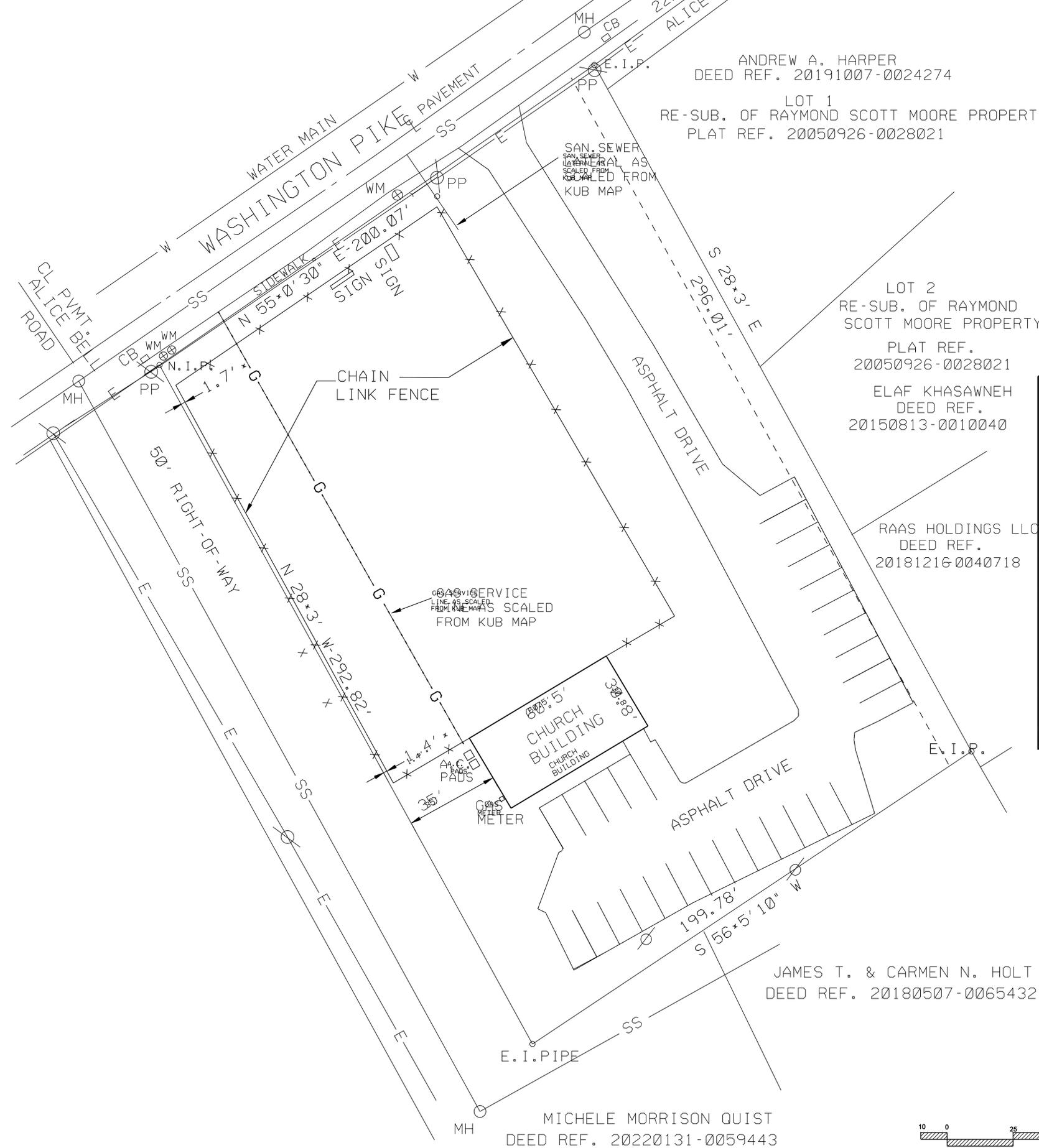


3-B-26-SU
 Rev. 3.15.2026

INFORMATION ONLY



ANDREW A. HARPER
 DEED REF. 20191007-0024274

LOT 1
 RE-SUB. OF RAYMOND SCOTT MOORE PROPERTY
 PLAT REF. 20050926-0028021

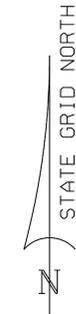
LOT 2
 RE-SUB. OF RAYMOND SCOTT MOORE PROPERTY
 PLAT REF. 20050926-0028021

ELAF KHASAWNEH
 DEED REF. 20150813-0010040

RAAS HOLDINGS LLO
 DEED REF. 20181216-0040718

JAMES T. & CARMEN N. HOLT
 DEED REF. 20180507-0065432

MICHELE MORRISON QUIST
 DEED REF. 20220131-0059443



Iglesia de Dios el Shaddai
 4306 Washington Pike
 Knoxville, TN. 37917

KNOX COUNTY, DISTRICT 7, WARD 32
 ZONING RESIDENTIAL EN
 MAX BUILDING COVERAGE = 25%
 MAX IMPERVIOUS SURFACE = 35%
 MAX HEIGHT = 35'
 FRONT YARD SETBACK = 40'
 SIDE YARD SETBACK = 20% X 200' = 40'
 REAR YARD SETBACK = 25'



SITE

NO.	DATE	REVISION

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PROJECT
IGLESIA DE DIOS EL SHADDAI
 4309 WASHINGTON PIKE
 KNOXVILLE, TENNESSEE

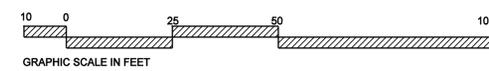
DATE
 FEB. 23, 2026

PROJ.
 MF A25-II-101

SCALE
 1" = 20'

C1.0

SHEET





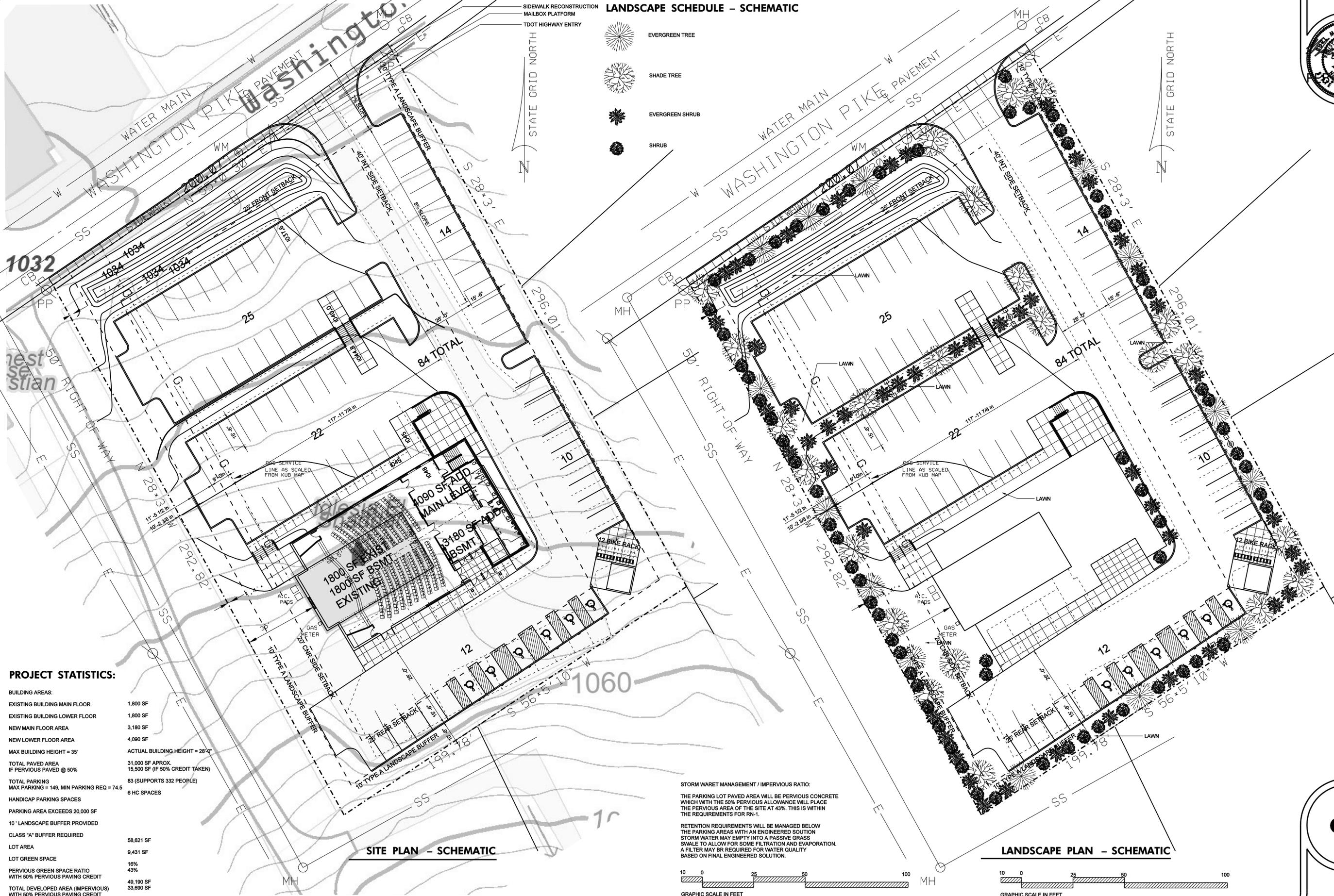
SIDEWALK RECONSTRUCTION
 MAILBOX PLATFORM
 TDOT HIGHWAY ENTRY

LANDSCAPE SCHEDULE - SCHEMATIC

- EVERGREEN TREE
- SHADE TREE
- EVERGREEN SHRUB
- SHRUB

STATE GRID NORTH

STATE GRID NORTH



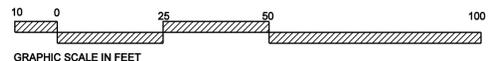
PROJECT STATISTICS:

BUILDING AREAS:	
EXISTING BUILDING MAIN FLOOR	1,800 SF
EXISTING BUILDING LOWER FLOOR	1,800 SF
NEW MAIN FLOOR AREA	3,180 SF
NEW LOWER FLOOR AREA	4,090 SF
MAX BUILDING HEIGHT = 35'	ACTUAL BUILDING HEIGHT = 28'-0"
TOTAL PAVED AREA	31,000 SF APPROX.
IF PERVIOUS PAVED @ 50%	15,500 SF (IF 50% CREDIT TAKEN)
TOTAL PARKING	83 (SUPPORTS 332 PEOPLE)
MAX PARKING = 149, MIN PARKING REQ = 74.5	6 HC SPACES
HANDICAP PARKING SPACES	
PARKING AREA EXCEEDS 20,000 SF	
10' LANDSCAPE BUFFER PROVIDED	
CLASS "A" BUFFER REQUIRED	
LOT AREA	58,621 SF
LOT GREEN SPACE	9,431 SF
PERVIOUS GREEN SPACE RATIO	16%
WITH 50% PERVIOUS PAVING CREDIT	43%
TOTAL DEVELOPED AREA (IMPERVIOUS)	49,190 SF
WITH 50% PERVIOUS PAVING CREDIT	33,690 SF

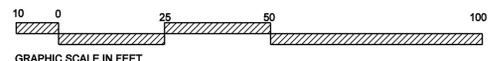
SITE PLAN - SCHEMATIC

STORM WARET MANAGEMENT / IMPERVIOUS RATIO:
 THE PARKING LOT PAVED AREA WILL BE PERVIOUS CONCRETE WHICH WITH THE 50% PERVIOUS ALLOWANCE WILL PLACE THE PERVIOUS AREA OF THE SITE AT 43%. THIS IS WITHIN THE REQUIREMENTS FOR RM-1.

RETENTION REQUIREMENTS WILL BE MANAGED BELOW THE PARKING AREAS WITH AN ENGINEERED SOLUTION STORM WATER MAY EMPTY INTO A PASSIVE GRASS SWALE TO ALLOW FOR SOME FILTRATION AND EVAPORATION. A FILTER MAY BR REQUIRED FOR WATER QUALITY BASED ON FINAL ENGINEERED SOLUTION.



LANDSCAPE PLAN - SCHEMATIC

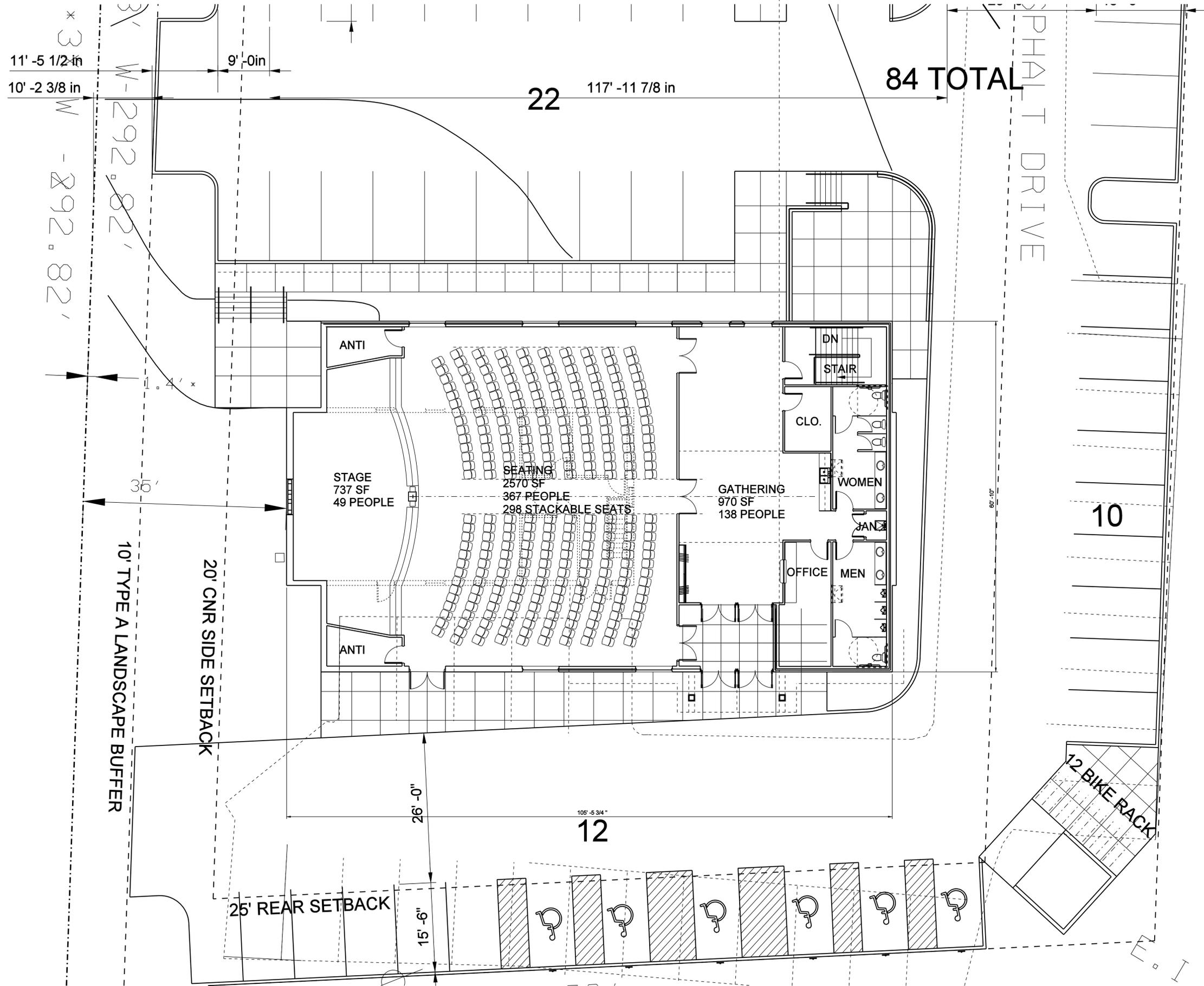


REV	DATE	REVISION
1	03/026	CALCULATION FOR PERVIOUS PAVING ADDED / P/AV CORRECTED
2	03/026	03/026 MEMORANDUM COMMENTS ADDRESSE

PROJECT: **IGLESIA DE DOIS EL SHADDAI**
 4309 WASHINGTON PIKE
 KNOXVILLE, TENNESSEE

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 CHECKED:
 DATE: FEB. 23, 2026
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 SCALE: 1" = 20'





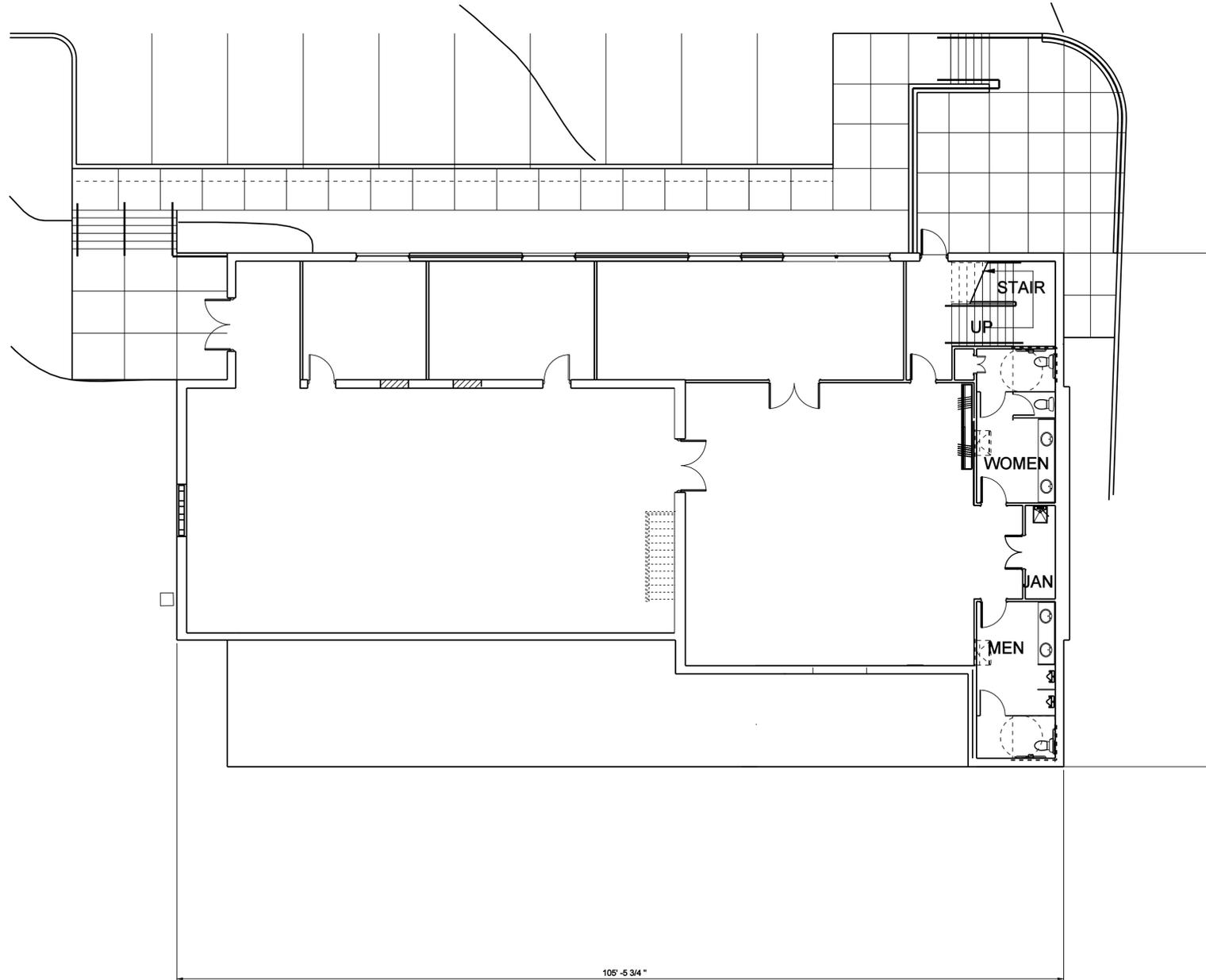
NO.	DATE	REVISION

TITLE: FLOOR PLAN - ZONING APPROVAL
 PROJECT: IGLESIA DE DOIS EL SHADDAI
 4309 WASHINGTON PIKE
 KNOXVILLE, TENNESSEE

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A1.1
 SHEET



NO.	DATE	REVISION

TITLE: LOWER FLOOR PLAN - ZONING APPROVAL PROJECT
 IGLESIA DE DOIS EL SHADDAI
 4309 WASHINGTON PIKE KNOXVILLE, TENNESSEE

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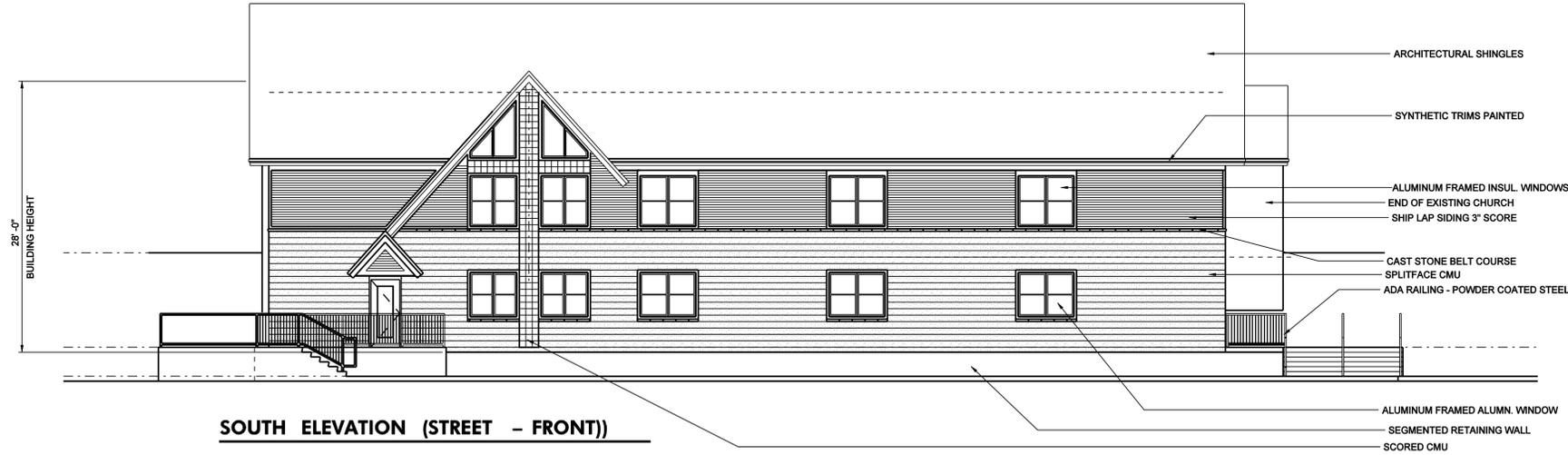
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PROJ
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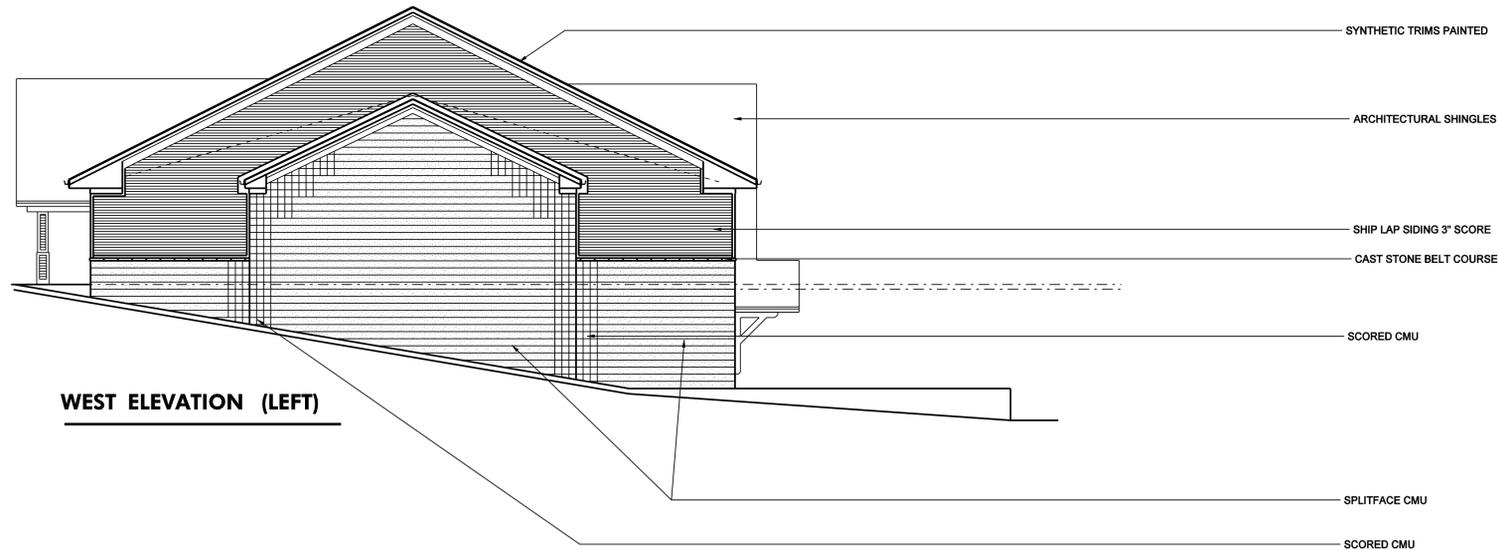
SCALE
 1" = 20'

Mark Freeman Architecture, PLLC
 PRELIMINARY
Review Document
 - FOR BIDDING Date: _____
 - FOR PERMITTING
 - GENERAL COMMENT
 - PURCHASE / FABRICATION / INSTALLATION
 AS INDICATED

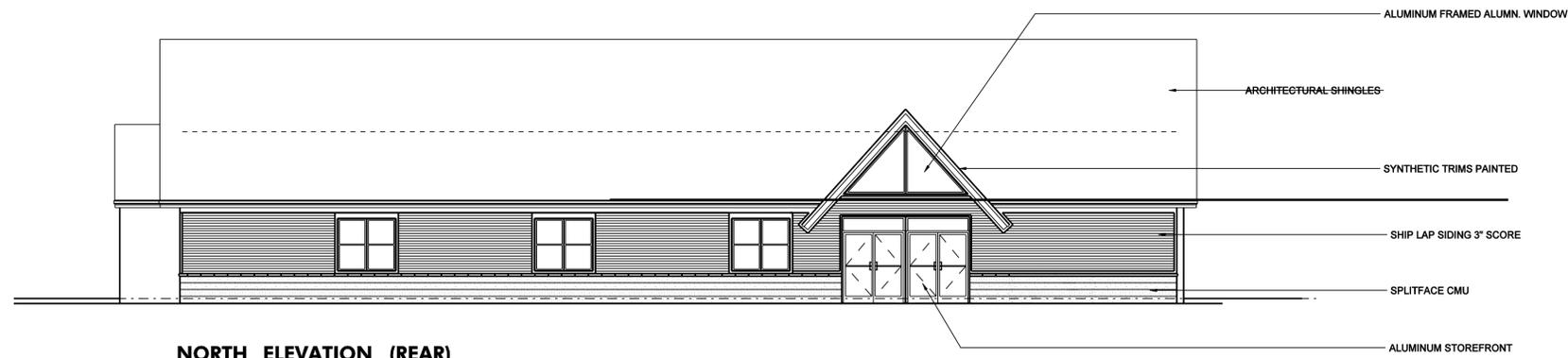
A1.2
 SHEET



SOUTH ELEVATION (STREET - FRONT))



WEST ELEVATION (LEFT)



NORTH ELEVATION (REAR)

REV	DATE	REVISION
1	03/26	ADDED BLDG HT - MEMO 030426

PROJECT: **IGLESIA DE DOIS EL SHADDAI**
 4309 WASHINGTON PIKE
 KNOXVILLE, TENNESSEE

TITLE: **ELEVATIONS - ZONING APPROVAL**

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 SCALE: **1" = 20'**

A2.0

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