

## SEND US PICTURES OF YOUR HOUSE !



Drummond House Plans is always looking for homes built from our plans to be used in our different publications.

Once your construction and landscape is completed, simply take a few pictures (exterior and interior) and send them via email to [photos@drummondhouseplans.com](mailto:photos@drummondhouseplans.com) or by regular mail to:

455 St-Joseph boulevard, Suite 201  
Drummondville (Quebec) Canada J2C 7B5

**Drummond House Plans** could use your pictures and in turn increase your chances of being selected, you will find below some helpful tips in creating the right setting and back drop for your house to take good quality pictures.

- Set your digital camera at the highest resolution (photo quality)
- Make sure to remove everything that could damage the photo or hide the house (car in the driveway, garbage cans, bicycles, etc...)
- Take pictures when the sun is facing the house and ideally when the sky is lightly cloudy to attenuate shadows.
- Take pictures of your house from different angles, the pictures can be surprising.

*Drummond House Plans commits to treat the photographs and information received in confidence.*



## ADDITIONAL SERVICES : MATERIALS LIST

Make sure you do not miss anything and control your costs by getting the complete list of materials for building your home. You will have in hand the exact quantities of materials needed to facilitate your shopping and order at each stage of construction.

## CUSTOM HOME DESIGN SERVICES

Whether you are looking to distinguish yourself and your home from those in your neighbourhood or you simply want for your home to completely reflect your needs and life style, **Drummond House Plans** has the skilled design team to make your custom dream home reality. We have the tools and the expertise required to create a unique custom home plan suited to your every needs, all the while respecting your budget.

## HOME RENOVATION DESIGN SERVICES

You are renovating your home to adapt it to your family's changing needs, or simply to upgrade it ? **Drummond House Plans'** professional team can design your home renovation or addition and guide you through the process in order to achieve the results you are expecting, whether it would be for the interior layout or for the exterior appearance.

## BUILDER'S PROGRAM

In order to better serve the needs of the builders' community **Drummond House Plans** has developed its own Builder's Program.

By subscribing to this unique Program, **FREE OF CHARGE**, you will have access to a wide range of plan packages and marketing tools supplied by **Drummond House Plans**. Through our 40 years of experience and knowledge of the builder's community, we have come to know and developed the support and services that will help you increase your productivity and differentiate the services you offer from your competitors.

For more information, contact us at **1 800 567-5267** or email us at : [info@drummondhouseplans.com](mailto:info@drummondhouseplans.com)

Are you planning on making **MODIFICATIONS** to your new home plan?  
Drummond House Plans can help !  
**Call us NOW! 1 800 567-5267**

Here are only a few of the many **MODIFICATIONS**  
that can be done to your new home plan.



**MODIFY THE EXTERIOR SIDING TYPE**  
Changing the exterior siding might require modifications to the thickness of your foundations and will affect the interior dimensions of your rooms.

**ADDING A BASEMENT ACCESS**  
Water and frost could damage your foundation if a basement access is not built based on good practices.

**EXTENDING YOUR HOUSE**  
To extend, it will be required to add and/or rearrange the supporting walls and beams.

**ADDING A FIREPLACE**  
The addition of a fireplace will affect your living space and the layout of the rooms.

**ADDING A GARAGE**  
You wish to add a garage ? Plan it right now by taking into account its size, its access (to the house, to the basement) and storage spaces.

**COPYRIGHT LAW**  
Your plans are protected by the Copyright law. Only Drummond House Plans is authorized to modify them, unless a license is purchased. Call for information.

**FINISHED BASEMENT**  
The openings for windows and doors must respect the building standards if you plan to have bedrooms in the basement.

Avoid any misunderstandings between you and your builder and possible costly construction errors by modifying your plan by **Drummond House Plans'** professional team of designers. If you plan on building your home differently than specified on your plan, be sure to make the changes before starting construction!

**YOUR PLAN SHOULD  
EXPRESS AND REPRESENT  
YOUR NEEDS EXACTLY !**

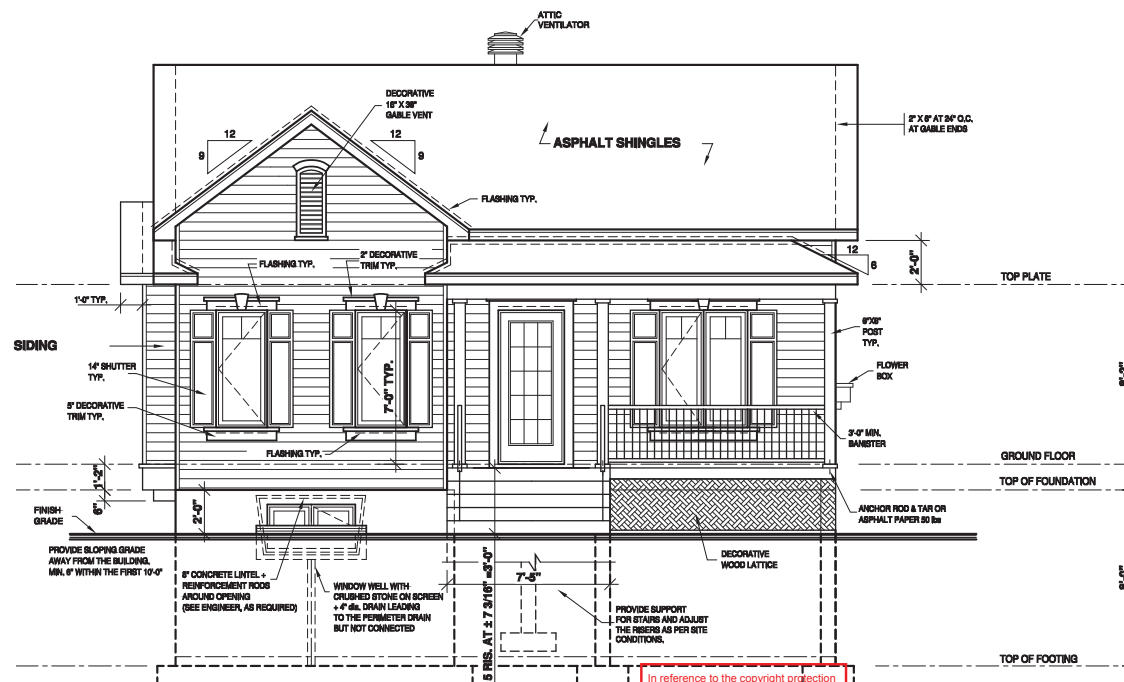


DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

1-800-567-5267

DRUMMOND  
HOUSE PLANS



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NOTES:

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YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND APPROVE SIGN TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.



CUSTOMER INFO

AMY LARSON

905 COXBORO CT  
KNOXVILLE,  
TN, US 37923-6619

(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO

NEW CONSTRUCTION  
(UNFINISHED BASEMENT)

DRAWING

FRONT ELEVATION

DESIGNED BY	D.C.	DRAWN BY	K.A.	CHECKED BY	V.ST-L.
DATE	14/03/2019	SCALE	1/4" = 1'-0"		
PLAN NO.	2171	SHEET NO.	1-10		

AREA SCHEDULE	SQ.FT.
GROUND FLOOR	1 026
SECOND FLOOR	----
BASEMENT	----
TOTAL:	1 026
OTHER	----
BONUS ROOM	----
GARAGE	----

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4-C-21-UR



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KNOXVILLE  
TN, US 37923-6619

(865)207-2705

## REVISION

NO	DATE	BY

## STAMP BY:

## PROJECT INFO

NEW CONSTRUCTION  
(UNFINISHED BASEMENT)

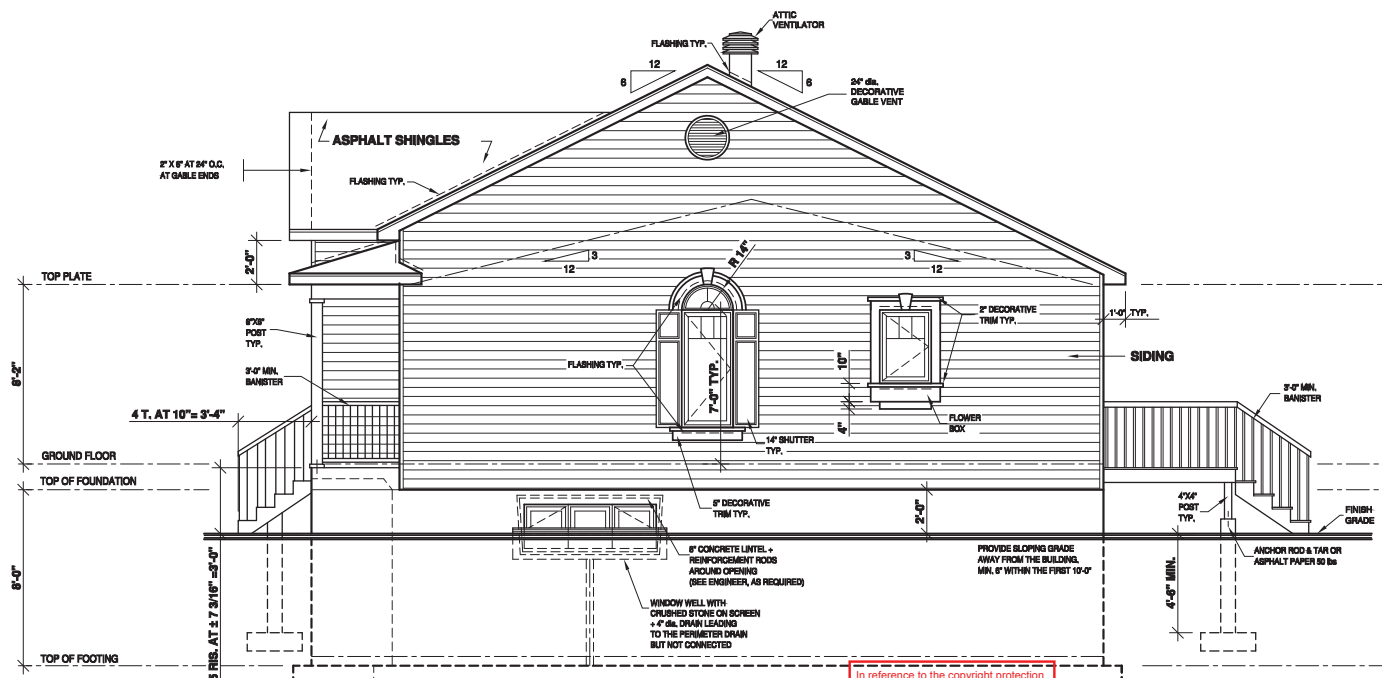
## DRAWING

RIGHT ELEVATION

DESIGNED BY	D.C.	DRAWN BY	K.A.	CHECKED BY	V.ST-L.
DATE	14/03/2019	SCALE	1/4"=1'-0"	PLAN NO.	2171
SHEET NO.	2-10				

4-C-21-UR

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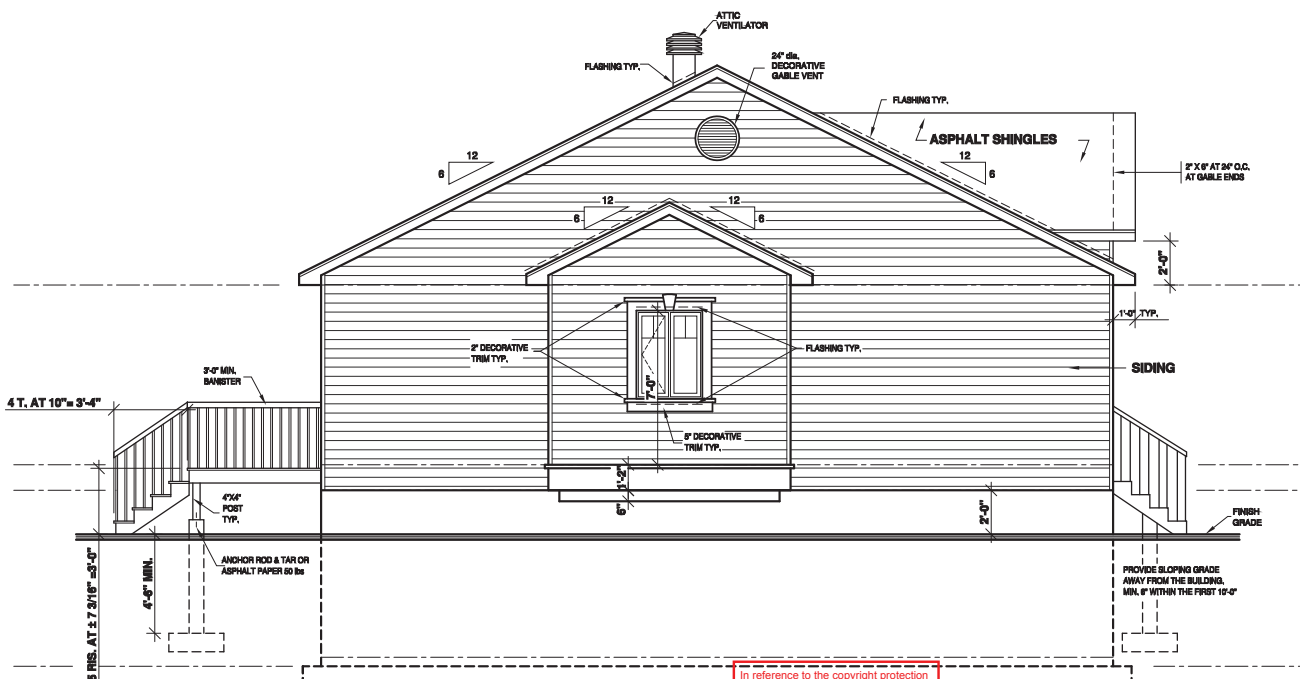
STAMP BY:

PROJECT INFO  
NEW CONSTRUCTION  
(UNFINISHED BASEMENT)

DRAWING  
LEFT ELEVATION

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 14/03/2019	SCALE 1/4"=1'-0"	
PLAN NO. 2171	SHEET NO. 3-10	

4-C-21-UR



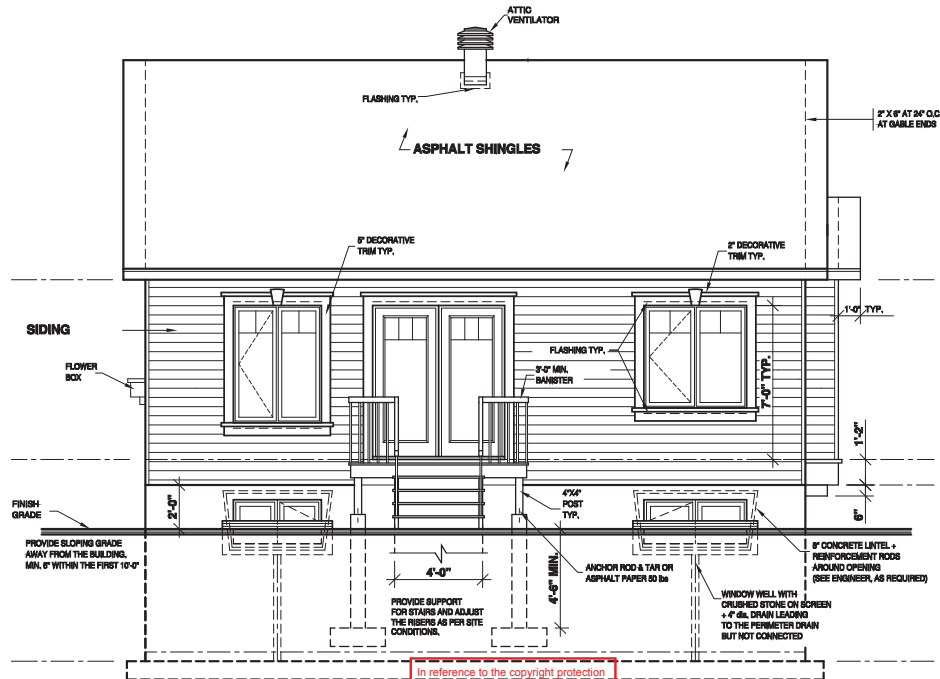
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905 COXBORO CT  
KNOXVILLE  
TN, US 37923-6619  
(865)207-2705

REVISION	NO	DATE	BY

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PROJECT INFO  
NEW CONSTRUCTION  
(UNFINISHED BASEMENT)

DRAWING  
REAR ELEVATION

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 14/03/2019	SCALE 1/4"=1'-0"	SHEET NO. 4-10
PLAN NO. 2171		



## GENERAL NOTES:

### BUILDING CONTRACTOR MUST:

- 1) VERIFY ALL DIMENSIONS BEFORE PROCEEDING.
- 2) RESPECT REQUIREMENTS OF DOCUMENTATION ATTACHED TO PLANS AND INFORM THE CLIENT OF ANY CONSEQUENCES RESULTING FROM CHANGES TO PLAN IF APPLICABLE.

THE DIMENSIONS ON THE PLAN HAVE PRIORITY ON THE DRAWING. CERTAIN DIMENSIONS MAY VARY ACCORDING TO THE MATERIAL USED AND/OR THE CONTRACTORS BUILDING METHODS. IF VARIATIONS EXIST BETWEEN THE BUILDING SITE AND PLANS, THE CONTRACTOR MUST ADVISE DRUMMOND HOUSE PLANS INC. AS SOON AS POSSIBLE.

### IMPORTANT NOTES:

THE CONCRETE USED MUST BE PRODUCED AND DELIVERED BY A FACTORY THAT HAS CERTIFICATE OF CONFORMITY.

AN APPLICATION OF WOOD PRESERVATIVE IS REQUIRED AT THE EXTREMITIES OF THE BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.

ALL EXTERIOR COATINGS MUST BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.

AS PRECAUTION, A FIREPROOF LINER SHOULD BE INSTALLED BETWEEN FIREBOX OR PREFABRICATED FIREPLACE AND COMBUSTIBLE FRAMING.

MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-6". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.

ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 2'-0".

TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PLASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PERMEABLE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" FIBERBOARD.

2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE INTERIOR FINISH.

IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.

BASEMENT WINDOWS BELOW GRADE WILL BE PROTECTED BY GALVANIZED STEEL WINDOW WELLS, AND GRAVEL-FILLED 4" DRAIN, CONNECTED TO PERIMETER DRAIN AND INSTALLED ACCORDING TO THIS PLAN.

THE WINDOW DIMENSIONS IN THIS PLAN MAY VARY DEPENDING ON THE CHOSEN MANUFACTURER. THE WINDOWS MUST COMPLY WITH THE NORTH AMERICAN STANDARD (AMA) / WMA / CSA. CATEGORY F IS THE MINIMUM CLASSIFICATION LEVEL ACCEPTED.

THE WINDOWS IN THE STAIRS, BATHROOMS AND THOSE THAT ARE SERVING AS A BANISTER MUST BE TEMPERED GLASS IN ACCORDANCE WITH THE CURRENT CODE.

IT IS RECOMMENDED TO INSTALL A CHAMBER SYSTEM FOR UNDERGROUND GAS (RADON) AT THE CENTER OF THE FLOOR ON THE SLAB IN THE GRANULAR MATERIAL TO ALLOW THE CONNECTION OF THE EVACUATION SYSTEM VENT.

ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

PROVIDE A SMOKE ALARM FOR EACH FLOOR AND ONE IN EACH BEDROOM. THE SMOKE ALARMS MUST BE CONNECTED PERMANENTLY TO AN ELECTRICAL CIRCUIT AND USE BATTERY AS A SUPPLY SOURCE. 10 MIN TEMPORARY SWITCH DEVICE SHOULD BE INSTALLED IN CASE OF FALSE ALARM.

CERAMIC TILES SURROUNDING THE BATHS WALLS AND SHOWERS MUST BE INSTALLED ON A MOISTURE RESISTANT SURFACE.

### STRUCTURAL NOTES:

FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPECIES UNLESS OTHERWISE INDICATED.

ALL LINTELS TO BE 2"x10" UNLESS OTHERWISE SPECIFIED.

ALL POSTS IN EXTERIOR WALL TO BE MIN. 3"x8" UNLESS OTHERWISE SPECIFIED.

ALL INTERIOR POSTS TO BE MIN. 3"x6" UNLESS OTHERWISE SPECIFIED.

THE TRUSS AND THE PREFABRICATED JOIST MANUFACTURER MUST VERIFY THAT ALL DIMENSIONS ARE IN COMPLIANCE WITH THE PLAN. FOLLOWING THE MANUFACTURER'S CALCULATIONS, SOME DIMENSIONS MAY REQUIRE CERTAIN ADJUSTMENTS. THE MANUFACTURER WILL BE FULLY RESPONSIBLE OF TRUSS AND FLOOR DESIGN AND WILL MAKE SURE THEY MEET THE ENGINEERING STANDARDS AND REGULATIONS.

TEMPORARY AND PERMANENT TRUSS BRACING MUST BE INSTALLED AS PER TRUSS MANUFACTURER AND CODE REGULATIONS.

THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRRESS BOARD PANEL (OSB) OR EQUIVALENT.

PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1/2" PLYWOOD, 1/2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.

IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING. THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MACON.

## STRUCTURAL LEGEND

- IN-WALL STUD POST
- REINFORCED BEAMS SUPPORTING STRUCTURE
- BEARING WALL
- ELECTRIC SMOKE ALARM + CARBON MONOXIDE DETECTOR
- TEMPORARY INTERRUPT DEVICE
- 6" IN DIA. PIPE THAT EXCEEDS THE FLOOR OF 8" TO 12". THE PIPE MUST BE WELL IDENTIFIED AND HAVE AN AIRTIGHT COVER

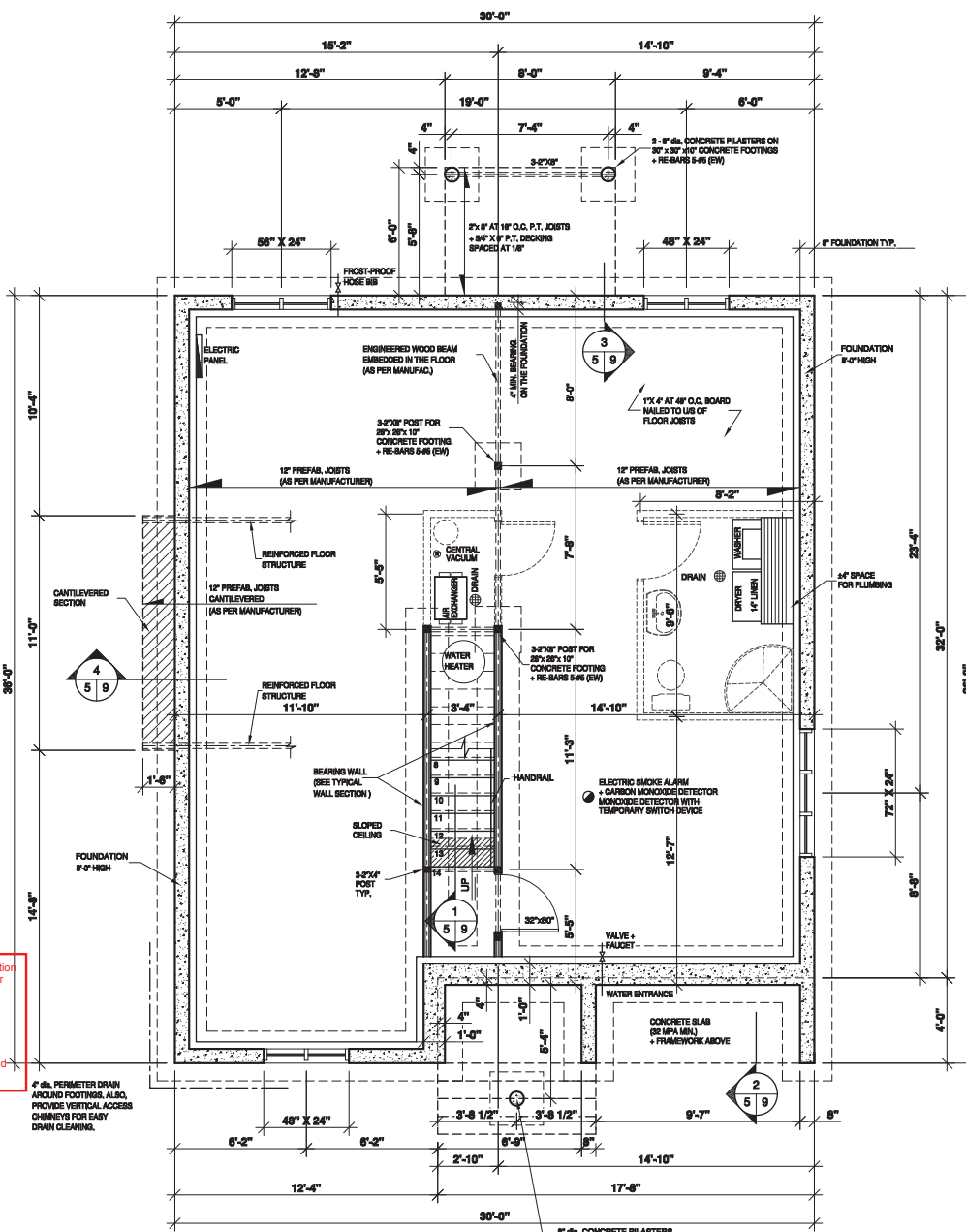
## CROSS SECTION

- ARROW INDICATING THE DIRECTION OF CUT
- SECTION NUMBER
- PAGE ON WHICH SECTION IS FOUND
- PAGE ON WHICH SECTION WAS TAKEN

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HOUSE PLANS

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CUSTOMER INFO

AMY LARSON

905 COXBORO CT  
KNOXVILLE  
TN, US 37923-6619

(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO  
NEW CONSTRUCTION  
(UNFINISHED BASEMENT)

DRAWING  
FOUNDATIONS PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 14/03/2019	SCALE 1/4"=1'-0"	
PLAN NO. 2171	SHEET NO. 5-10	

4-C-21-UR

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GENERAL NOTES:

BUILDING CONTRACTOR MUST:

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IMPORTANT NOTES:

- THE CONCRETE USED MUST BE PRODUCED AND DELIVERED BY A FACTORY THAT HAS CERTIFICATE OF CONFORMITY.
- AN APPLICATION OF WOOD PRESERVATIVE IS REQUIRED AT THE EXTREMITIES OF THE BEAMS OR ELEMENTS SUPPORTED ON MASONRY WALLS.
- ALL EXTERIOR COATINGS MUST BE INSTALLED AS PER MANUFACTURER SPECIFICATIONS.
- AS PRECAUTION, A FIREPROOF LINER SHOULD BE INSTALLED BETWEEN PREFAB OR PREFABRICATED FIREPLACE AND COMBUSTIBLE FRAMING.
- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-6". THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.
- ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 24".
- TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PLASTER AND CONCRETE ANGLES MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 12" TAR FIBERBOARD.

- 2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.

- IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.

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- ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

- PROVIDE A SMOKE ALARM FOR EACH FLOOR AND ONE IN EACH BEDROOM. THE SMOKE ALARMS MUST BE CONNECTED PERMANENTLY TO AN ELECTRICAL CIRCUIT AND USE BATTERY AS A SUPPLY SOURCE. 10 MIN TEMPORARY SWITCH DEVICE SHOULD BE INSTALLED IN CASE OF FALSE ALARM.
- CERAMIC TILES THAT SURROUND THE BATHTUB WALLS AND SHOWERS MUST BE INSTALLED ON A MOISTURE RESISTANT SURFACE.

STRUCTURAL NOTES:

- FRAMING LUMBER (BEAMS, LINTELS, JOISTS) TO BE GRADE NO 1 & 2 SPRUCE UNLESS OTHERWISE INDICATED.

- ALL LINTELS TO BE 2-2X10" UNLESS OTHERWISE SPECIFIED.

- ALL POSTS IN EXTERIOR WALL TO BE MIN. 3-2X8" UNLESS OTHERWISE SPECIFIED.

- ALL INTERIOR POSTS TO BE MIN. 3-2X4" UNLESS OTHERWISE SPECIFIED.

- THE TRUSS AND THE PREFABRICATED JOIST MANUFACTURER MUST VERIFY THAT ALL DIMENSIONS ARE IN COMPLIANCE WITH THE PLAN. FOLLOWING THE MANUFACTURER'S CALCULATIONS, SOME DIMENSIONS MAY REQUIRE CERTAIN ADJUSTMENTS. THE MANUFACTURER WILL BE FULLY RESPONSIBLE OF TRUSS AND FLOOR DESIGN AND WILL MAKE SURE THEY MEET THE ENGINEERING STANDARDS AND REGULATIONS.

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- PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 12" PLYWOOD, 1-2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.

- IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 7'-0" SPACING, THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MASON.

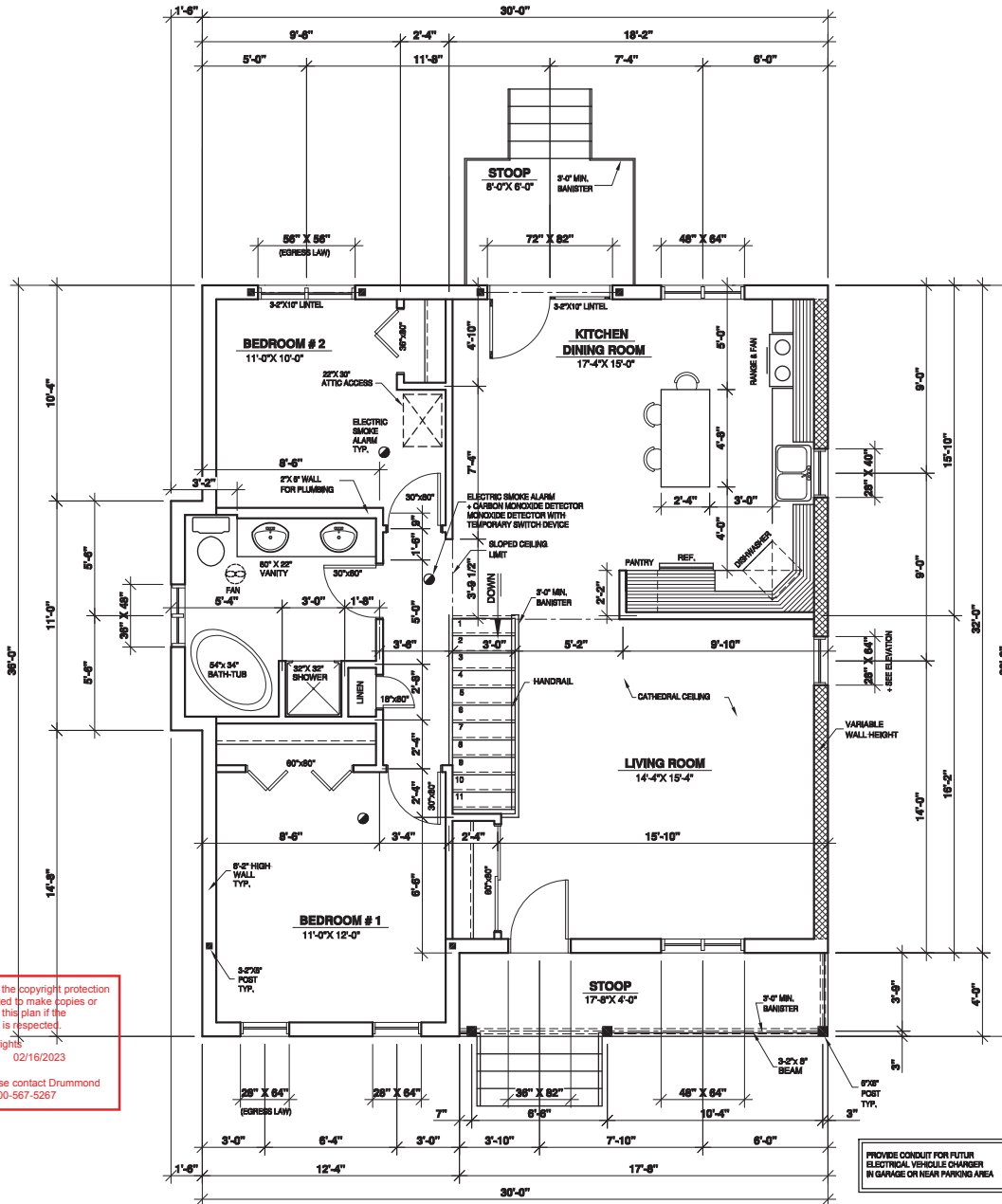
STRUCTURAL LEGEND

- IN-WALL STUD POST
- REINFORCED BEAMS SUPPORTING STRUCTURE
- BEARING WALL
- ELECTRIC SMOKE ALARM + CARBON MONOXIDE DETECTOR
- TEMPORARY INTERRUPT DEVICE
- 4" IN DIA. PIPE THAT EXCEEDS THE FLOOR OF 8" TO 12". THE PIPE MUST BE WELL IDENTIFIED AND HAVE AN AIRTIGHT COVER

CROSS SECTION

- ARROW INDICATING THE DIRECTION OF CUT
- SECTION NUMBER
- PAGE ON WHICH SECTION IS FOUND
- PAGE ON WHICH SECTION WAS TAKEN

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PROVIDE CONDUIT FOR FUTURE ELECTRICAL VEHICLE CHARGER IN GARAGE OR NEAR PARKING AREA

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CUSTOMER INFO

AMY LARSON

905 COXBORO CT  
KNOXVILLE  
TN, US 37923-6619

(865) 207-2705

REVISION

NO DATE BY

STAMP BY:

PROJECT INFO

NEW CONSTRUCTION  
(UNFINISHED BASEMENT)

DRAWING

GROUND FLOOR PLAN

DESIGNED BY

D.C.

DRAWN BY

K.A.

CHECKED BY

V.ST-L.

DATE

14/03/2019

SCALE

1/4"=1'-0"

PLAN NO.

2171

SHEET NO.

6-10

4-C-21-UR

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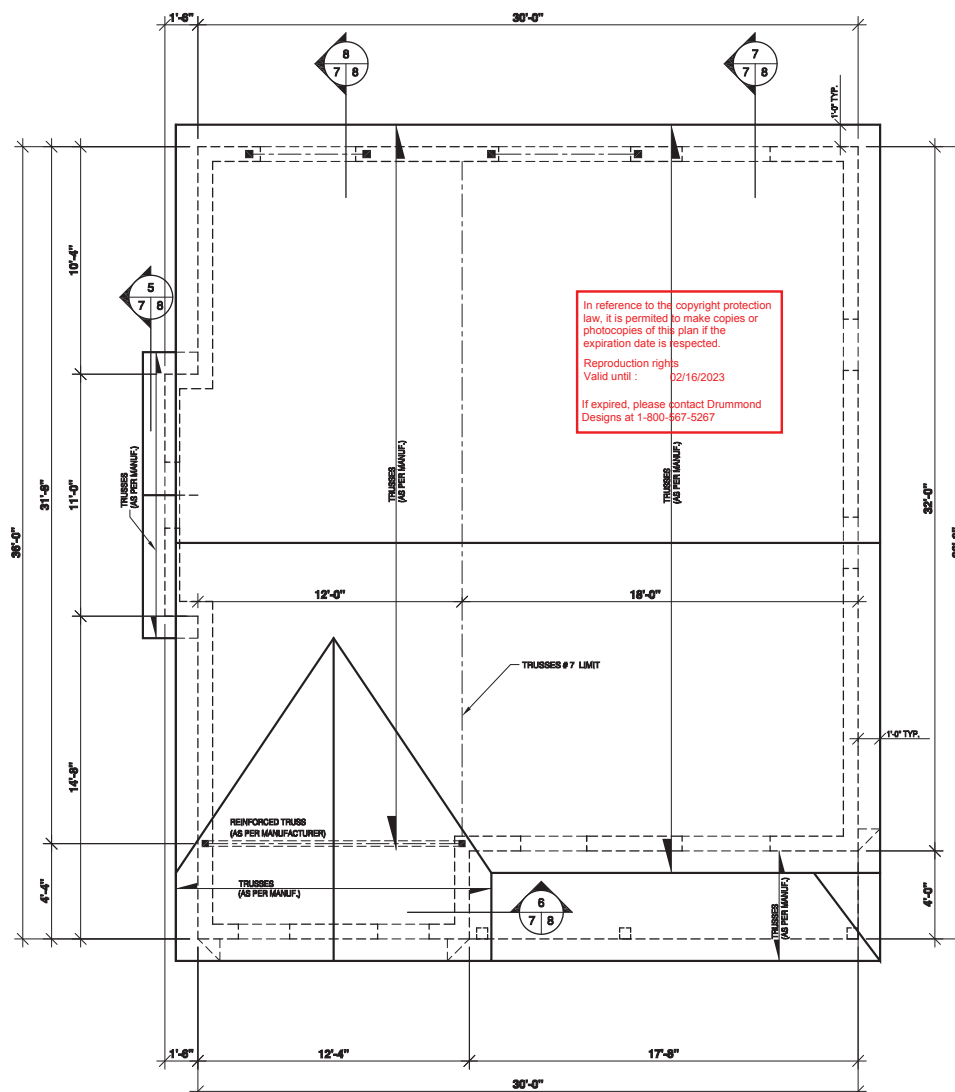
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## DRAWING

ROOF PLAN

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 14/03/2019	SCALE 1/4"=1'-0"	
PLAN NO. 2171	SHEET NO. 7-10	

4-C-21-UR



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THE TRUSS DIAGRAMS ON THIS PLAN ARE ONLY SHOW FOR SCHEMATIC PURPOSE.  
IT IS THE MANUFACTURER'S RESPONSIBILITY TO DESIGN AND CONVE  
THE TRUSSES TO MEET AND COMPLY LOCAL AND CODE REGULATION.

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AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION.  
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VARY, AND AS SUCH MAY REQUIRE CHANGES. THE BUILDING CONTRACTOR MUST  
REVIEW AND CONSULT WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL  
CURRENT INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS IN THE  
MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR  
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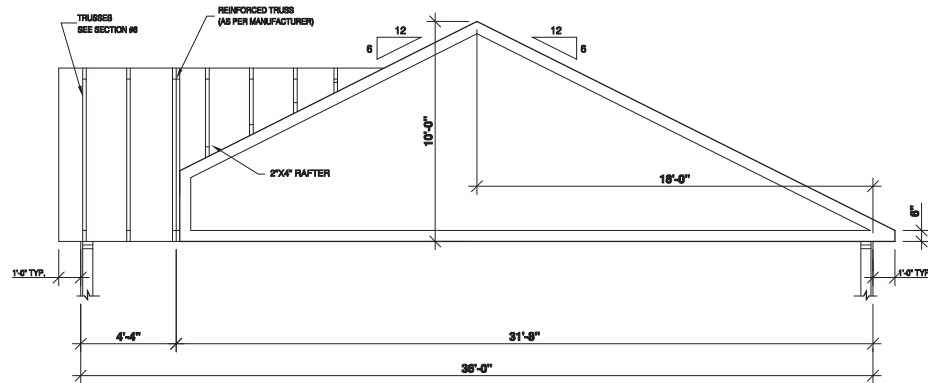
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NEW CONSTRUCTION  
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DRAWING  
TRUSS DIAGRAM

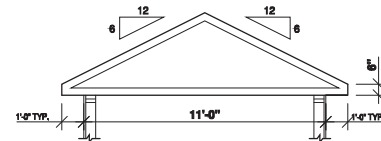
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DATE 14/03/2019	SCALE 1/4"=1'-0"	PLAN NO. 2171
SHEET NO. 8-10		

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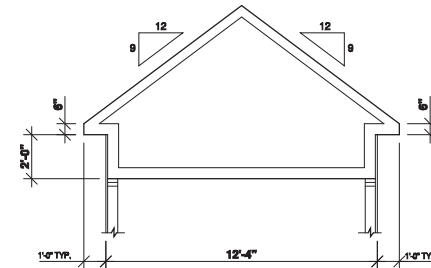
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6 SECTION



5 SECTION

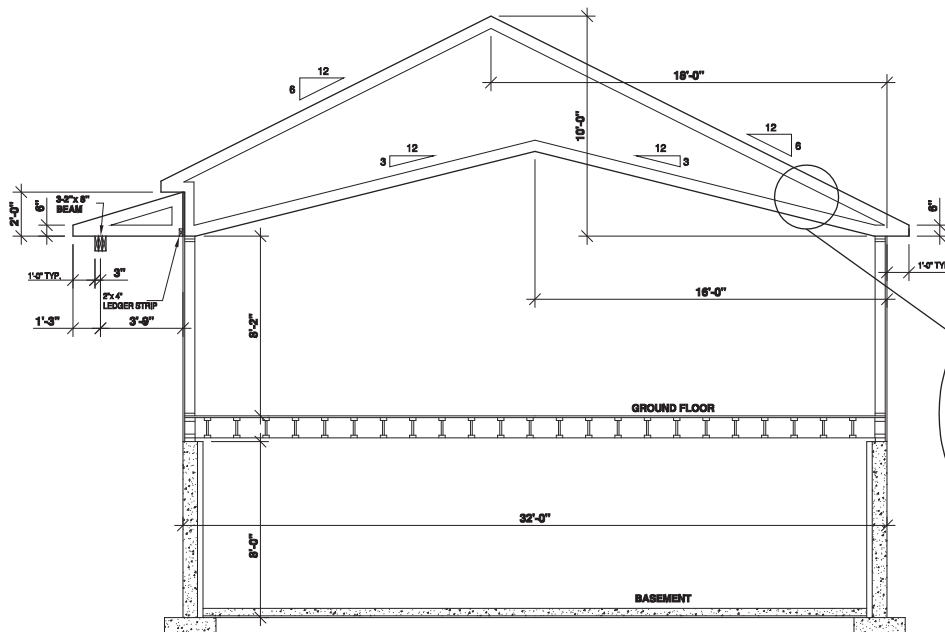
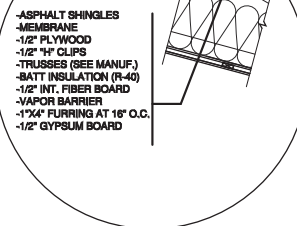


8 SECTION

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7 SECTION



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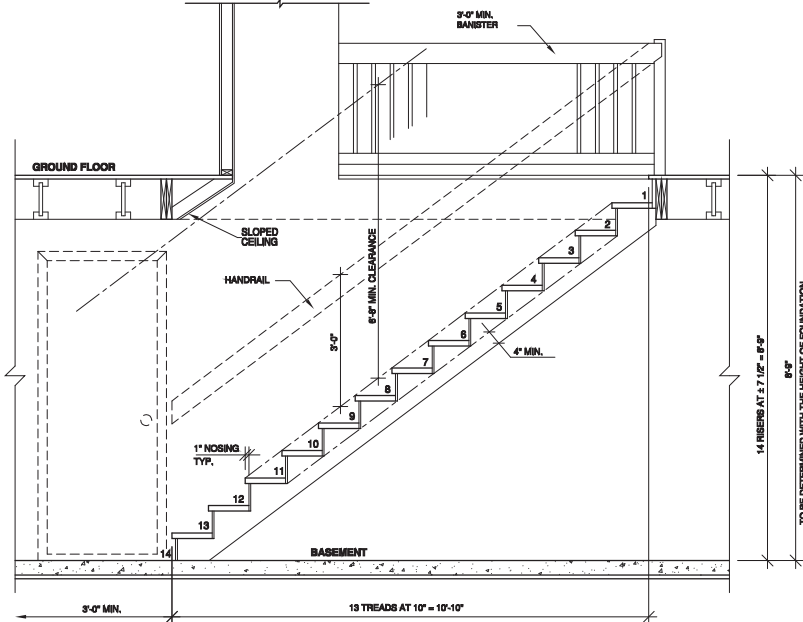
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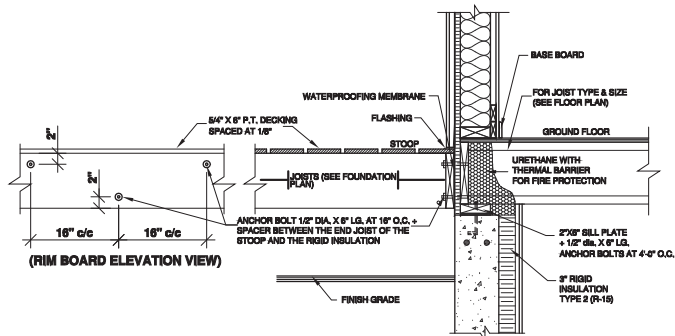
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SECTIONS and DETAILS

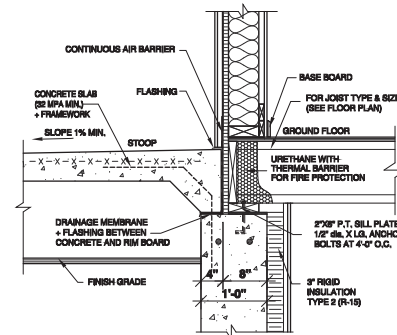
DESIGNED BY	D.C.	DRAWN BY	K.A.	CHECKED BY	V.ST-L.
DATE	14/03/2019	SCALE	AS SHOWN		
PLAN NO.	2171	SHEET NO.	9-10		



1 SECTION  
SCALE: 1/2" = 1'-0"

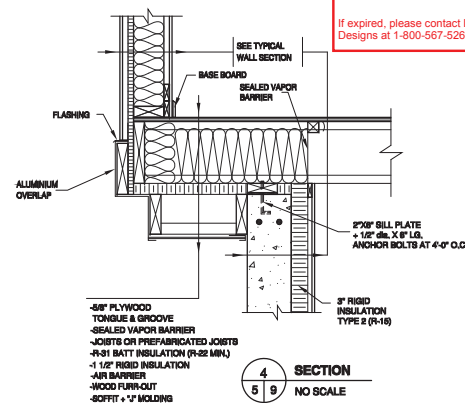


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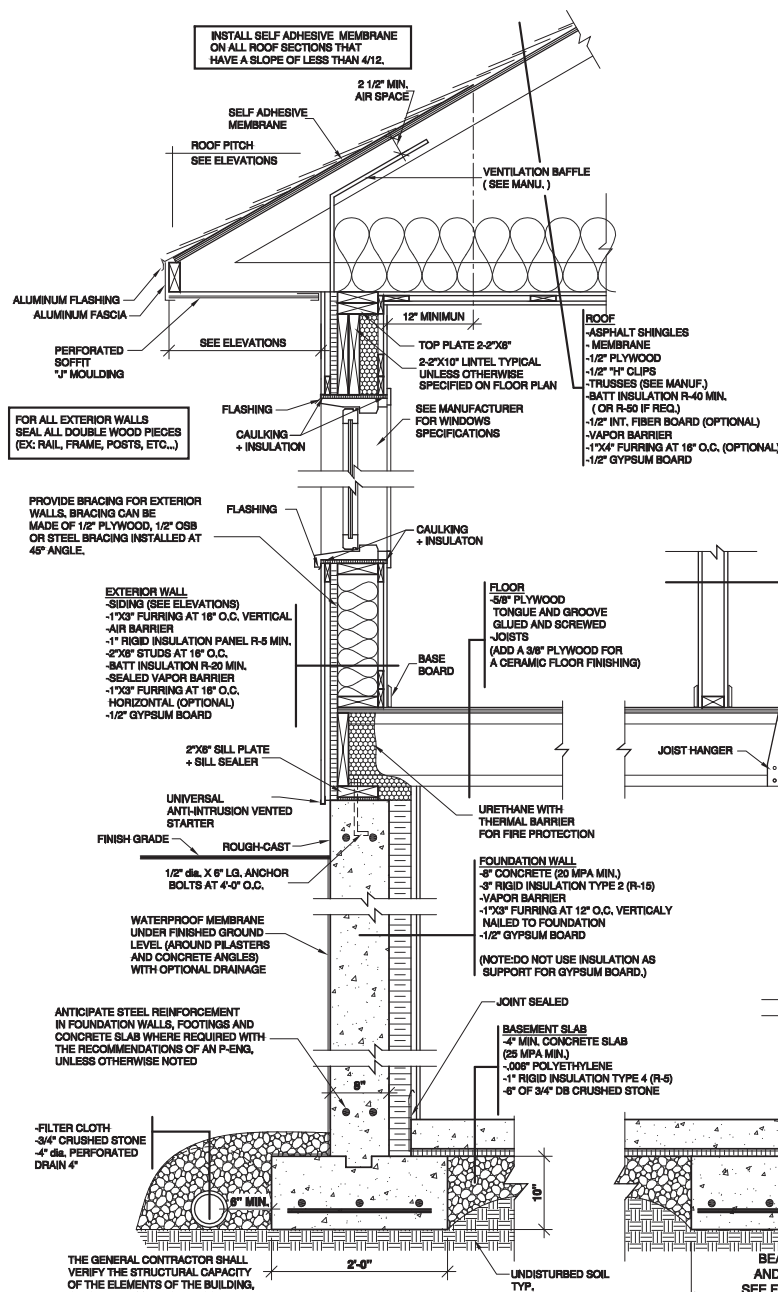
2 SECTION  
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4 SECTION  
NO SCALE





# GROUND LOAD CAPACITY

A GROUND LOAD CAPACITY TEST IS STRONGLY SUGGESTED

## FOOTING DIMENSION

2000 lbs/sq.ft ASSUMED GROUND LOAD CAPACITY. FOR LESSER CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS, AS PER LOCAL CODE REQUIREMENTS AND/OR ENGINEER RECOMMENDATIONS.

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### TYPICAL WALL SECTION

DESIGNED BY D.C.	DRAWN BY K.A.	CHECKED BY V.ST-L.
DATE 14/03/2019	SCALE 1"=1'-0"	
PLAN NO. 2171	SHEET NO. 10-10	



### Building Materials List for Plan # 1200-5

~ Local building code approved substitutions may be made to this list ~

Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

#### Rough Framing

2 x 4 x 103 -1/2" HF/DF "stud" wall framing	148 pcs.
2 x 4 x 10" HF/DF "stud" wall framing	10 pcs.
2 x 4 HF/DF horizontal wall blocking	96 lf
2 x 4 HF/DF No. 2 for plates	322 lf
2 x 4 HF/DF No. 2 for lookouts	48 lf
2 x 4 HF/DF No. 2 pressure-treated bottom plate	149 lf
3-1/2 x 9-1/4 header 2950Fb 2.0E	3 pcs.
2 x 6 DF No. 1 Header	10' length 4 pcs.
2 x 6 DF No. 1 Header	8' length 2 pc.
2 x 4 x 22-1/2" Eave Blocking with screened vent holes	40 pcs.
Trusses: 4 : 12 30' span incl. (2) end trusses	21 pcs.

#### Sheathing Materials

7/16" o.s.b. wall sheathing	4 x 8 sheet 46 sheets
15/32" C-D APA Plywood, ext. glue P.I. 24/0 Roof	4 x 8 sheet 50 sheets

#### Vapor Barrier

Roof 15# bituminous felt paper in 36" wide roll	500 lf
Wall 7# bituminous felt paper in 40" wide roll	420 lf
Floor .006" black polyethylene membrane	1200 sf

#### Siding Materials

8" textured o.s.b.siding boards with 1" lap	1156 sf siding area
(alt.) 7/16" o.s.b. text. (or 5/8" T1-11 plywd) panel	4 x 9 sheet 47 sheets
Trim: 5/4 x 4 (for opt. siding, use 1x thk. trims)	8' length 17 pcs.
Trim: 5/4 x 4	9' length 4 pcs.
Trim: 5/4 x 4	10' length 3 pcs.
Trim: 5/4 x 3	9' length 4 pcs.
Fascia: 1 x 6	84 lf
Rakeboard: 2 x 6	18' length 4 pcs.

#### Roofing Materials

Composition Roofing Shingles	1461sf roofing area
------------------------------	---------------------

Ridgevent material	40 lf
--------------------	-------

#### Window and Door Assemblies

4030 sliding window(s)	4 ea.
3068 exterior door	2 ea.
9' x 8' sectional garage door	2 ea.

#### Metal Parts & Misc.

Anchor bolts: 1/2" dia. x 10" ASTM A-307	26 pcs.
Anchor bolts: 1/2" dia. x 8" ASTM A-307	4 pcs.
Flat washer: 2" x 2" square x 3/16" thick	30 pcs.
Simpson H1 clips (or equal)	38 pcs.
Simpson A35 connectors	4 pcs.
Simpson STHD10 hold-down straps (or equal)	2 pcs.
16d sinker nails	50 lbs.
8d common nails @ 145 nails / lb.	50 lbs.
Drip flashing for window/door heads	46 lf

~ To advise corrections, call 1-800-210-6776 Thank you.~.

(NOTE: ELECTRICAL & MECHANICAL NOT INCLUDED IN THIS LIST)

GRADE-TO-RIDGE HEIGHT: 15' - 2"

GROSS FLOOR AREA: 1200 SQ. FT.



1200-5  
30' x 40'

#### Building Code Compliance

This planset was prepared to comply with the 2015 International Residential Code (IRC)

#### Parameters For Design

Wind Speed: 115 mph ultimate

Wind Exposure: C

Seismic Category: C

Snow Load: 30#/sq. ft.

#### Building Data

Occupancy: "U"

Construction Type: "V"

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www.behmdesign.com

QUESTIONS?  
CALL  
1-800-210-6776

1200-5

PLAN NO.

DESIGN  
✓

DRAWN  
✓

DATE  
04/19

SHEET CONTENTS  
PROJECT ILLUSTRATION  
PROJECT DATA  
BUILDING MATERIALS LIST

SHEET

1

OF 9

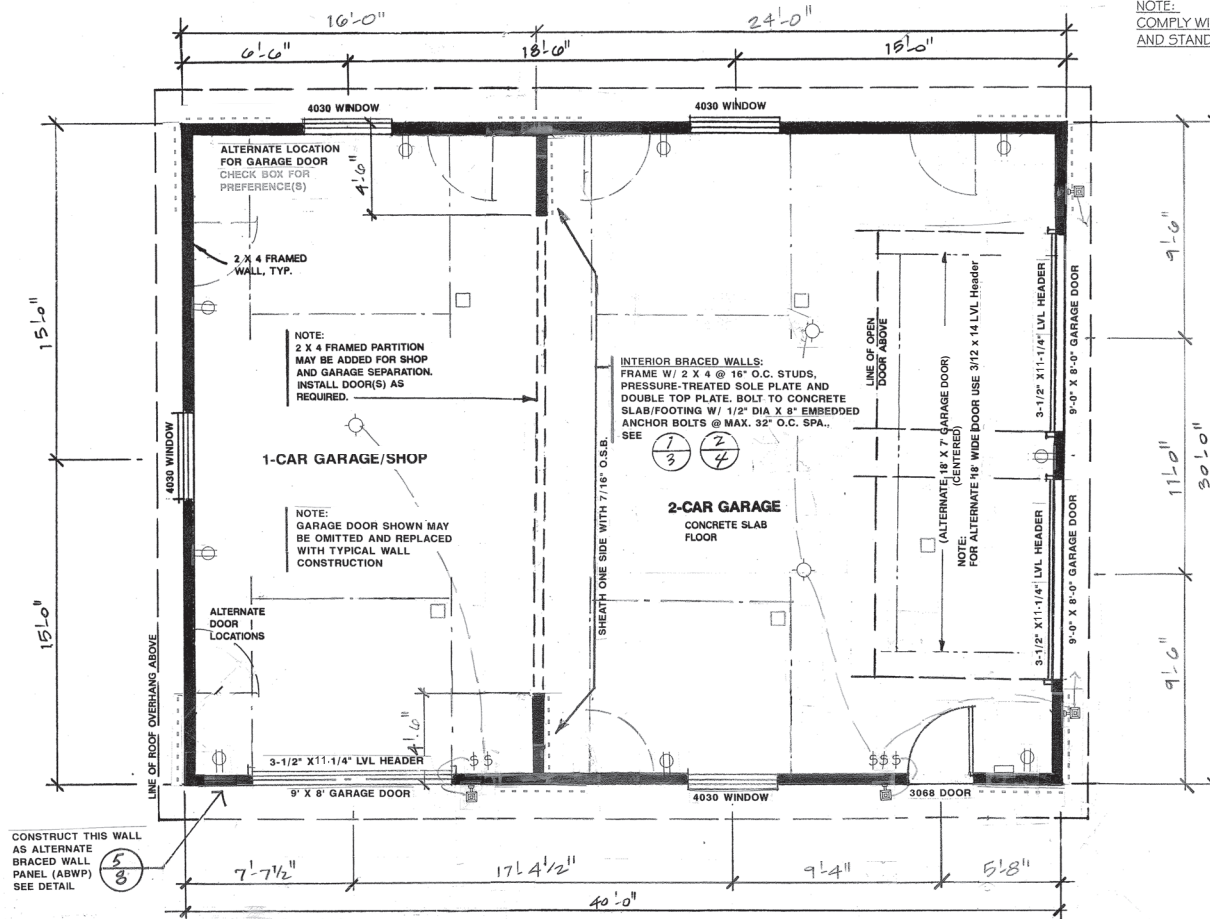
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# LEGEND

- ⌘ SWITCH LOCATION
- ⊙ CEILING MOUNTED LIGHT FIXTURE
- ⊕ 110 VOLT DUPLEX OUTLET
- ⌘ EXTERIOR WALL-MTD. LIGHT FIXTURE
- ⌘ ELECTRIC PANEL OR SUB-PANEL  
LOCATE & INSTALL PER LOCAL CODES
- ⊕ 110 VOLT DUPLEX OUTLET (EXTERIOR)

NOTE:  
COMPLY WITH LOCAL ELECTRICAL CODES  
AND STANDARDS AS APPLICABLE



BRACED WALLS AS PER IRC R602.10, AS APPLICABLE FOR LOCAL CODES

(SHOWN: ..... ) METHOD: CS-WSP  
EXTERIOR BRACED WALLS (MIN. 48") NAIL SIDING PANELS OR SHEATHING @ 6" o.c., EDGES AND @ 12" o.c., FIELD AND BUCK AT HORIZ. PANEL JOINTS. PROVIDE ALTERNATE BRACED WALL PANELS AS INDICATED.

SEE EXTERIOR ELEVATIONS FOR WINDOW SIZES AND FUNCTION  
WINDOW AND DOOR HEADERS SHALL BE 2-2 X 6 HF2, UNLESS OTHERWISE NOTED  
WINDOWS OPTIONAL

## FLOOR PLAN SCALE: 1/4" = 1'-0"

NOTE:  
FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING OR CENTERLINE OF BEARING, TYP. AS SHOWN.





**Behm  
Design**

1200-5

PLAN NO.

DESIGN

## DESIGN

## DESIGN

## SHEET CONTENTS

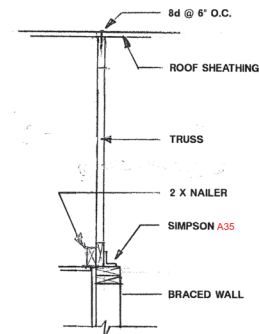
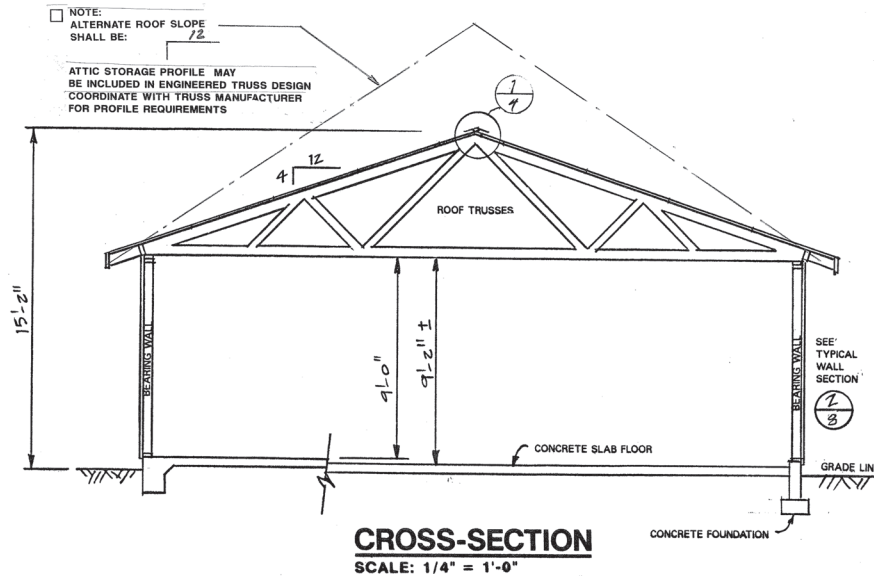
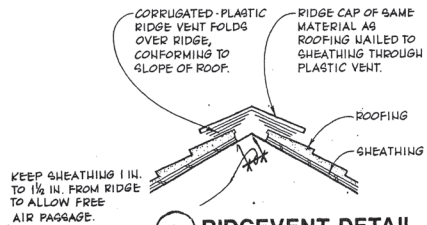
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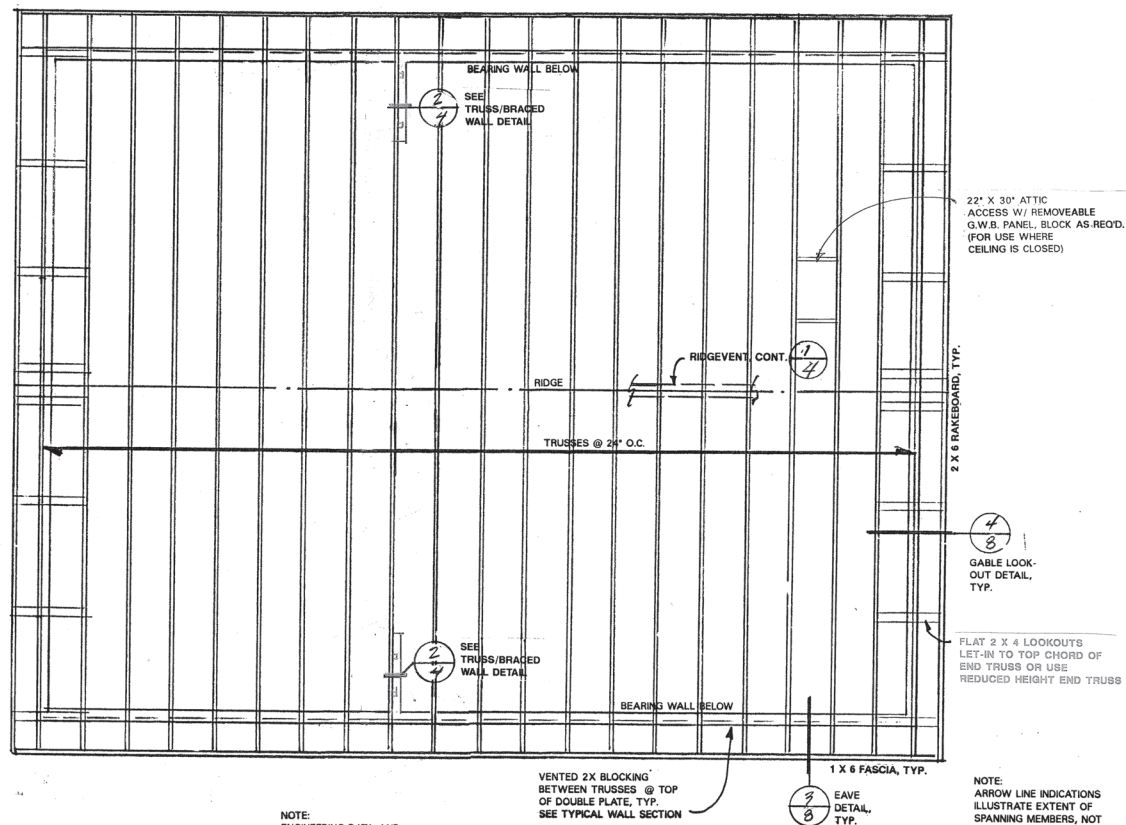
OF 9

4-C-21-UR





NOTE: CROSS-SECTIONS ILLUSTRATE GENERAL STRUCTURE OF BUILDING. FOR DETAILS SEE TYPICAL WALL SECTION AND RESPECTIVE FRAMING PLANS.



NOTE: ARROW LINE INDICATIONS ILLUSTRATE EXTENT OF SPANNING MEMBERS, NOT DIRECTION OF SPAN FOR ROOF SLOPES, SEE EXTERIOR ELEVATIONS

4-C-21-UR

		PLAN NO. 1200-5
DESIGN 	DRAWN 	DATE
SHEET CONTENTS ROOF FRAMING PLAN CROSS-SECTION		
SHEET 4 OF 7		

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1200-5

PLAN NO.

DESIGN	DRAWN	DATE
✓	✓	

SHEET CONTENTS  
FRONT ELEVATION  
RIGHT SIDE ELEVATION  
LEFT SIDE ELEVATION

SHEET

5

OF 9

4-C-21-UR

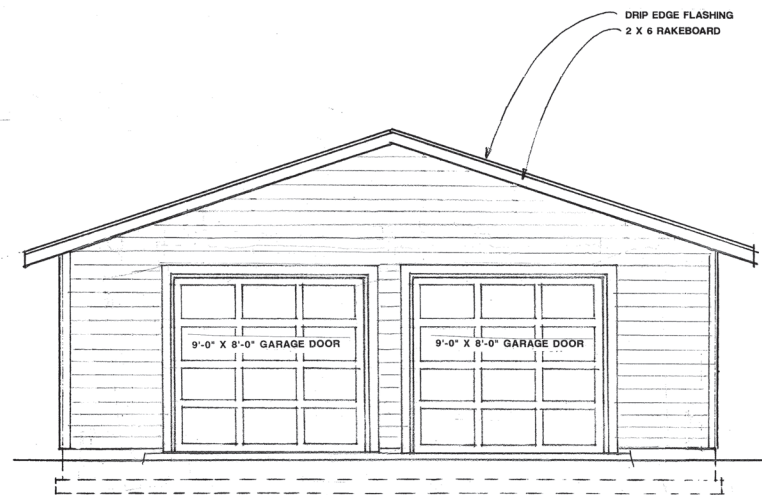


**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

NOTE:  
WINDOW SIZES INDICATED ARE  
NOMINAL FEET-INCHES WIDTH  
X FEET-INCHES HEIGHT, USE  
AVAILABLE PRODUCTS'  
NEAREST DIMENSIONS, TYP.

NOTE:  
FOR WINDOW AND DOOR  
LOCATIONS SEE FLOOR  
PLANS FOR CENTERLINE  
DIMENSIONS

NOTE:  
ALL EXTERIOR DOORS SHALL BE  
WEATHERSTRIPPED PER  
APPLICABLE LOCAL CODES  
FLASH ABOVE DOORS AND WINDOWS

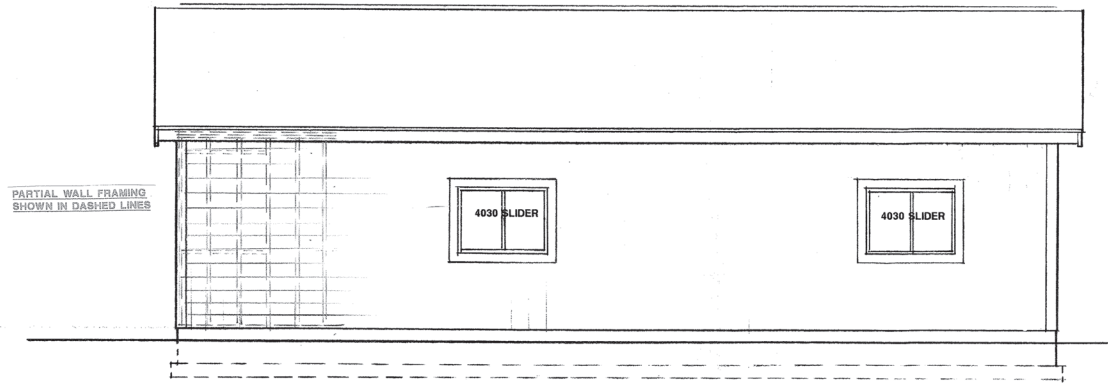


**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

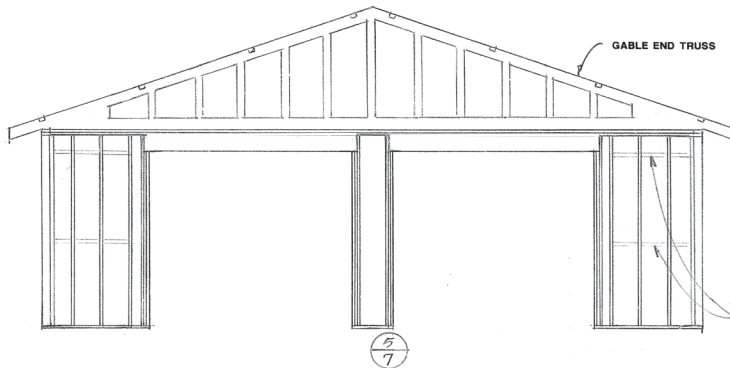


**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"





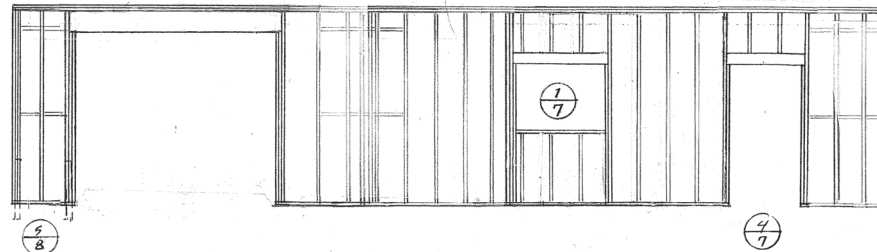
**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT WALL FRAMING ELEVATION**

NOTE:  
WHERE MONOLITHIC SLAB/FOOTING IS USED, THE SINGLE TOP PLATE SHALL  
BE CONTINUED OVER THE GARAGE DOOR HEADER.  
THIS WILL ALLOW VERTICAL CLEARANCE REQUIRED FOR GARAGE DOOR HEIGHT.  
✓ VERIFY AS FRAMED OPENING DIMENSIONS BEFORE ORDERING GARAGE DOORS.

NOTE:  
PROVIDE SOLID 2X BLOCKING  
BETWEEN STUDS @ HORIZ.  
PANEL JOINTS OF BRACED  
WALLS AS LOCATED ON FLOOR PLAN



**LEFT SIDE WALL FRAMING ELEVATION**

PLAN NO.

1200-5

DESIGN

RAWN

DATE

SHEET CONTENTS  
REAR WALL ELEVATION  
FRONT WALL FRAMING  
ELEVATION  
LEFT SIDE WALL  
FRAMING ELEVATION

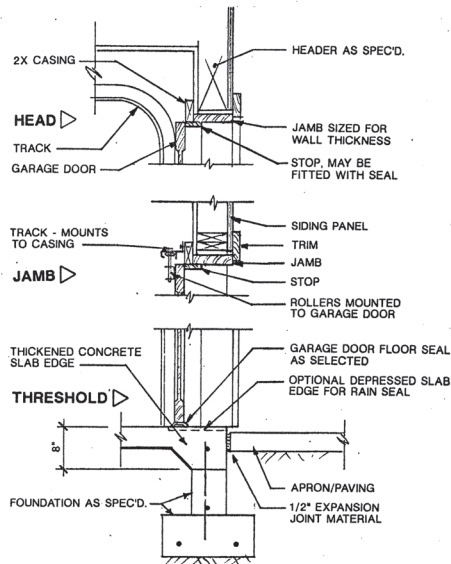
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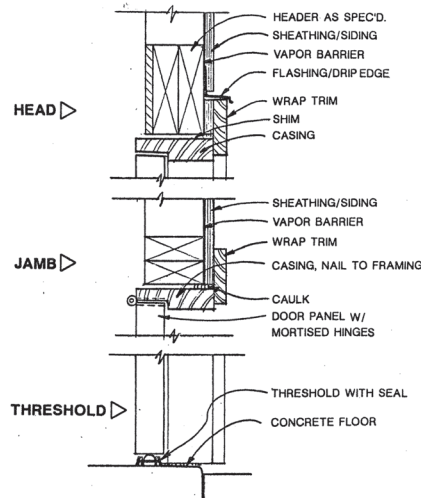
OF 9

4-C-21-UR

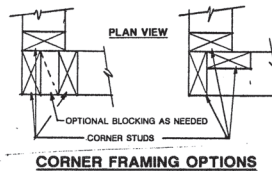




**6 GARAGE DOOR DETAIL**  
3/4" = 1'-0"

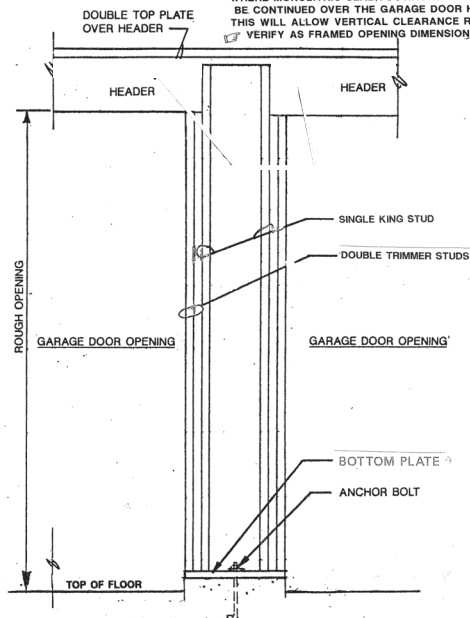


**3 DOOR DETAIL**

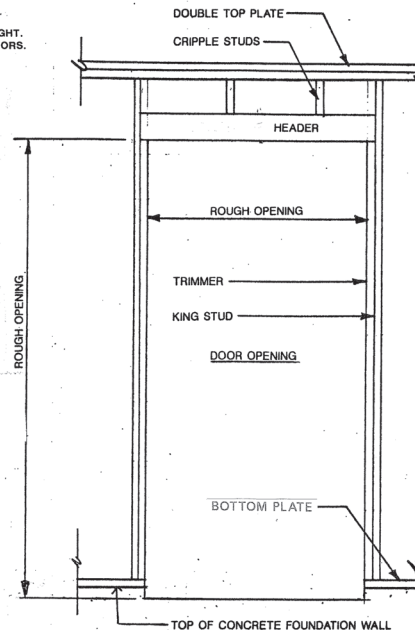


NOTE: DOOR AND WINDOW COMPONENTS SHOWN ARE GENERIC AND ACTUAL PRODUCTS MAY VARY SLIGHTLY IN CONFIGURATION.

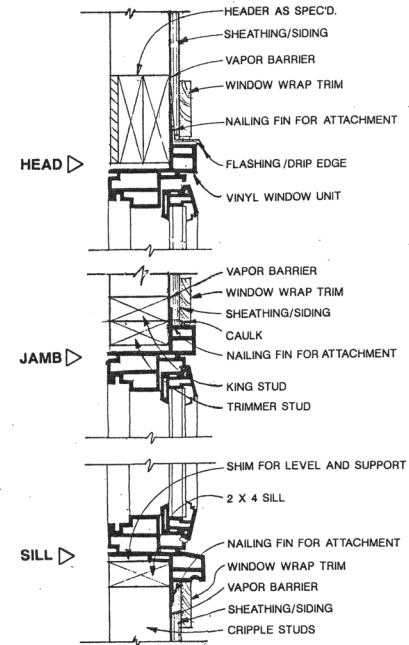
NOTE: WHERE MONOLITHIC SLAB/FOOTING IS USED, THE SINGLE TOP PLATE SHALL BE CONTINUED OVER THE GARAGE DOOR HEADER. THIS WILL ALLOW VERTICAL CLEARANCE REQUIRED FOR GARAGE DOOR HEIGHT. VERIFY AS FRAMED OPENING DIMENSIONS BEFORE ORDERING GARAGE DOORS.



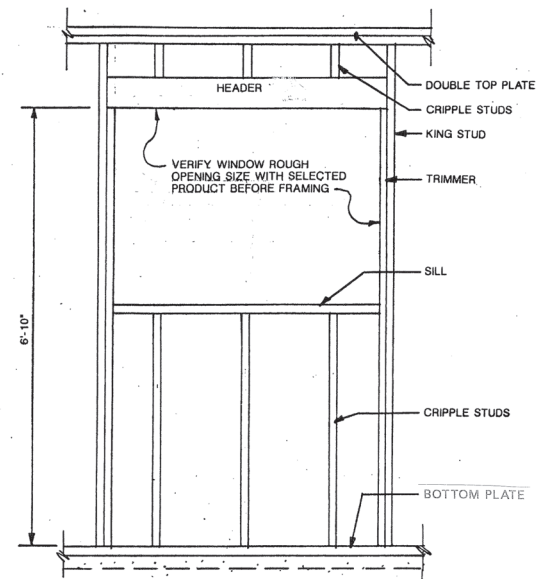
**5 GARAGE DOOR SEPARATOR FRAMING DETAIL**



**4 DOOR FRAMING DETAIL**



**2 VINYL WINDOW DETAIL**



**1 WINDOW FRAMING DETAIL**



## 4-0-21-01K



# - FASTENING REQUIREMENTS -

MINIMUM NAIL	MINIMUM WOOD STRUCTURAL PANEL, GRADE RATING	MINIMUM WALL STUD THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph)			
Size	Penetration (inches)			Edges (inches o.c.)	Field (inches o.c.)	B	C	D	
6d Common (2.0" x 0.113")	1.5	2/4	3/8	16	6	12	110	90	85
8d Common (2.5" x 0.131")	1.75	2/4	7/16	16	6	12	130	110	105

For S<sub>1</sub>: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.

a. Panel strength axis perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.

b. Table is based on wind pressures acting toward and away from building surfaces per Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.

c. Wood Structural Panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 oc or 24 oc shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 oc shall be used with studs spaced a maximum of 16 inches on center.

THICKNESS (inch)	GRADE	STUD SPACING (inches)	
		When siding is nailed to studs	When siding is nailed to sheathing
1/2	M—1 Exterior gable	16	—
1/2	M—2 Exterior gable	16	16

For S<sub>1</sub>: 1 inch = 25.4 mm.

a. Wall sheathing not exposed to the weather. If the panels are applied horizontally, the end joints of the panel shall be offset so that four panels cornered will not meet at a single corner.

All panel edges must be supported. Lanes a 1/4-inch gap between panels and nail no closer than 1/4 inch from panel ends.

THICKNESS (inches)	GRADE	STUD SPACING (inches)	When siding is nailed to studs	When siding is nailed to sheathing
1/2	M-1 Exterior glue	16	—	—
1/2	M-2 Exterior glue	16	—	—

For S<sub>1</sub>: 1 inch = 25.4 mm.

a. Wall sheathing not exposed to the weather. If the panels are applied horizontally, the end joints of the panel shall be offset so that four panels corners will not meet. All panel edges must be supported. Leave a 1/8-inch gap between panels and nail no closer than 1/8 inch from panel edges.

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER <sup>a,c</sup>	SPACING OF FASTENERS
<b>Roof</b>			
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 1/2" x 0.113")	—
2	Ceiling joists to plate, toe nail	3-8d (2 1/2" x 0.113")	—
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	—
4	Collar tie rafter, face nail or 1 1/2" x 20 gauge ridge strap	3-10d (3" x 0.128")	—
5	Rafter to plate, toe nail	2-16d (3 1/2" x 0.135")	—
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d (3 1/2" x 0.135") 5-16d (3 1/2" x 0.135")	—
<b>Wall</b>			
7	Built-up corner studs	10d (3" x 0.128")	24" o.c.
8	Build-up header, two pieces with 1/4" spacer	16d (3 1/2" x 0.135")	16" o.c. along each edge
9	Continued header, two pieces	16d (3 1/2" x 0.135")	16" o.c. along each edge
10	Continuous header to stud, toe nail	4-8d (2 1/2" x 0.113")	—
11	Double studs, face nail	10d (3" x 0.128")	24" o.c.
12	Double top plates, face nail	10d (3" x 0.128")	24" o.c.
13	Double top plates, minimum 48-inch offset of end joints, face nail in lapped area	8-16d (3 1/2" x 0.135")	—
14	Sole plate to joist or blocking, face nail	16d (3 1/2" x 0.135")	16" o.c.
15	Sole plate to joist or blocking at braced wall panels	3-16d (3 1/2" x 0.135")	16" o.c.
16	Stud to sole plate, toe nail	3-8d (2 1/2" x 0.113") or 2-16d (3 1/2" x 0.135")	—
17	Top or sole plate to stud, end nail	2-16d (3 1/2" x 0.135")	—
18	Top plates, laps at corners and intersections, face nail	2-10d (3" x 0.128")	—
19	1" brace to each stud and plate, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/2"	—
20	1" x 6" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/2"	—
21	1" x 8" sheathing to each bearing, face nail	2-8d (2 1/2" x 0.113") 3 staples 1 1/2"	—
22	Wider than 1" x 8" sheathing to each bearing, face nail	3-8d (2 1/2" x 0.113") 4 staples 1 1/2"	—
<b>Floor</b>			
23	Joist to sill or girder, toe nail	3-8d (2 1/2" x 0.113")	—
24	1" x 6" subfloor or less to each joist, face nail	2-8d (2 1/2" x 0.113") 2 staples 1 1/2"	—
25	2" subfloor to joist or girder, blind and face nail	2-16d (3 1/2" x 0.135")	—
26	Rim joist to top plate, toe nail (roof applications also)	8d (2 1/2" x 0.113")	6" o.c.
27	2" planks (plank & beam - floor & roof)	2-16d (3 1/2" x 0.135")	at each bearing
28	Built-up girders and beams, 2-inch lumber layers	10d (3" x 0.128")	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
29	Ledger strip supporting joists or rafters	3-16d (3 1/2" x 0.135")	At each joist or rafter

ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER <sup>a,c</sup>	Edges (inches)	Intermediate supports <sup>b</sup> (inches)
<b>Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing</b>				
30	1/4" - 1/2"	6d common (2" x 0.113") nail (subfloor wall) 8d common (2 1/2" x 0.131") nail (roof)	6	12
31	1/2" - 1/2"	6d common (2" x 0.113") nail (subfloor wall) 8d common (2 1/2" x 0.131") nail (roof)	6	12
32	1/2" - 1"	8d common nail (2 1/2" x 0.131")	6	12
33	1 1/4" - 1 1/4"	10d common (3" x 0.148") nail or 8d (2 1/2" x 0.131") deformed nail	6	12
<b>Other wall sheathing<sup>d</sup></b>				
34	1/2" structural cellulose fiberboard sheathing	1/2" galvanized roofing nail, 1/4" crowns or 1" crown staple 16 ga., 1 1/2" long	3	6
35	3/8" structural cellulose fiberboard sheathing	3/8" galvanized roofing nail, 1/4" crowns or 1" crown staple 16 ga., 1 1/2" long	3	6
36	1/2" gypsum sheathing <sup>d</sup>	1 1/2" galvanized roofing nail: staple galvanized, 1 1/2" long; 1 1/4" screws, Type W or S	7	7
37	3/4" gypsum sheathing <sup>d</sup>	1 3/4" galvanized roofing nail: staple galvanized, 1 3/4" long; 1 3/8" screws, Type W or S	7	7
<b>Wood structural panels, combination subfloor underlayment to framing</b>				
38	1/4" and less	6d deformed (2" x 0.120") nail or 8d common (2 1/2" x 0.131") nail	6	12
39	1/4" - 1"	8d common (2 1/2" x 0.131") nail or 8d deformed (2 1/2" x 0.120") nail	6	12
40	1 1/4" - 1 1/4"	10d common (3" x 0.148") nail or 8d deformed (2 1/2" x 0.120") nail	6	12

For S<sub>1</sub>: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1 ksi = 6.895 MPa.

a. All nails are smooth-shank, hot or deformed shank except where otherwise noted. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.

b. Staples are 16 gauge wide and have a minimum 1/4 inch on diameter crown width.

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

f. For regions having basic wind speed of 110 mph or greater, 8d deformed (2 1/2" x 0.120) nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.

g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.

h. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.

TABLE R602.3(2) ALTERNATE ATTACHMENTS			
NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION <sup>a,b</sup> OF FASTENER AND LENGTH (inches)	Edges (inches)	Intermediate supports (inches)
<b>Wood structural panels subfloor, roof and wall sheathing to framing and particleboard wall sheathing to framing<sup>d</sup></b>			
up to 1/2	Staple 15 ga. 1 1/4"	4	8
	0.097 - 0.099 Nail 2 1/4"	3	6
	Staple 16 ga. 1 1/4"	3	6
	0.113 Nail 2"	3	6
1/2 and 3/8	Staple 15 and 16 ga. 2"	4	8
	0.097 - 0.099 Nail 2 1/4"	4	8
	Staple 14 ga. 2"	4	8
	Staple 15 ga. 1 1/4"	3	6
3/8 and 3/4	0.097 - 0.099 Nail 2 1/4"	4	8
	Staple 16 ga. 2"	4	8
	Staple 14 ga. 2 1/4"	4	8
	0.113 Nail 2 1/4"	3	6
1	Staple 15 ga. 2 1/4"	4	8
	0.097 - 0.099 Nail 2 1/4"	4	8
<b>SPACING<sup>c</sup> OF FASTENERS</b>			
NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION <sup>a,b</sup> OF FASTENER AND LENGTH (inches)	Edges (inches)	Body of panel <sup>d</sup> (inches)
<b>Floor underlayment: plywood-hardboard-particleboard</b>			
<b>Plywood</b>			
1/4 and 3/16	1 1/4" ring or screw shank nail—minimum 12 1/2" ga. (0.099") shank diameter	3	6
	Staple 18 ga., 1/4", 1/4" crown width	2	5
1 1/2, 3/8, 1 1/8, and 1/2	1 1/4" ring or screw shank nail—minimum 12 1/2" ga. (0.099") shank diameter	6	8
	1 1/2" ring or screw shank nail—minimum 12 1/2" ga. (0.099") shank diameter	6	8
3/8 and 3/4	Staple 16 ga. 1 1/4"	6	8
	1 1/4" long ring-grooved underlayment nail	6	6
0.200	4d cement-coated sinker nail	6	6
	Staple 18 ga., 1/4" long (plastic coated)	3	6
<b>Particleboard</b>			
1/4	4d ring-grooved underlayment nail	3	6
	Staple 18 ga., 1/4" long, 1/4" crown	3	6
	6d ring-grooved underlayment nail	6	10
3/8	Staple 16 ga., 1 1/4" long, 1/4" crown	3	6
	6d ring-grooved underlayment nail	6	10
1/2, 3/4	Staple 10 ga., 1 1/4" long, 1/4" crown	2	6

For S<sub>1</sub>: 1 inch = 25.4 mm.

a. Nail is a general description and may be Thread, modified round head or round head.

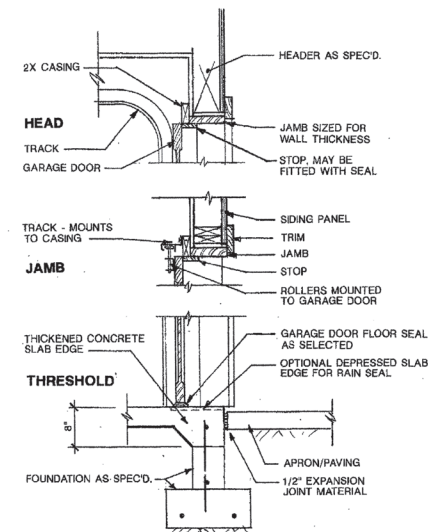
b. Staples shall have a minimum crown width of 1/4 inch on diameter except as noted.

c. Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.

d. Fasteners shall be placed in a grid pattern throughout the body of the panel.

e. For 5-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.

f. Hardboard underlayment shall conform to ANSI/APA A135.4.



## 1 GARAGE DOOR DETAILS

Behm Design Building plans

QUESTIONS?...CALL  
1-800-210-6776

www.behmdesign.com

1200-5

DESIGN BY: JUB DATE: 04/11

SHEET CONTENTS:  
CODE REQUIREMENTS FOR FASTENINGS AND SHEATHING  
GARAGE DOOR DETAILS

SHEET  
9  
OF 9

4-C-21-UR

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GENERAL NOTES

DESIGN NOTES

1. Floor: 40 lbs. Live load, 15 lbs. Dead load
2. Roof: 30 lbs. Live load, 20 lbs. Dead load
3. Soil bearing capacity: 2000 PSF
4. Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS

1. All slabs on grade shall be 4 inch 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
2. All slabs on grade shall bear on four inch compacted granular fill with 6 by 6 10-10 welded wire mesh.
3. Interior slabs shall have 6 mil. polyethylene vapor barrier underneath.
4. Provide proper expansion joints and control joints as per local requirements.
5. Provide additional bearing points as required by floor "T" joist manufacturer, and loading transfers.
6. Foundation details may vary with local codes and conditions, verify with contractor or engineer.
7. Provide foundation access and vents as required by local codes and conditions.
8. Foundation wall and footing sizes reinforcing must conform with your local building requirements.
9. Foundation walls are not to be backfilled until house is completely framed and roof is in place.
10. Verify depth of footings with your local codes.
11. Provide termite protection as required by HUD minimum property standards.

BASEMENT

1. Basement stairs are calculated as 10 inch treads with 1 inch nosing (11 inch total) and 7.75 inch risers.
2. Water heater and air conditioner may be located in basement when using basement option.
3. Provide sump pumps as required.
4. Some soil conditions may require a 12 inch concrete retaining wall, verify with contractor or engineer.
5. Provide exterior windows and door as grade allows.
6. Provide venting as local codes and conditions dictate.

FRAMING

1. Contractor to confirm the size, spacing and species of all framing and structural members to meet your local code requirements.
2. Any structural or framing members not indicated on the plan are to be sized by the contractor.
3. Double floor joists under all partition walls, unless otherwise noted.
4. All angled walls are 45 degree angles unless noted otherwise.
5. Provide collar ties, cross bracing and bracing as required.
6. Provide additional bearing points as required by loading transfers.
7. Framing lay-out and size may vary with local codes and conditions.
8. Roof framing plan is for general layout only, do no use for rafter count.

MISC. NOTES

1. Prefabricated fireplaces and flues are to be U.L. approved and installed per manu. specifications.
2. All materials, supplies and equipment to be installed per manu. specifications and local codes.
3. Provide type "X" firecode sheetrock on garage walls and ceilings.
4. Confirm window openings for your local egress requirements and minimum light and venting.
5. The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
6. Minor alterations to this plan can be made by the builder. Please contact our drafting department for information price quotes if major changes are required.

This plan was designed and drafted by W.L. Martin Home Designs to meet average conditions and codes in the state of Oklahoma at the time it was designed. Because codes and regulations can change and may vary from jurisdiction to jurisdiction, W.L. Martin Home Designs cannot warrant compliance with any special code or regulation. Consult your local building official to determine the suitability of these plans for your specific site and application.  
This plan can be adapted to your local building codes and requirements, but also, it is the responsibility of the purchaser and/or builder of this plan to see that the structure is built in strict compliance with all governing municipal codes (city, county, state, and federal).  
The purchaser and/or builder of this plan releases W.L. Martin Home Designs, its owner and employees from any claims or lawsuits that may arise during the construction of this structure or any time thereafter.



FRONT ELEVATION

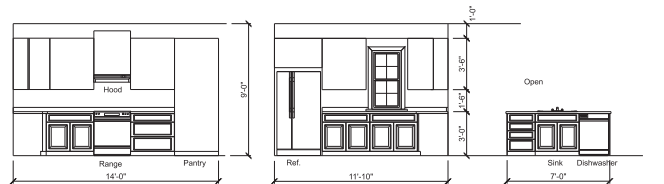
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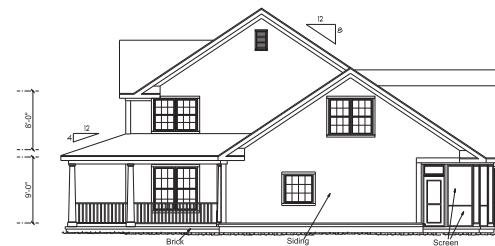
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Job
Sheet 1
Of 8 Sheets





**ELEVATION A** 1/4" = 1'-0" **ELEVATION B** 1/4" = 1'-0" **ELEVATION C** 1/4" = 1'-0"

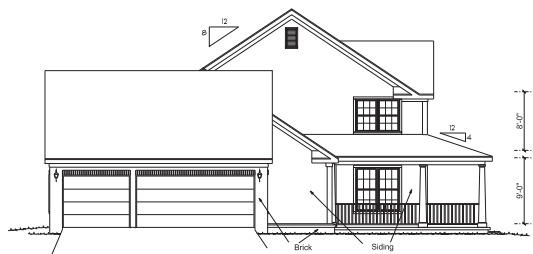
Selections to be made for Cabinet Style, Color, and Hardware



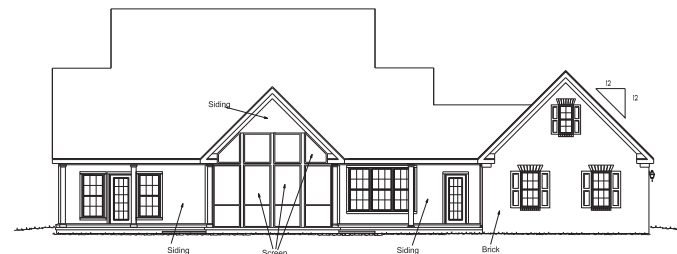
**RIGHT SIDE ELEVATION** 1/8" = 1'-0"



**KITCHEN PERSPECTIVE**



**LEFT SIDE ELEVATION** 1/8" = 1'-0"



**REAR ELEVATION** 1/8" = 1'-0"

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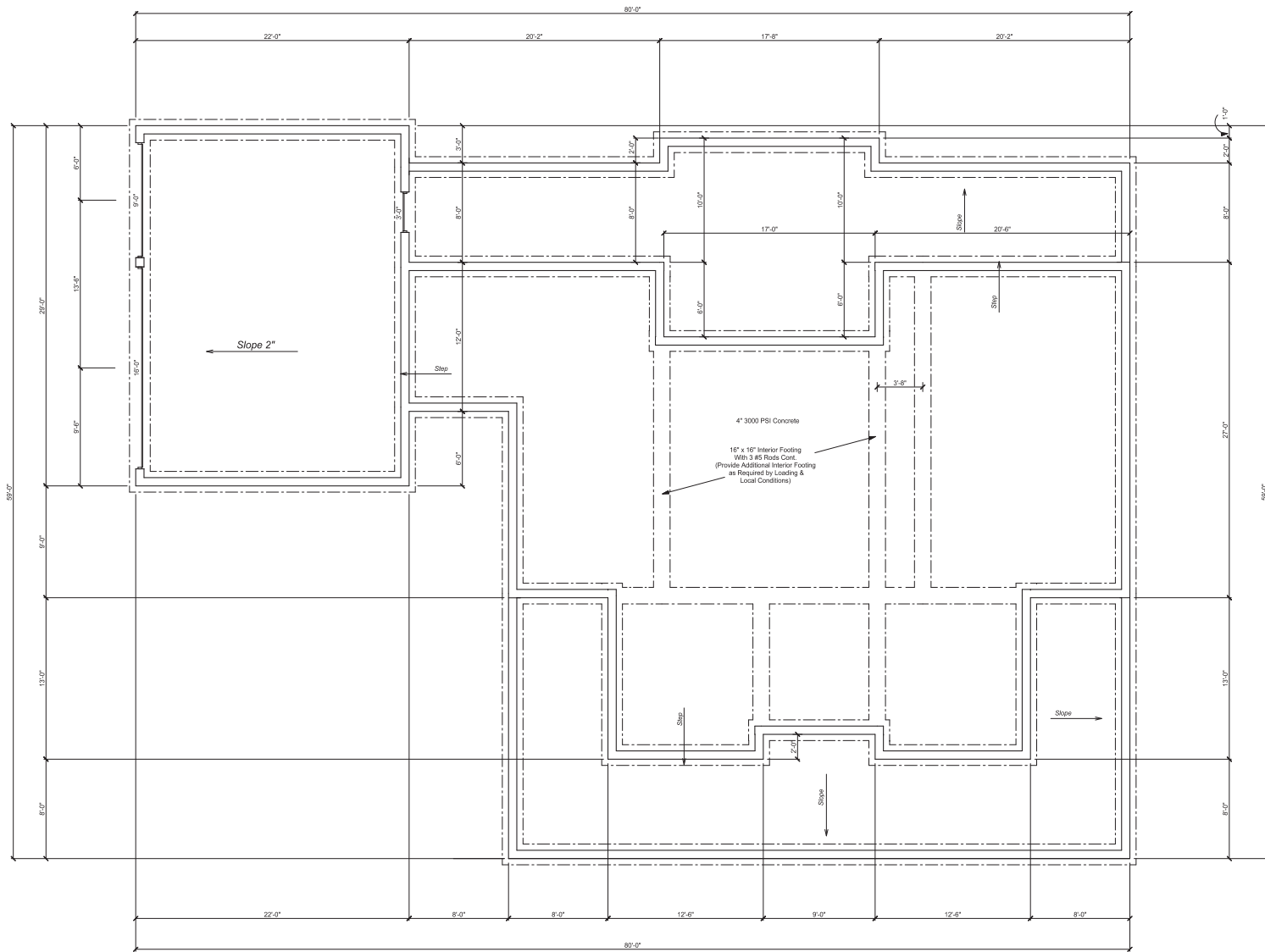
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Of	8 Sheets

4-C-21-UR





Slab Foundation Plan

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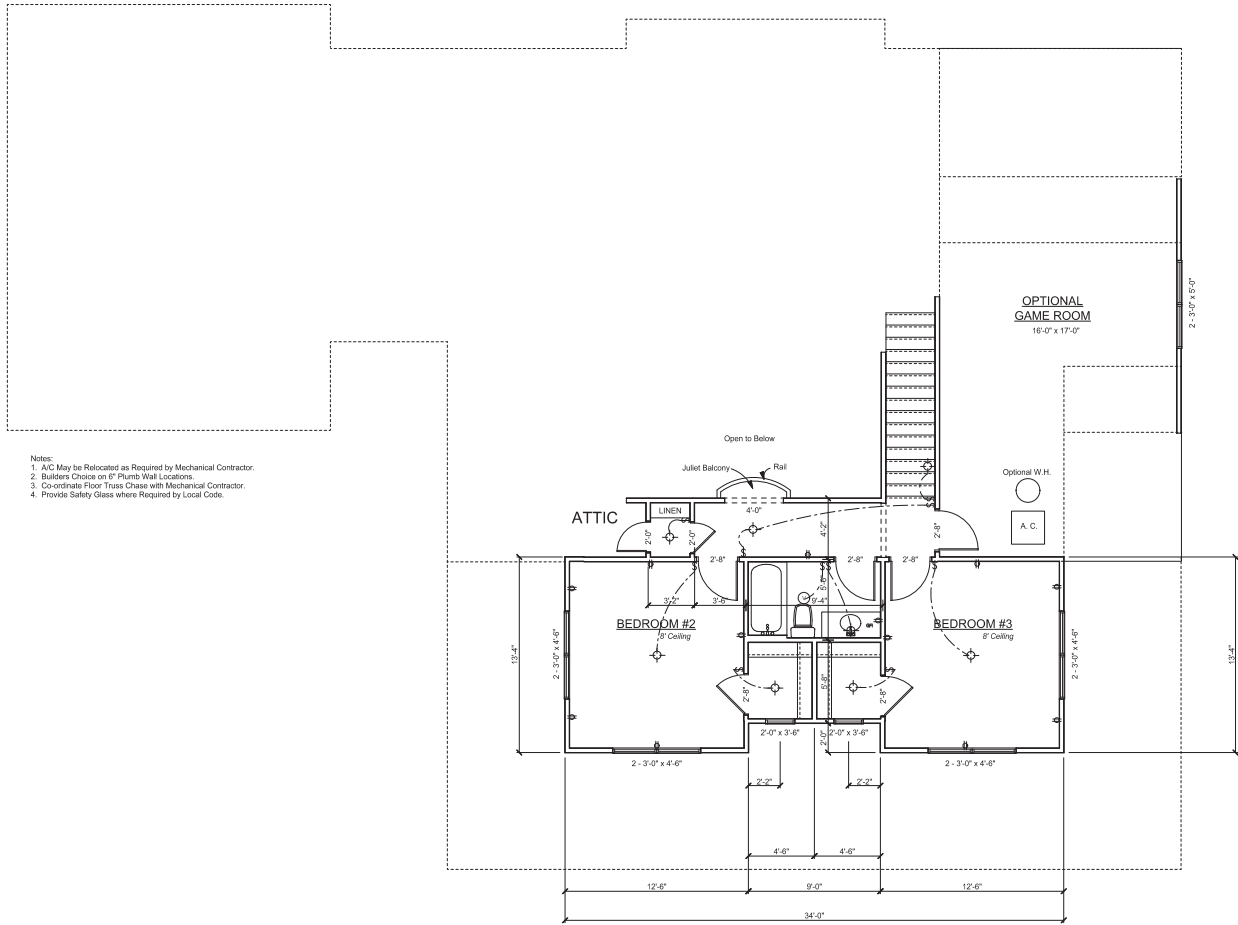
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Of 8 Sheets
4-C-21-UR





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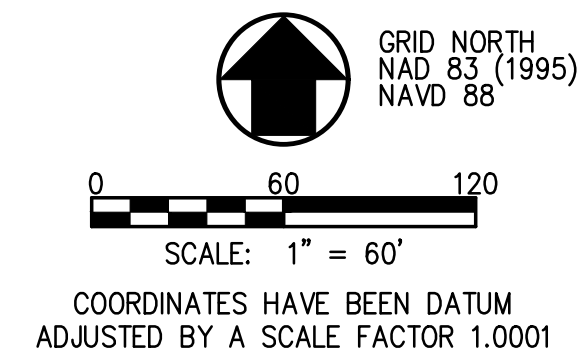
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Of 8 Sheets

516 Square Feet Heat & Cool

4-C-21-UR





#### GENERAL NOTES:

- OWNERSHIP AND REFERENCE  
**PARCEL 91.02**  
HAYS FARM & DEVELOPMENT LLC  
500 E. FOX DEN DRIVE  
KNOXVILLE, TN 37934  
CLT MAP 118, PARCEL 91.02  
INSTRUMENT NUMBER 20010309-0059365  
DEED: 20010330-0065085
- TOTAL SITE AREA = 21.12 AC±
- PROPOSED LOTS = 3
- ALL SETBACKS SHALL BE IN ACCORDANCE WITH KNOX COUNTY ZONING ORDINANCE:  
BP/70 - BUSINESS AND TECHNOLOGY PARK ZONE  
FRONT: 50' (75' ADJ. TO RESIDENTIAL)  
SIDE: 40'  
REAR: 35' (50' ADJ. TO RESIDENTIAL)  
PERIPHERY: 50' (75' ADJ. TO RESIDENTIAL)

#### LANDSCAPING:

- ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH SECTION 63-40, "LANDSCAPING," OF THE KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS.

#### EROSION CONTROL:

- EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH TDEC AND KNOX COUNTY STORMWATER REQUIREMENTS FOR SINGLE LOT DEVELOPMENT.
- AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE PROPERTY, UNTIL PAVING & LANDSCAPING OPERATIONS ARE COMPLETED.

#### DRAINAGE & WATER QUALITY:

- DETENTION IS NOT REQUIRED.
- WATER QUALITY FACILITIES ARE NOT REQUIRED.

#### UTILITY SERVICES:

- UTILITY SERVICES ARE TO BE PROVIDED BY THE FOLLOWING:
- WATER - WEST KNOX UTILITY DISTRICT (WKUD)
  - SEWER - SEPTIC

#### SPECIAL NOTES:

- HOUSE SEAT LOCATION SHOWN IS APPROXIMATE. FINAL LOCATION TO BE DETERMINED BY OWNER AND BUILDING CONTRACTOR BASED ON GRADES AND FINAL HOUSE FOOTPRINT CONFIGURATION AND DIMENSIONS. FINAL SETBACK LINES AS SHOWN.
- GRAVEL DRIVEWAY LOCATION SHOWN IS APPROXIMATE. FINAL LOCATION TO BE DETERMINED BY OWNER AND CONTRACTOR BASED ON EXISTING GRADES AND FINAL HOUSE LOCATION AND ORIENTATION.

#### DEVELOPMENT INTENSITY CALCULATIONS

**LOT #1R1**  
GROSS LOT AREA = 10.58 ACRES  
BUILDING FOOTPRINT (3,003.61 S.F.) = 0.07 ACRES  
SIDEWALKS & ETC. = 0.05 ACRES  
GRAVEL DRIVEWAYS (ASSUMED IMPERVIOUS) = 0.04 ACRES  
GROSS IMPERVIOUS AREA = 0.16 ACRES

IMPERVIOUS AREA RATIO (IAR) = GROSS IMPERVIOUS AREA / GROSS LOT AREA 0.16 AC / 10.58 AC = 2% < 30% MAX  
GROUND AREA COVERAGE (GAC) = BUILDING FOOTPRINT AREA / GROSS LOT AREA 0.07 AC / 10.58 AC = .007% < 25% MAX

**LOT #2R1**  
GROSS LOT AREA = 7.21 ACRES  
BUILDING FOOTPRINT (2571.67 S.F.) = 0.06 ACRES  
SIDEWALKS & ETC. = 0.05 ACRES  
GRAVEL DRIVEWAYS (ASSUMED IMPERVIOUS) = 0.44 ACRES  
GROSS IMPERVIOUS AREA = 0.55 ACRES

IMPERVIOUS AREA RATIO (IAR) = GROSS IMPERVIOUS AREA / GROSS LOT AREA 0.55 AC / 7.21 AC = 8% < 30% MAX  
GROUND AREA COVERAGE (GAC) = BUILDING FOOTPRINT AREA / GROSS LOT AREA 0.06 AC / 7.21 AC = .008% < 25% MAX

**LOT #3**  
GROSS LOT AREA = 3.33 ACRES  
BUILDING FOOTPRINT (3788.02 S.F.) = 0.09 ACRES  
SIDEWALKS & ETC. = 0.03 ACRES  
GRAVEL DRIVEWAYS (ASSUMED IMPERVIOUS) = 0.17 ACRES  
GROSS IMPERVIOUS AREA = 0.29 ACRES

IMPERVIOUS AREA RATIO (IAR) = GROSS IMPERVIOUS AREA / GROSS LOT AREA 0.29 AC / 3.33 AC = 9% < 30% MAX  
GROUND AREA COVERAGE (GAC) = BUILDING FOOTPRINT AREA / GROSS LOT AREA 0.09 AC / 3.33 AC = .03% < 25% MAX

#### LEGEND

- PROPOSED GRAVEL DRIVEWAY
- PROPOSED SINKHOLE BUFFER
- BUILDING SETBACK
- ZONING LINE (APPROX.)
- BOUNDARY LINE (APPROX.)
- PROPOSED LOT LINE
- PROPOSED LOT NUMBER

REVISED PER KNOX PLANNING COMMENTS 3/22/2021

REVISIONS DATE

**CANNON & CANNON INC**  
CONSULTING ENGINEERS - FIELD SURVEYORS  
TEL: 865.670.8555 | 8550 Kingston Pike  
WWW.CANNON-CANNON.COM | Knoxville, TN 37919

CLIENT:  
**HAYS FARM, LLC**  
500 EAST FOX DEN DRIVE  
KNOXVILLE, TN 37934

PROJECT:  
**HAYS HILLS SUBDIVISION**  
KNOXVILLE, TN 37932

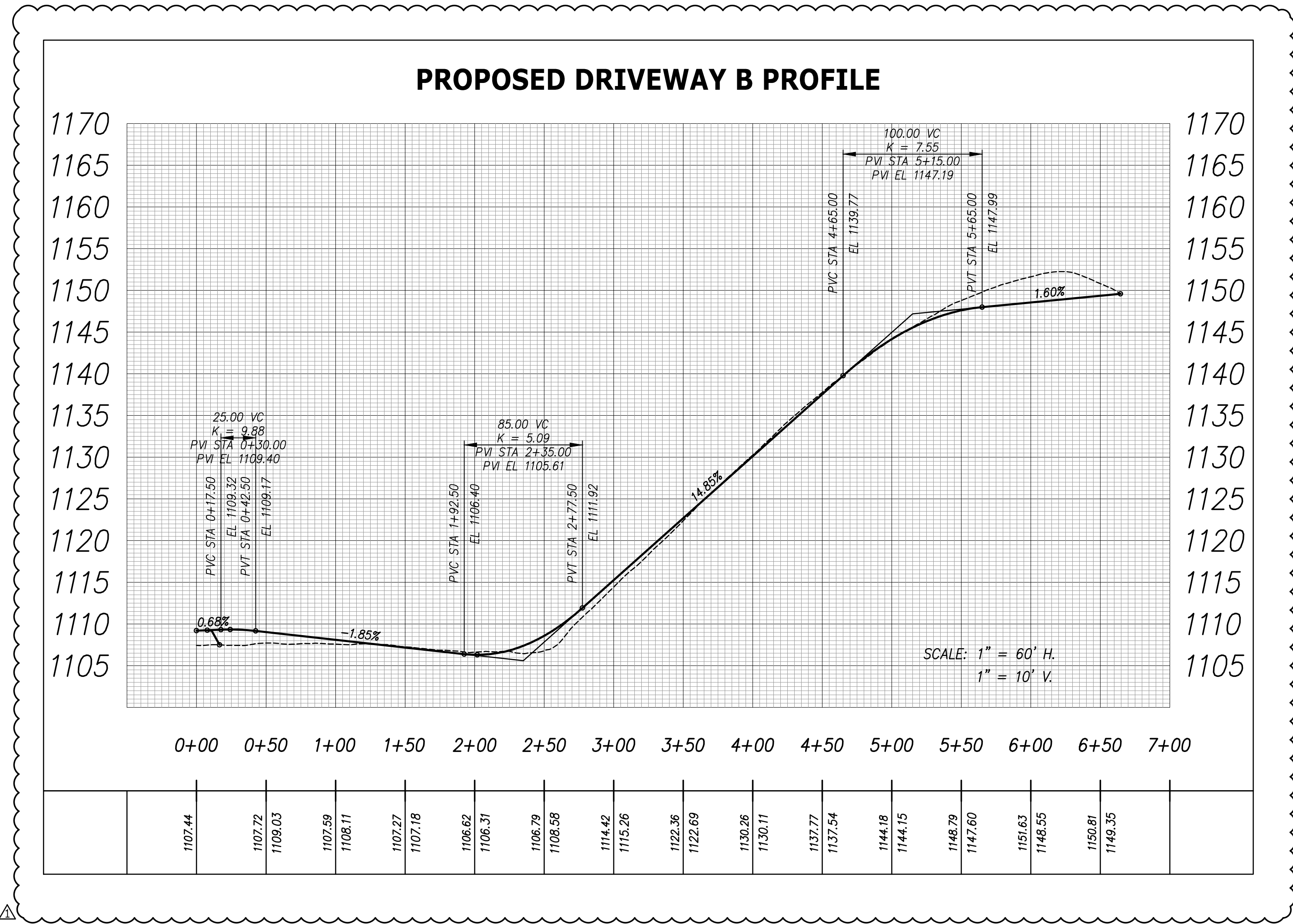
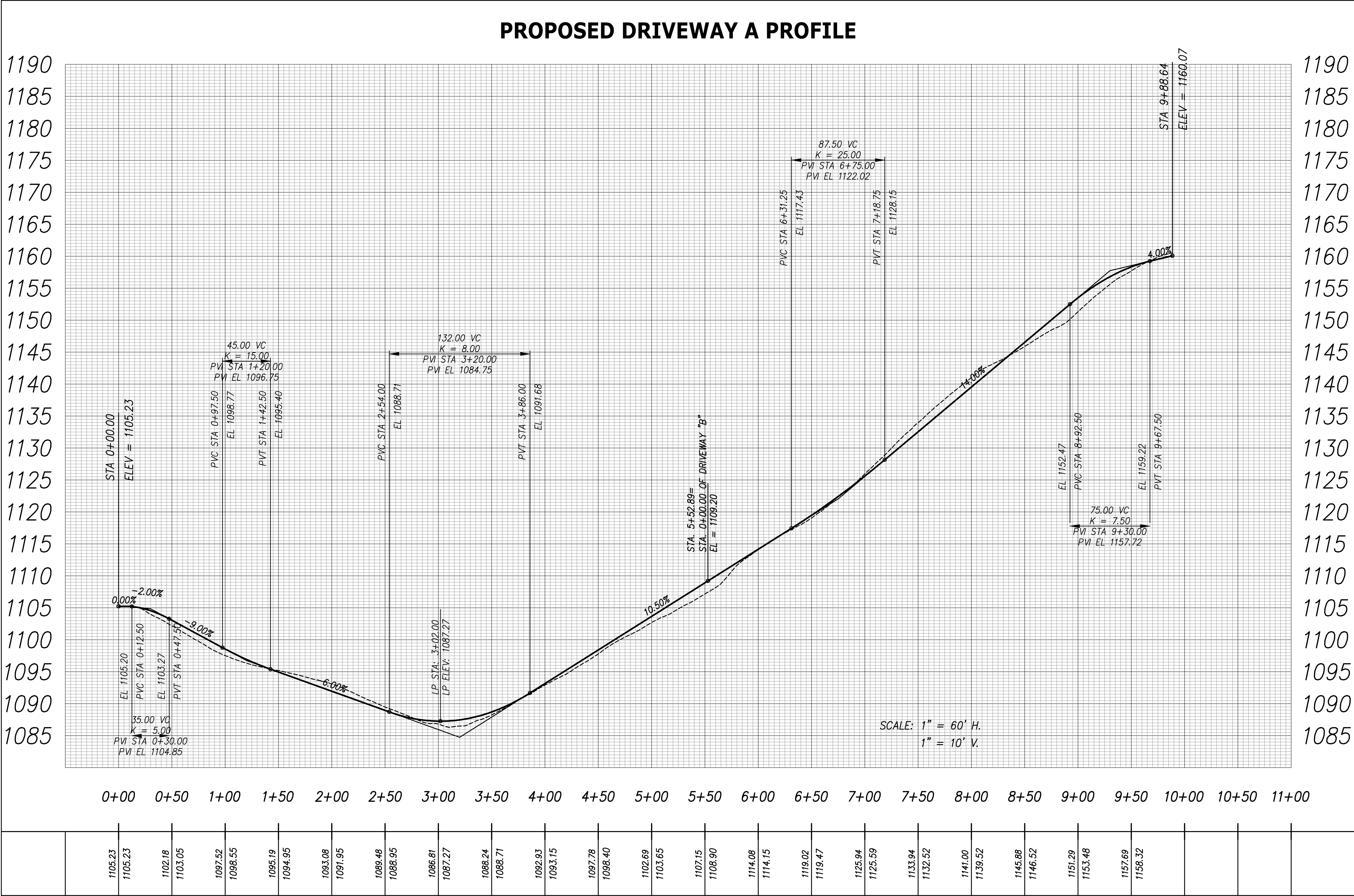
USE ON REVIEW  
SITE LAYOUT PLAN  
(4-C-21-UR)

CCI PROJECT NO.	01567-0000
DRAWING DATE	FEBRUARY 19, 2021
PM	RGB
DRAWN	JRH
PIC	HD
CHECKED	JRH

UOR1.01

FOR USE ON REVIEW SUBMITTAL ONLY - NOT FOR CONSTRUCTION





GENERAL NOTES:

1. SEE SHEET UOR1.01 FOR NOTES.

REVISED PER KNOX PLANNING COMMENTS		3/22/2021	
REVISIONS		DATE	
<b>CANNON &amp; CANNON INC</b> CONSULTING ENGINEERS - FIELD SURVEYORS TEL: 865.670.8555   8550 Kingston Pike WWW.CANNON-CANNON.COM   KNOXVILLE, TN 37919			
CLIENT: <b>HAYS FARM, LLC</b> 500 EAST FOX DEN DRIVE KNOXVILLE, TN 37934			
PROJECT: <b>HAYS HILLS SUBDIVISION</b> 2801 HICKORY ROAD KNOXVILLE, TN 37932			
USE ON REVIEW DRIVEWAY PROFILE (4-C-21-UR)			
CCI PROJECT NO. 01567-0000		DRAWING DATE FEBRUARY 19, 2021	
PM RGB	PIC HD	DRAWN JRH	CHECKED JRH
JASON R. HUNT REGISTERED ENGINEER KNOX COUNTY STATE OF TENNESSEE		UOR2.01 3/22/2021	