

**GENERAL NOTES**

- G1 The purpose of this plat is to subdivide the property into three lots.
- G2 Verify exact size, depth and location of all underground drainage utilities prior to construction.
- G3 Verify current zoning with appropriate government planning agency prior to any site design and / or construction.
- G4 This survey plat does not warrant title.
- G5 Horizontal coordinates are on Tn State Grid (NAD83-2011), with elevations on NAVD88. Distances have not been reduced to grid.
- G6 By graphic plotting, this property lies in Zone X on FEMA Firm Panel #47093C0115F, which bears an effective date of 5-2-07, and is not in a special flood hazard area.
- G7 Property is zoned RA, Low Density Residential, setbacks per zoning.
- G8 Total Lots = 3 Total Area = 1.61 acres / 69,920 s.f.

LINE	LENGTH	BEARING
L1	29.88	S31°20'53"W
L2	91.81	S88°08'18"W
L3	96.30	S88°08'18"W
L4	149.75	S29°36'44"W
L5	30.03	N26°45'08"W

**PRELIMINARY  
NOT FOR CONSTRUCTION,  
RECORD PURPOSES, OR  
IMPLEMENTATION**



**SURVEYOR'S CERTIFICATION**

**Certification of Category and Accuracy of Survey**

For boundary aspects of this survey, RTK GPS positional data was observed on ??-??-?? utilizing a Carlson BRx 7 GNSS Receiver. The grid coordinated of the Fixed Station(s) shown were derived using a VRS network of CORS stations referenced to NAD 83 (2011)(Epoch 2010) Geoid 18. Positional accuracy of the GPS vectors does not exceed: H 0.05, V 0.10 Combined Grid Factor: 0.9999???? centered on TN?? as shown hereon.

I hereby certify that this is a Category IV survey and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

Registered Land Surveyor H. Wade Lovin  
Tennessee License No. 2151  
Date: \_\_\_\_\_

RAYMOND E. McDONNELL, III &  
JANICE PERRY McDONNELL  
TAX MAP 066 PARCEL 087.01  
DEED INST. #202504110053486  
PLAT INST. #200710220032957  
FINAL PLAT FOR RESUBDIVISION OF  
XDR PARTNERSHIP PROPERTY, LOT 3R

3R1

MBI COMPANIES INC.  
299 N. WEISGARBER ROAD  
KNOXVILLE, TN 37919  
PHONE: (865) 584-0999  
FAX: (865) 584-5213  
WEB: mbicompanies.com



Know what's below.  
Call before you dig.  
In Tennessee call 811 or 1-800-351-1111

**OWNER:**  
Ty Calvin Herrell  
540 Mariner Point Dr  
Clinton, TN 37716

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RESUBDIVISION OF  
**LOT 4 OF THE  
 SUBDIVISION PLAT OF XDR  
 PARTNERSHIP PROPERTY**  
 CATE RD  
 KNOXVILLE, TENNESSEE

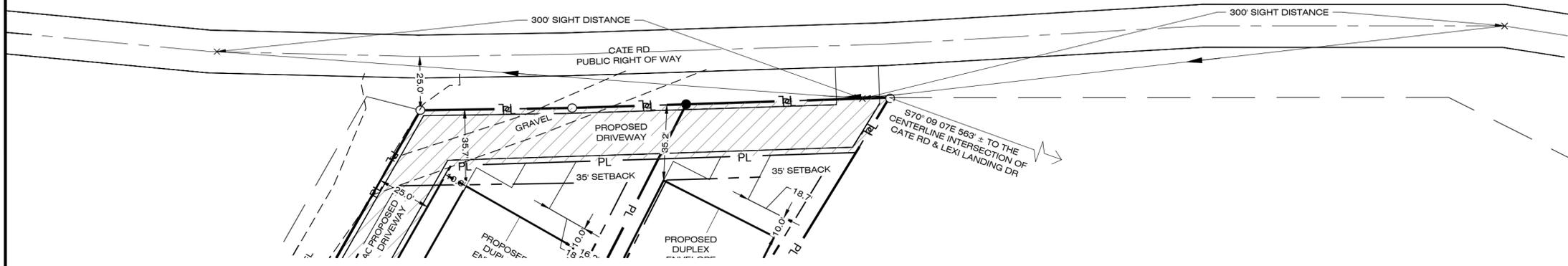
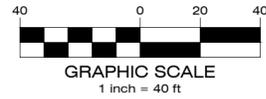
Knox County, Tn  
District: W6  
Tax Map 066 Parcel 087.04  
Deed Ref(s): Inst. # 202507310006328  
Plat Ref(s): Inst. #200307010000305

Crew Chief: B. Pate  
Drawn By: B. Myhre  
Appvd. By: W. Lovin  
Field date: 2-11-26  
Drawing date: 2-20-26  
Last Revision: 3-23-26

Scale: 1" = 40'

Job No. 261015

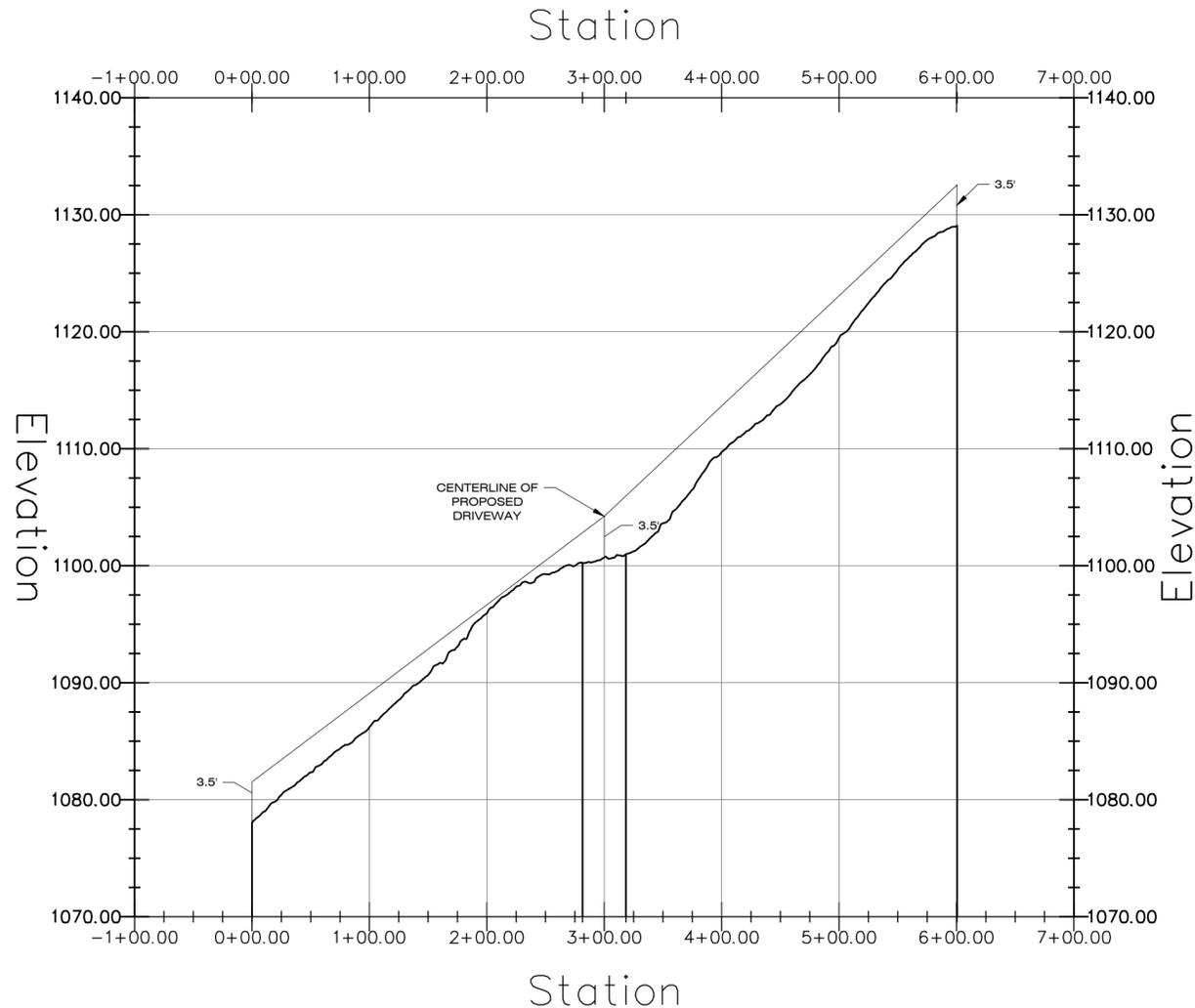
SHEET NO.:



**SIGHT DISTANCE CERTIFICATION**

I hereby certify that the sight distance in each direction at Cate Rd and Proposed Driveway is greater than 300'.

**Profile View of Cate Rd**  
**Horizontal: 1"=100'**  
**Vertical: 1"=10'**



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TN STATE GRID (NAD-83 2011)

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Registered Land Surveyor H. Wade Lovin  
 Tennessee License No. 2151  
 Date: \_\_\_\_\_

**MBI**

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PLANNING SERVICE  
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**LOT 4 OF THE  
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**CATE RD  
 KNOXVILLE, TENNESSEE**

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Scale:  
 Job No. 261015  
 SHEET NO.:

R:\Survey\2025\Projects\Knox County\251015 - Cate Rd\Working Drawings\Title Block.dwg 2/17/26



Conceptual Illustrations of Proposed Duplexes