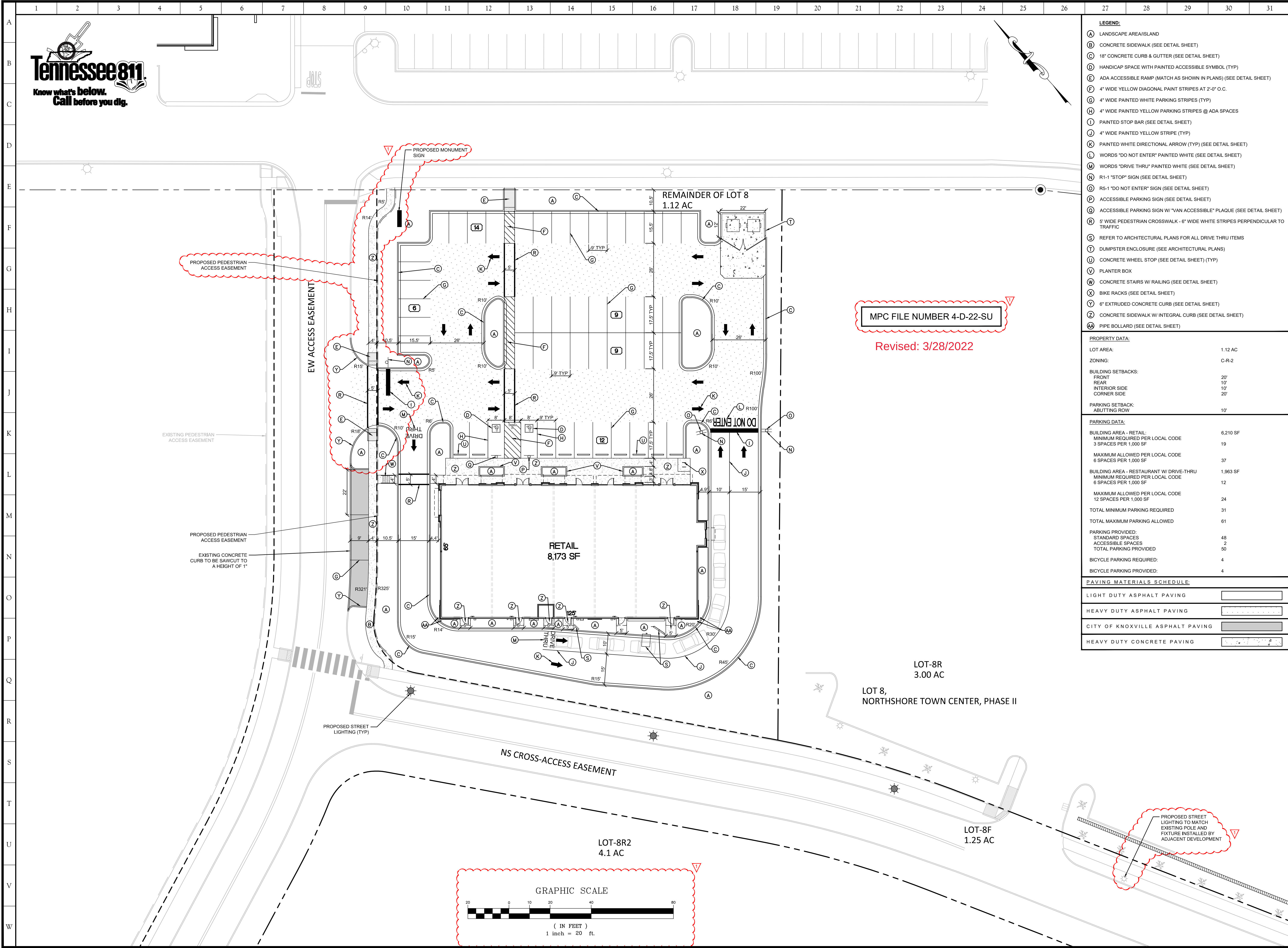




LEGEND:	
(A)	LANDSCAPE AREA/ISLAND
(B)	CONCRETE SIDEWALK (SEE DETAIL SHEET)
(C)	18" CONCRETE CURB & GUTTER (SEE DETAIL SHEET)
(D)	HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (TYP)
(E)	ADA ACCESSIBLE RAMP (MATCH AS SHOWN IN PLANS) (SEE DETAIL SHEET)
(F)	4" WIDE YELLOW DIAGONAL PAINT STRIPES AT 2'-0" O.C.
(G)	4" WIDE PAINTED WHITE PARKING STRIPES (TYP)
(H)	4" WIDE PAINTED YELLOW PARKING STRIPES @ ADA SPACES
(I)	PAINTED STOP BAR (SEE DETAIL SHEET)
(J)	4" WIDE PAINTED YELLOW STRIPE (TYP)
(K)	PAINTED WHITE DIRECTIONAL ARROW (TYP) (SEE DETAIL SHEET)
(L)	WORDS "DO NOT ENTER" PAINTED WHITE (SEE DETAIL SHEET)
(M)	WORDS "DRIVE THRU" PAINTED WHITE (SEE DETAIL SHEET)
(N)	R1-1 "STOP" SIGN (SEE DETAIL SHEET)
(O)	R5-1 "DO NOT ENTER" SIGN (SEE DETAIL SHEET)
(P)	ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET)
(Q)	ACCESSIBLE PARKING SIGN W/ "VAN ACCESSIBLE" PLAQUE (SEE DETAIL SHEET)
(R)	5' WIDE PEDESTRIAN CROSSWALK - 6" WIDE WHITE STRIPES PERPENDICULAR TO TRAFFIC
(S)	REFER TO ARCHITECTURAL PLANS FOR ALL DRIVE THRU ITEMS
(T)	DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
(U)	CONCRETE WHEEL STOP (SEE DETAIL SHEET) (TYP)
(V)	PLANTER BOX
(W)	CONCRETE STAIRS W/ RAILING (SEE DETAIL SHEET)
(X)	BIKE RACKS (SEE DETAIL SHEET)
(Y)	6" EXTRUDED CONCRETE CURB (SEE DETAIL SHEET)
(Z)	CONCRETE SIDEWALK W/ INTEGRAL CURB (SEE DETAIL SHEET)
(AA)	PIPE BOLLARD (SEE DETAIL SHEET)
PROPERTY DATA:	
LOT AREA:	1.12 AC
ZONING:	C-R-2
BUILDING SETBACKS:	
FRONT	20'
REAR	10'
INTERIOR SIDE	10'
CORNER SIDE	20'
PARKING SETBACK:	
ABUTTING ROW	10'
PARKING DATA:	
BUILDING AREA - RETAIL:	6,210 SF
MINIMUM REQUIRED PER LOCAL CODE	
3 SPACES PER 1,000 SF	19
MAXIMUM ALLOWED PER LOCAL CODE	
6 SPACES PER 1,000 SF	37
BUILDING AREA - RESTAURANT W/ DRIVE-THRU	1,963 SF
MINIMUM REQUIRED PER LOCAL CODE	
6 SPACES PER 1,000 SF	12
MAXIMUM ALLOWED PER LOCAL CODE	
12 SPACES PER 1,000 SF	24
TOTAL MINIMUM PARKING REQUIRED	31
TOTAL MAXIMUM PARKING ALLOWED	61
PARKING PROVIDED:	
STANDARD SPACES	48
ACCESSIBLE SPACES	2
TOTAL PARKING PROVIDED	50
BICYCLE PARKING REQUIRED:	4
BICYCLE PARKING PROVIDED:	4
PAVING MATERIALS SCHEDULE:	
LIGHT DUTY ASPHALT PAVING	
HEAVY DUTY ASPHALT PAVING	
CITY OF KNOXVILLE ASPHALT PAVING	
HEAVY DUTY CONCRETE PAVING	

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CIVIL ENGINEERS & SURVEYORS
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Knoxville, TN 37932
(865) 777-4160
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Use on Review - Site Layout Plan

Town Center Shops

Town Center Boulevard
Knoxville, Tennessee 37922
Ward 51, CLT Map 154, City Block 51008, Parcel 98.17

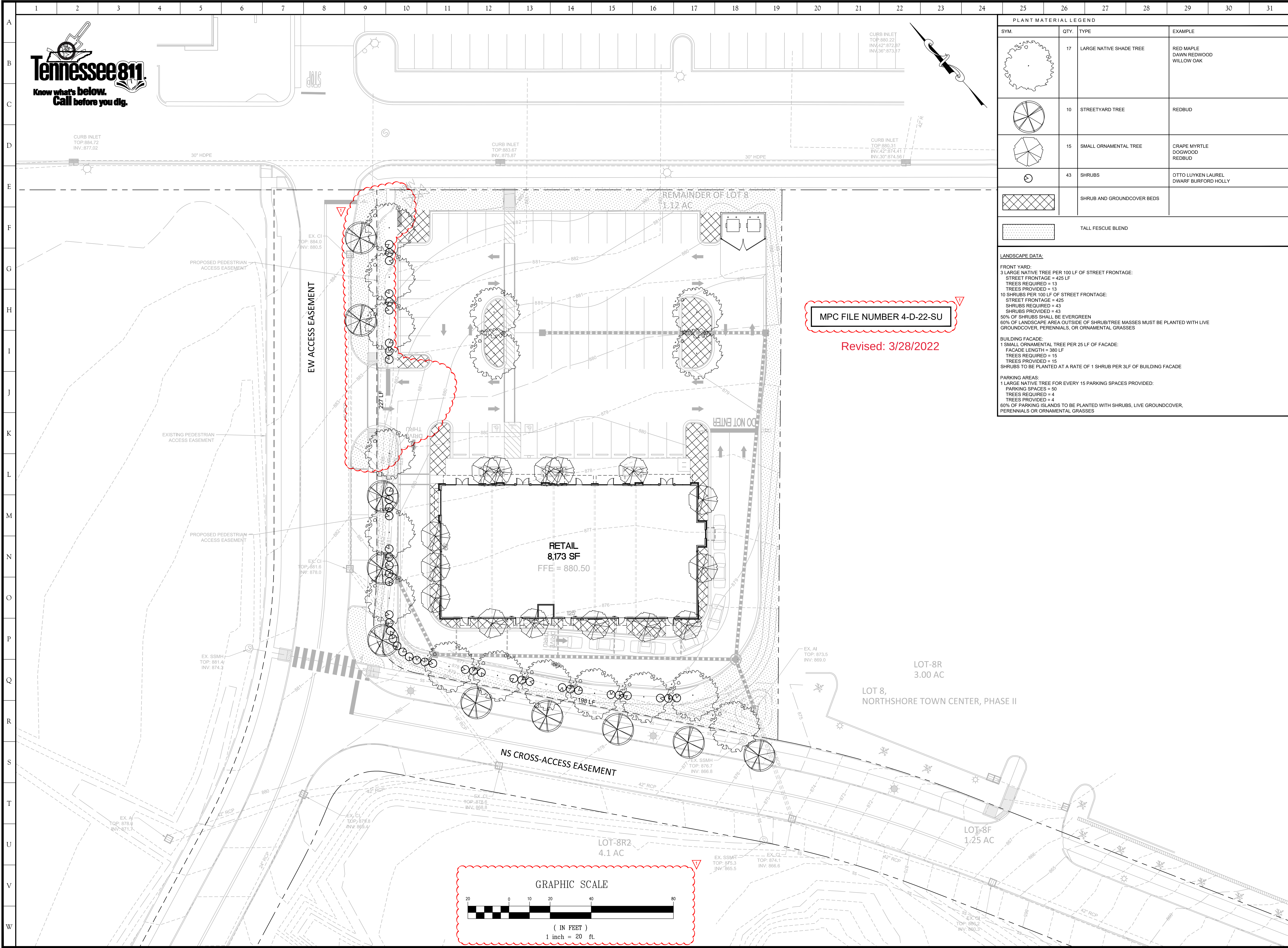
NO.	DATE	COMMENTS
1	02/22/2022	Revised per MPC Comments

ORIGINAL ISSUE: 02/22/2022

SITE PROJECT #: 1758

FILE: MCS-Layout

C4.0



PLANT MATERIAL LEGEND			
SYM.	QTY.	TYPE	EXAMPLE
	17	LARGE NATIVE SHADE TREE	RED MAPLE DAWN REDWOOD WILLOW OAK
	10	STREETYARD TREE	REDBUD
	15	SMALL ORNAMENTAL TREE	GRAPE MYRTLE DOGWOOD REDBUD
	43	SHRUBS	OTTO LUYKEN LAUREL DWARF BURFORD HOLLY
		SHRUB AND GROUNDCOVER BEDS	
		TALL FESCUE BLEND	

LANDSCAPE DATA:

FRONT YARD:
3 LARGE NATIVE TREE PER 100 LF OF STREET FRONTAGE:
STREET FRONTAGE = 425 LF
TREES REQUIRED = 13
TREES PROVIDED = 13
10 SHRUBS PER 100 LF OF STREET FRONTAGE:
STREET FRONTAGE = 425
SHRUBS REQUIRED = 43
SHRUBS PROVIDED = 43
50% OF SHRUBS SHALL BE EVERGREEN
60% OF LANDSCAPE AREA OUTSIDE OF SHRUB/TREE MASSES MUST BE PLANTED WITH LIVE GROUNDCOVER, PERENNIALS, OR ORNAMENTAL GRASSES

BUILDING FACADE:
1 SMALL ORNAMENTAL TREE PER 25 LF OF FACADE:
FACADE LENGTH = 380 LF
TREES REQUIRED = 15
TREES PROVIDED = 15
SHRUBS TO BE PLANTED AT A RATE OF 1 SHRUB PER 3LF OF BUILDING FACADE

PARKING AREAS:
1 LARGE NATIVE TREE FOR EVERY 15 PARKING SPACES PROVIDED:
PARKING SPACES = 50
TREES REQUIRED = 4
TREES PROVIDED = 4
60% OF PARKING ISLANDS TO BE PLANTED WITH SHRUBS, LIVE GROUNDCOVER, PERENNIALS OR ORNAMENTAL GRASSES

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MATTHEW C. HORNUM
REGISTERED ENGINEER
LANDSCAPE ARCHITECTURE
STATE OF TENNESSEE
00105
03/12/2024

Use on Review - Landscape Plan

Town Center Shops

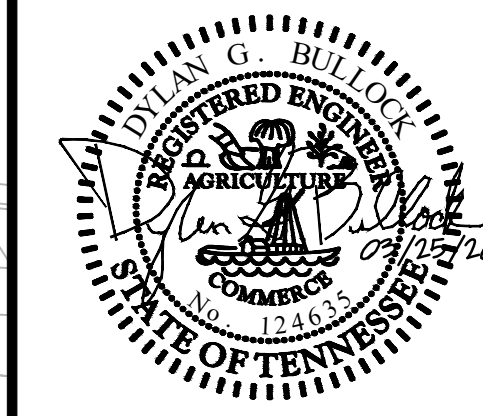
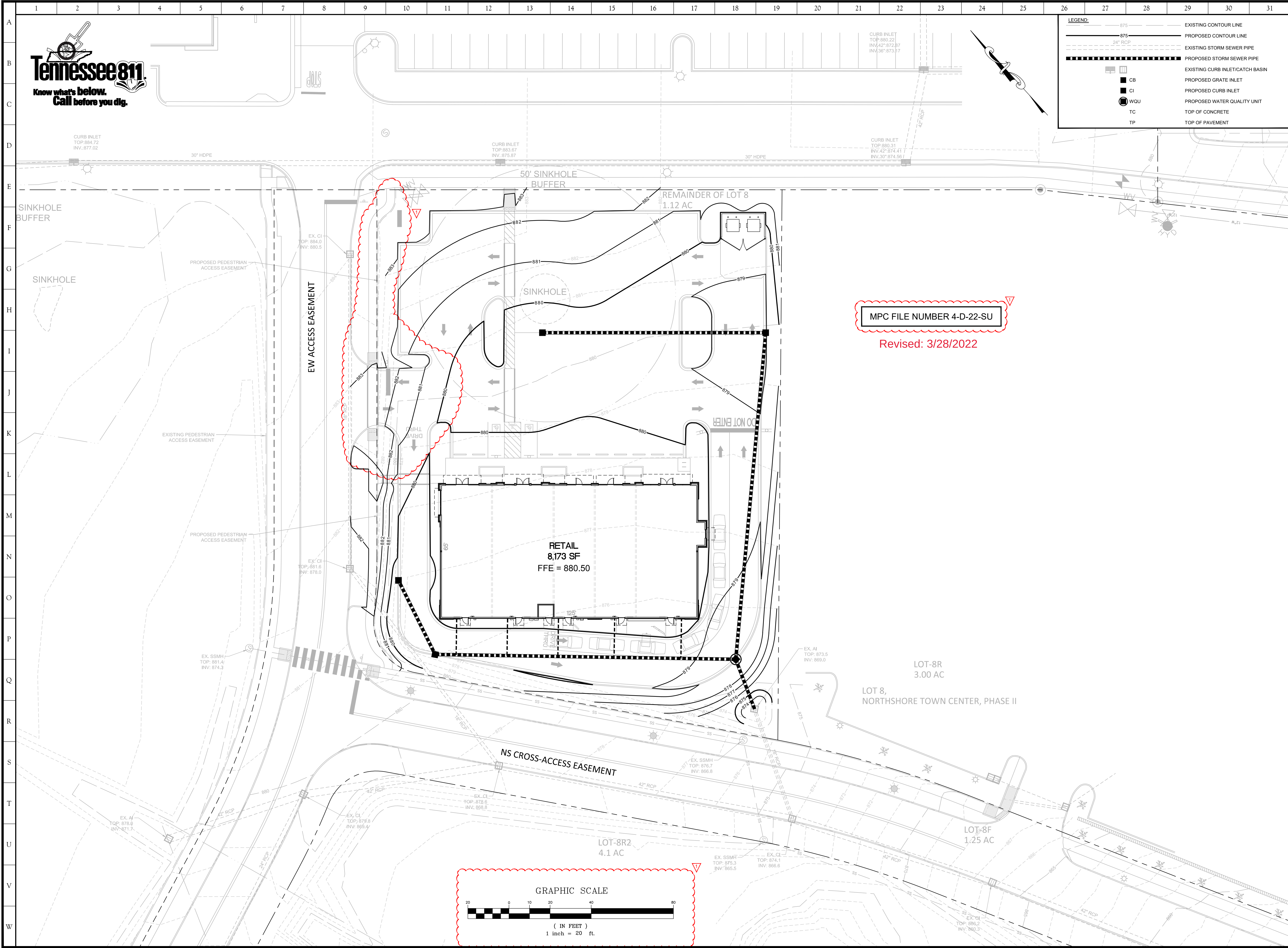
Town Center Boulevard
Knoxville, Tennessee 37922
Ward 51, CLT Map 154, City Block 51008, Parcel 98.17

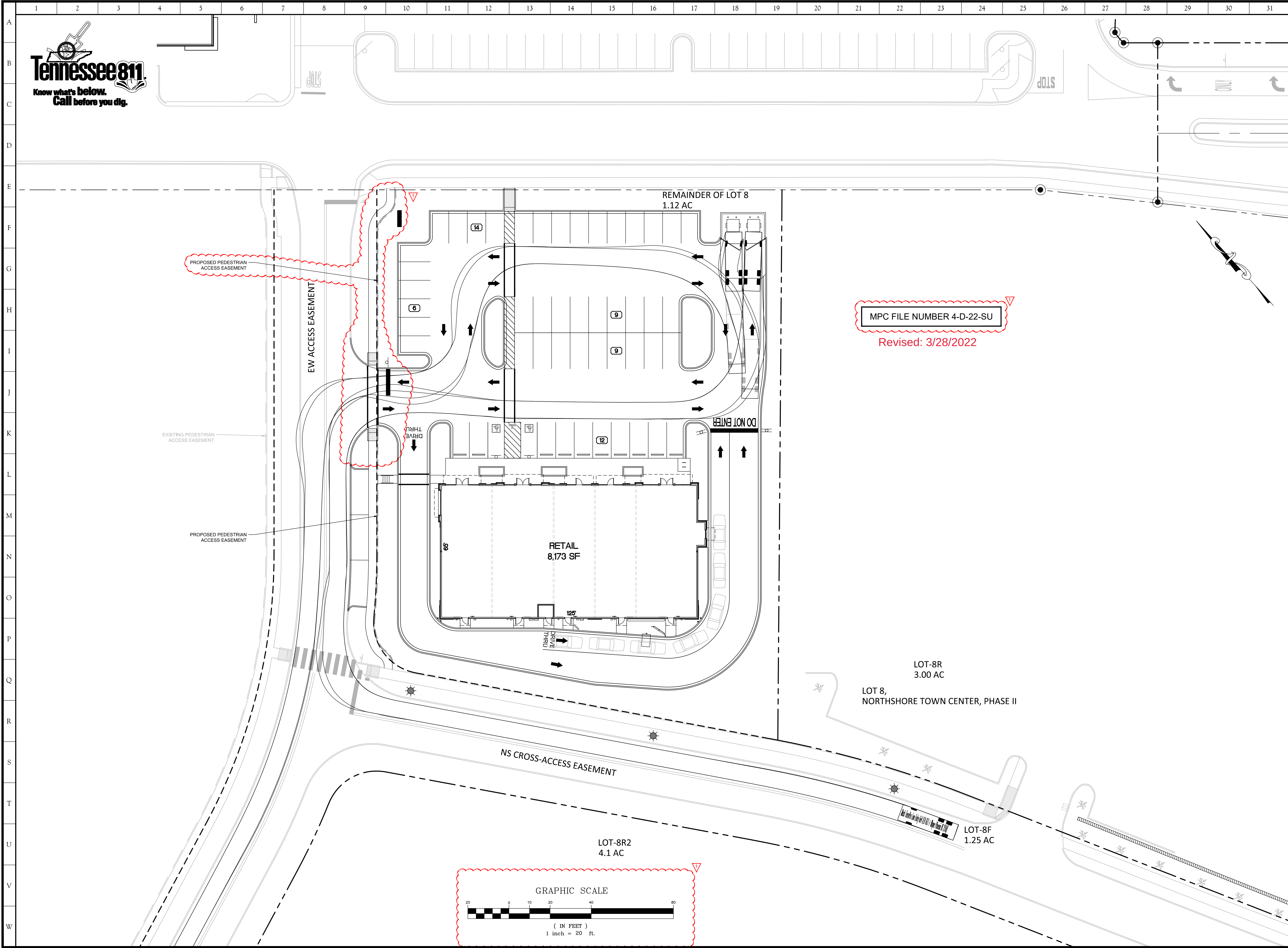
REVISIONS

NO.	DATE	COMMENTS
1	03/25/2022	Revised per MPC Comments

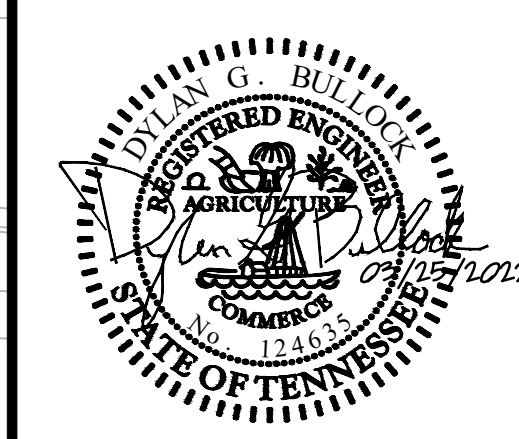
ORIGINAL ISSUE: 02/22/2022
SITE PROJECT #: 1758
FILE: MCS-Landscape

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Use on Review - Truck Turn Plan

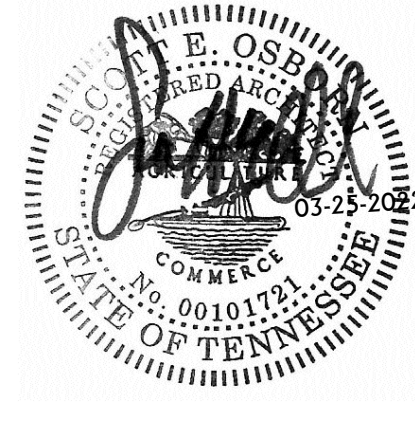
Town Center Shops

Town Center Boulevard
Knoxville, Tennessee 37922
Ward 51, CLT Map 154, City Block 51008, Parcel 98.17

REVISIONS	
NO.	DATE
1	02/22/2022

ORIGINAL ISSUE: 02/22/2022
SITE PROJECT #: 1758
FILE: MCS-Layout

C4.1



Date: February 22, 2022

File Name: NTC_UOR_a21

Project No: 2021-148

Drawing Title:

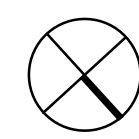
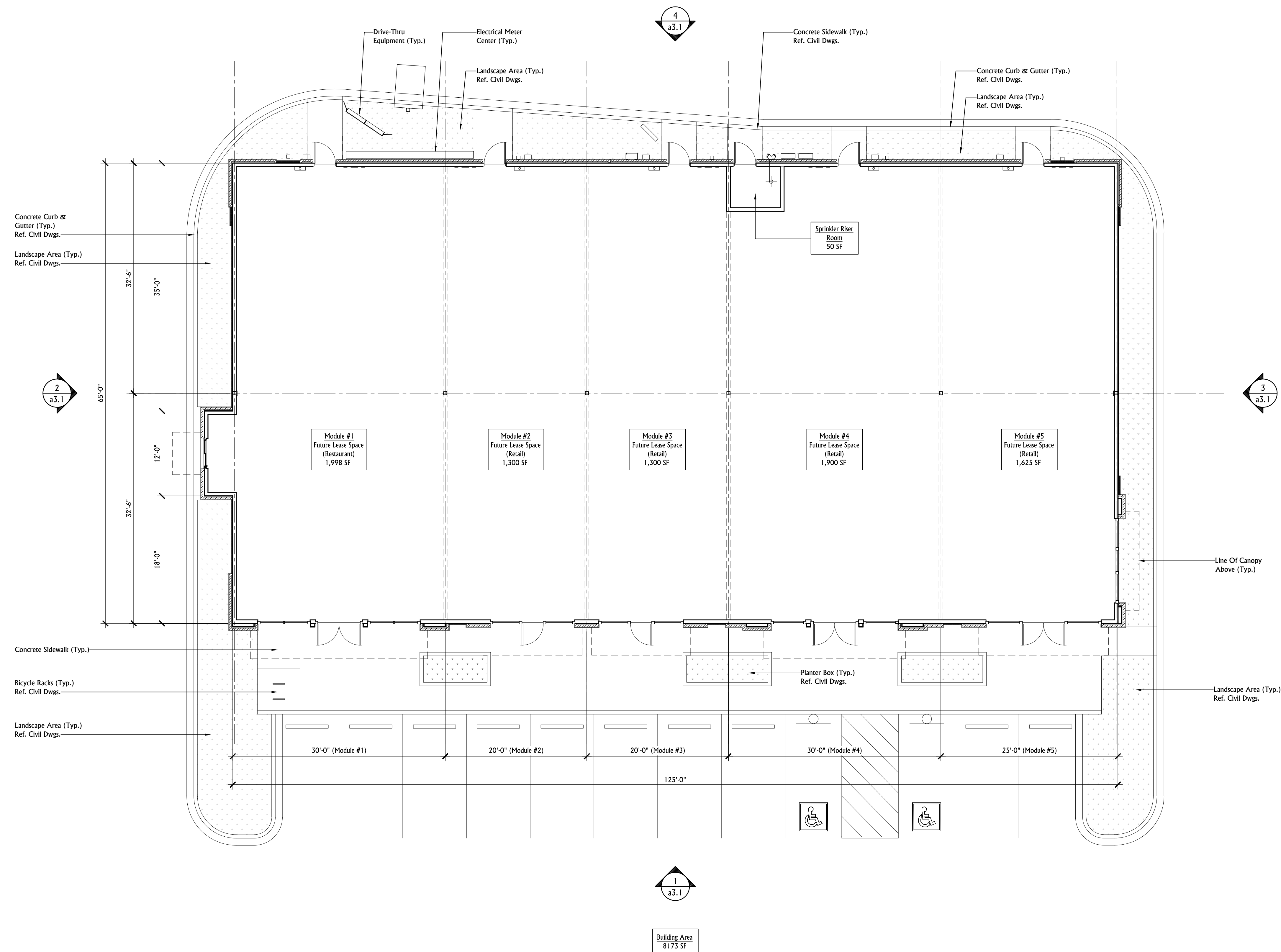
Floor Plan

Revisions:

A New Commercial Development:
Town Center Shops
Town Center Boulevard
Knoxville, TN 37922

Sheet No.

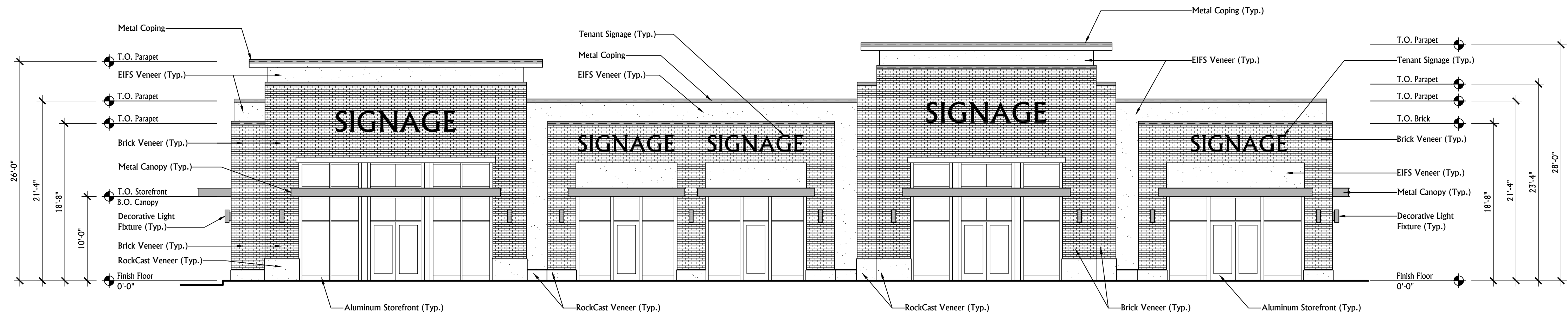
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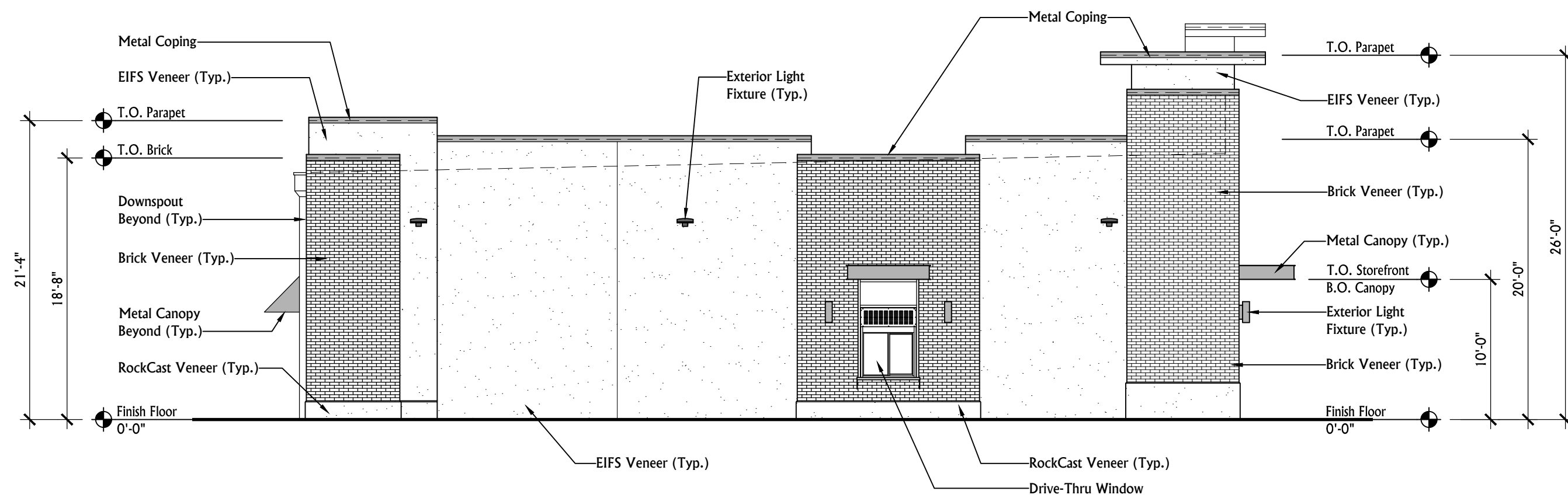
FLOOR PLAN
SCALE: 1/8" = 1'-0"

Revised: 3/28/2022

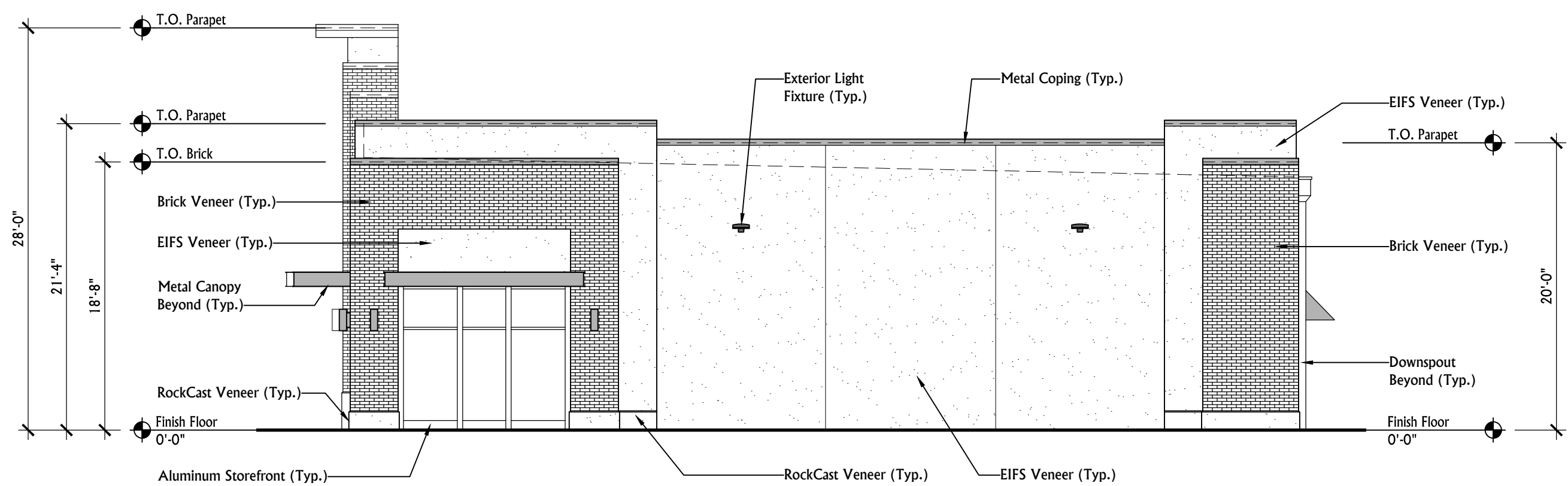
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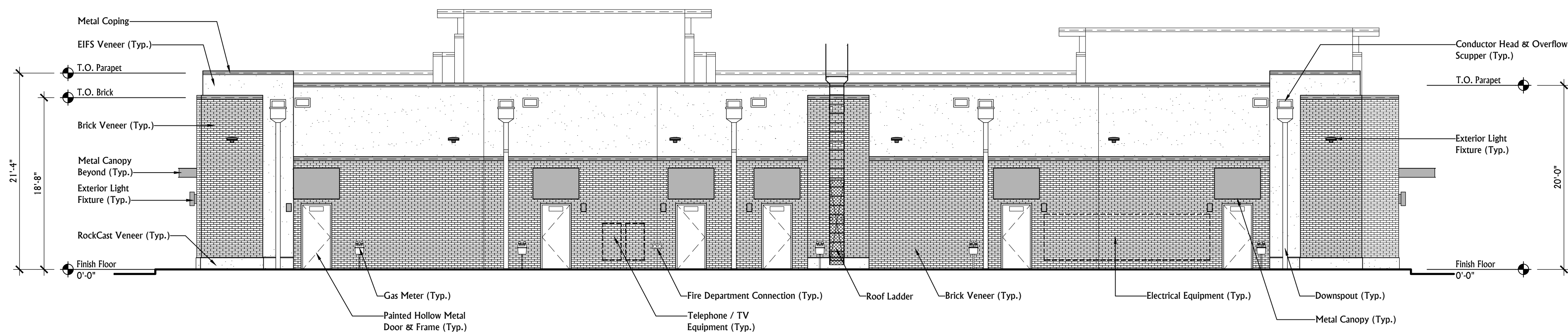
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a3.1
FRONT ELEVATION
SCALE: 1/8" = 1'-0"



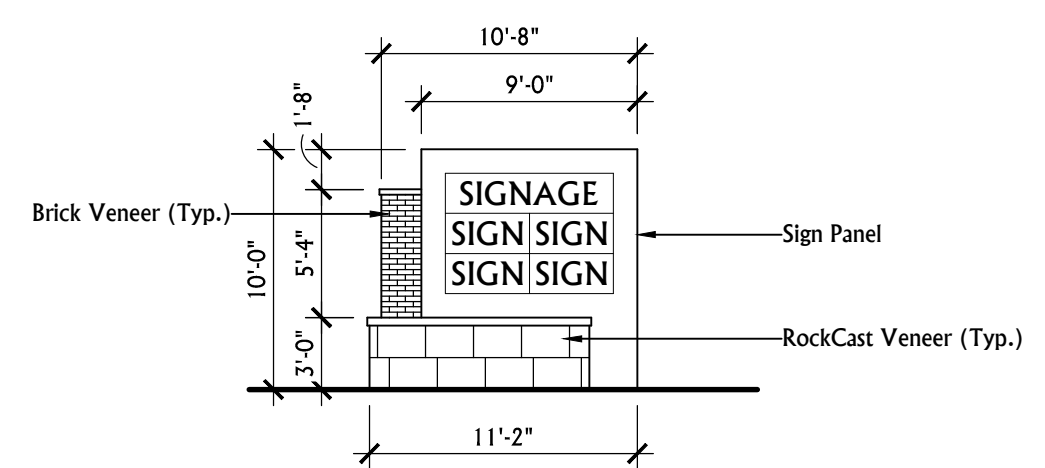
2
a3.1
LEFT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



3
a3.1
RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



4
a3.1
REAR ELEVATION
SCALE: 1/8" = 1'-0"



5
a3.1
MONUMENT SIGN ELEVATION
SCALE: 1/8" = 1'-0"

Revised: 3/28/2022

4-D-22-SU

Revisions: