Rd., 2nd Floor, Knoxville, TN 37909

Office: 865.251.2885 Fax: 865.531.7911

Contact Name: William R. Blankenship

Owner:

Contact Name:

Project Name:

Oak Grove Duplex Project

Consultants:

Contact Name:

Contact Name:

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Seal



Date: 6-14-23

Drawn By: SN

Checked By: BB

Project Number: 22-xx

Revisions

No. Date:

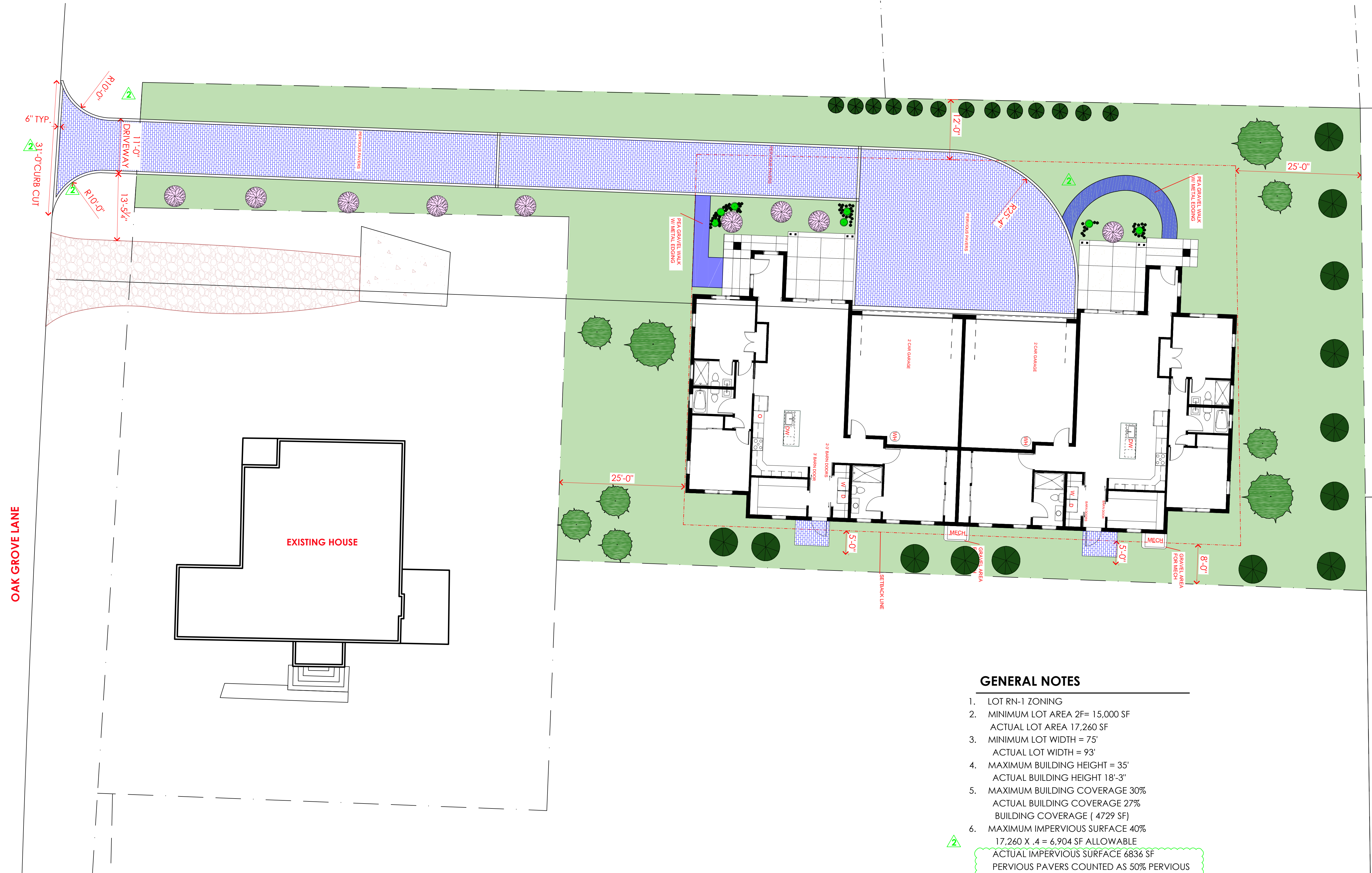
2 3-21-24

Drawing Title:

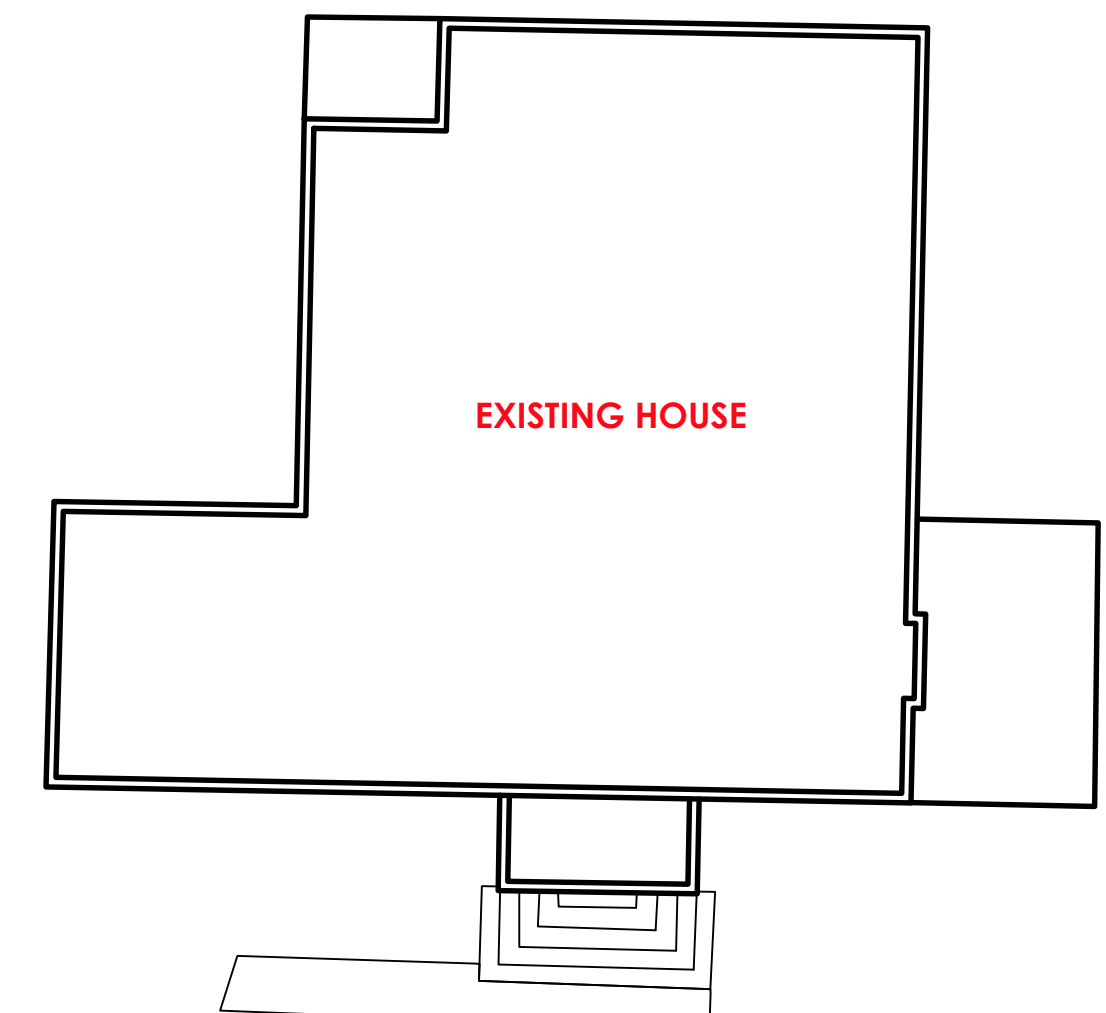
Site Plan

Drawing No.:

A0



OAK GROVE LANE

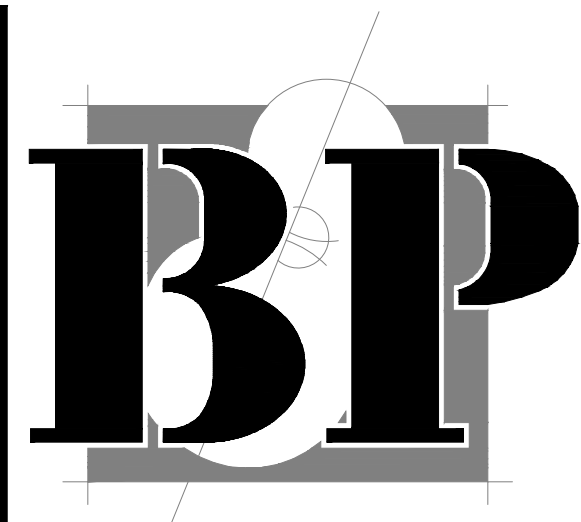


SITE PLAN
Scale: 1" = 10'-0"

GENERAL NOTES

- LOT RN-1 ZONING
- MINIMUM LOT AREA 2F= 15,000 SF
ACTUAL LOT AREA 17,260 SF
- MINIMUM LOT WIDTH = 75'
ACTUAL LOT WIDTH = 93'
- MAXIMUM BUILDING HEIGHT = 35'
ACTUAL BUILDING HEIGHT 18'-3"
- MAXIMUM BUILDING COVERAGE 30%
ACTUAL BUILDING COVERAGE 27%
BUILDING COVERAGE (4729 SF)
- MAXIMUM IMPERVIOUS SURFACE 40%
17,260 X .4 = 6,904 SF ALLOWABLE
ACTUAL IMPERVIOUS SURFACE 6836 SF
PERVIOUS PAVERS COUNTED AS 50% PERVIOUS
2724 SF PERVIOUS PAVERS /2 = 1362 SF
ALL AREA SURFACES = 8198 SF
8198 SF - 1362 SF = 6836 SF

DRIVEWAY REDESIGNED
SHAPE AND WIDTH CHANGED
TO RESPOND TO REVIEW COMMENTS
ENTRANCE TO DRIVEWAY REDESIGNED
TO MEET FIRE DEPARTMENT COMMENT
CURB CUT CHANGED.



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1112 E. Weisgarber Rd., 2nd Floor, Knoxville, TN 37902

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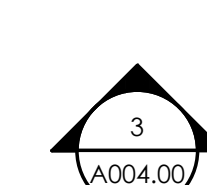
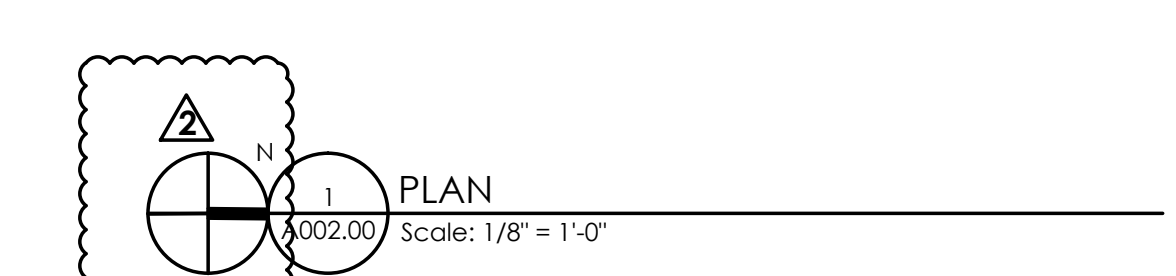
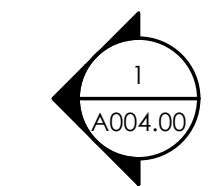
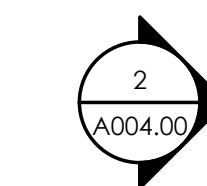
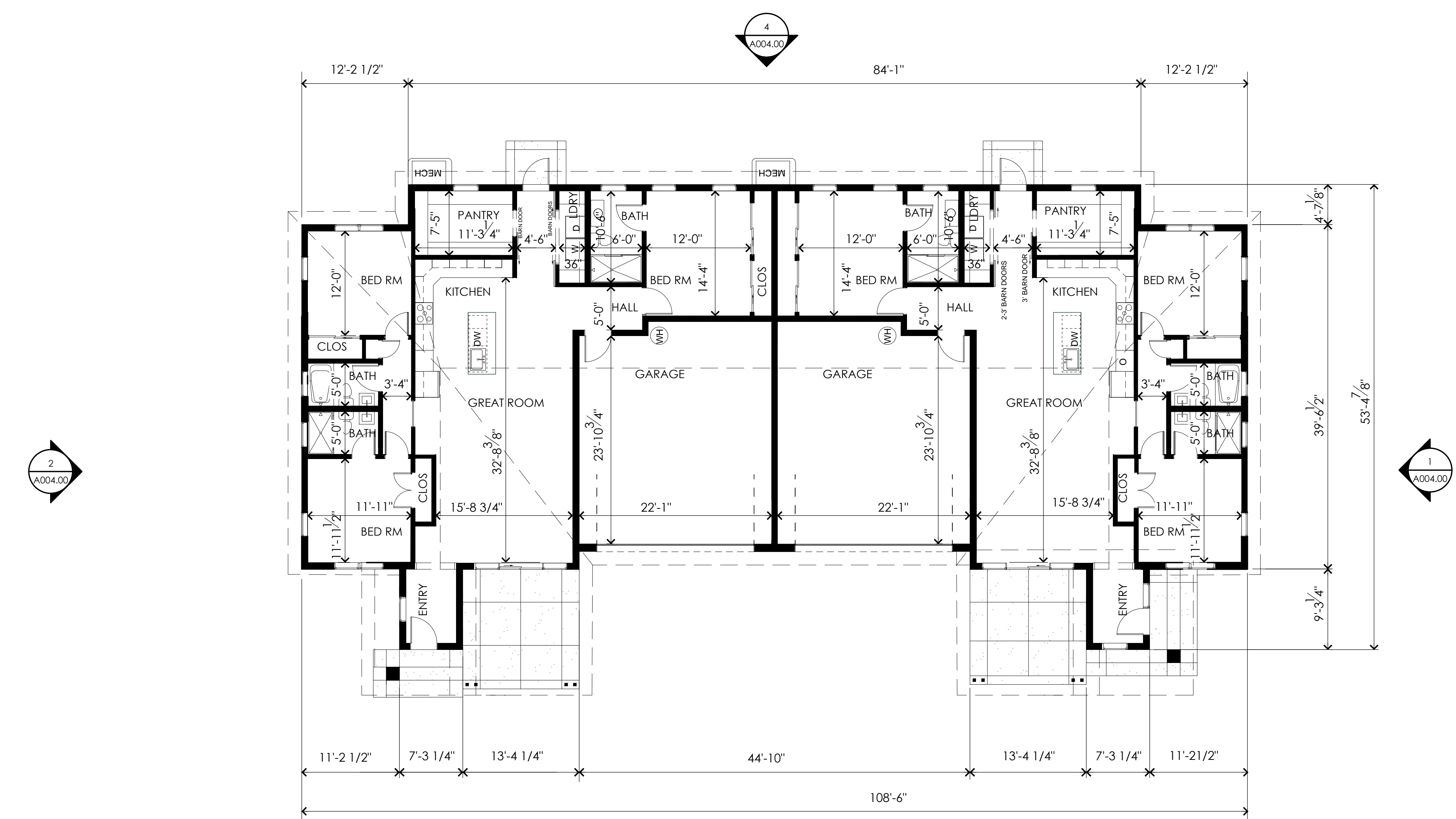
No. 3-21-24 Date:

Drawing Title:

Floor Plan

Drawing No.:

A002.00



GENERAL NOTES

- TURN DOWN SLAB ON GRADE FOUNDATION.
- EXTERIOR WALL CONSTRUCTION CONSIST OF 2X6 WD STUDS WITH BATT INSULATION R 20, SHEATHING, AIR GAP, AND FIBER CEMENT BOARD SIDING WITH TRIM. AND 5/8" GYPSUM BOARD INTERIOR FINISH.
- INTERIOR WALL CONSIST OF 2X4 WD STUD @ 16" O.C. WITH 5/8" GYPSUM BOARD EACH SIDE.
- CEILINGS ARE ALL 5/8" GYPSUM BOARD ATTACHED TO WD TRUSSES.
- CEILING HEIGHTS ARE 10'-4 1/2" MINUS CEILING AND FLOOR FINISH.
- ROOF STRUCTURE CONSIST OF WOOD TRUSSES ATTACHED WITH HURRICANE STRAPS, 3/4" PLYWOOD SHEATHING, 30# FELT, AND ASPHALT SHINGLES. CEILING INSULATION IS R 49.

NORTH ARROW CHANGED TO CORRECT DIRECTION



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FOR PRICING
NOT FOR
CONSTRUCTION

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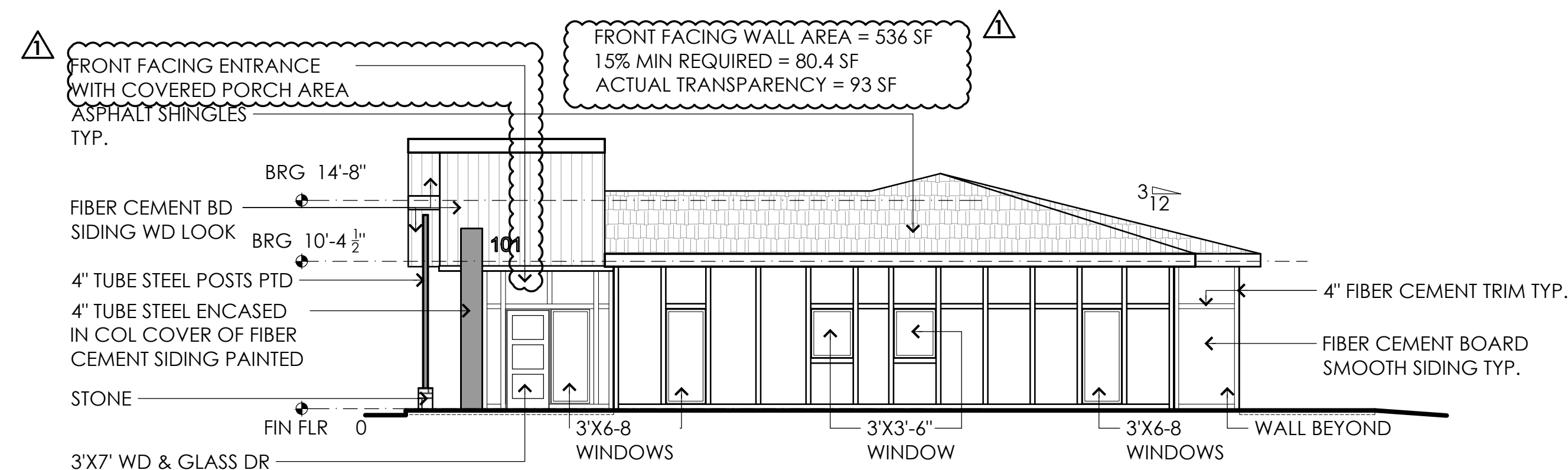
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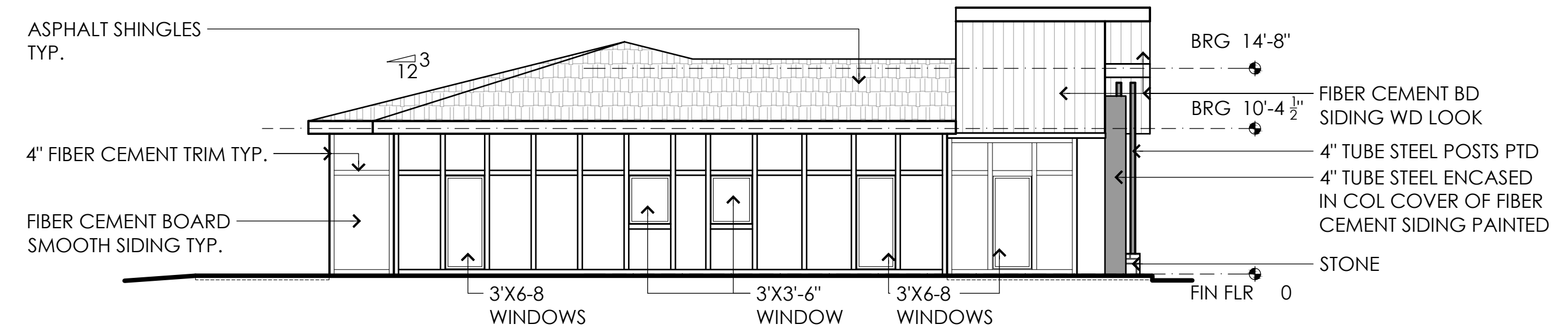
Elevations

Drawing No.:

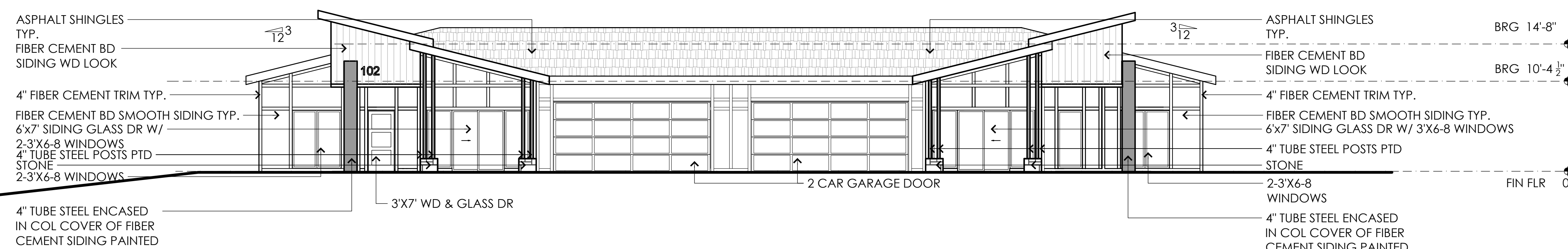
A004.00



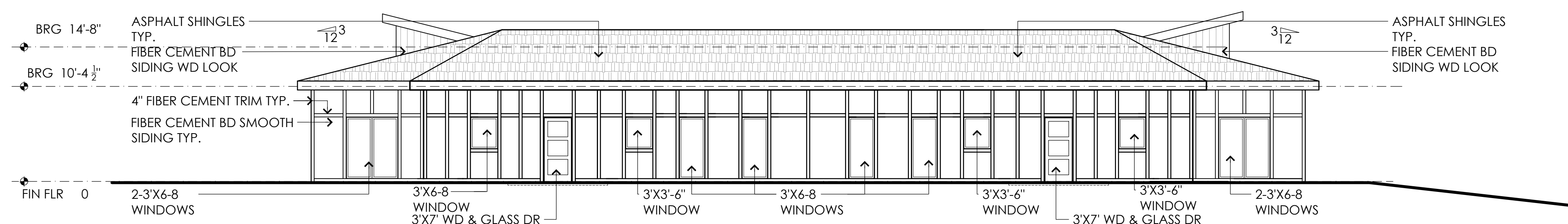
1 FRONT ELEVATION
A004.00 Scale: 1/8" = 1'-0"



2 REAR ELEVATION
A004.00 Scale: 1/8" = 1'-0"



3 SIDE ELEVATION
A004.00 Scale: 1/8" = 1'-0"



4 SIDE ELEVATION
A004.00 Scale: 1/8" = 1'-0"

FRONT FACING WALL AREA = 536 SF
15% MIN REQUIRED = 80.4 SF
ACTUAL TRANSPARENCY = 93 SF