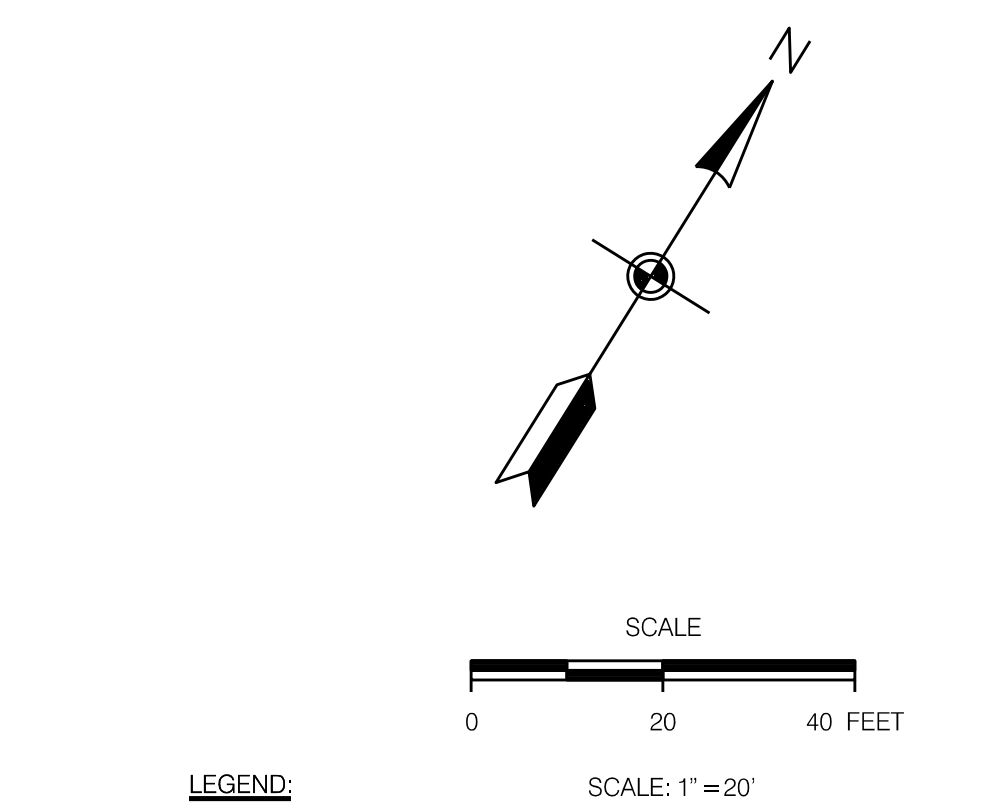


1 RIGHT OF WAY PAVEMENT  
MPC01 NOT TO SCALE

SUMMARY TABLES - BROKEN INTO FRONT AND BACK LOT

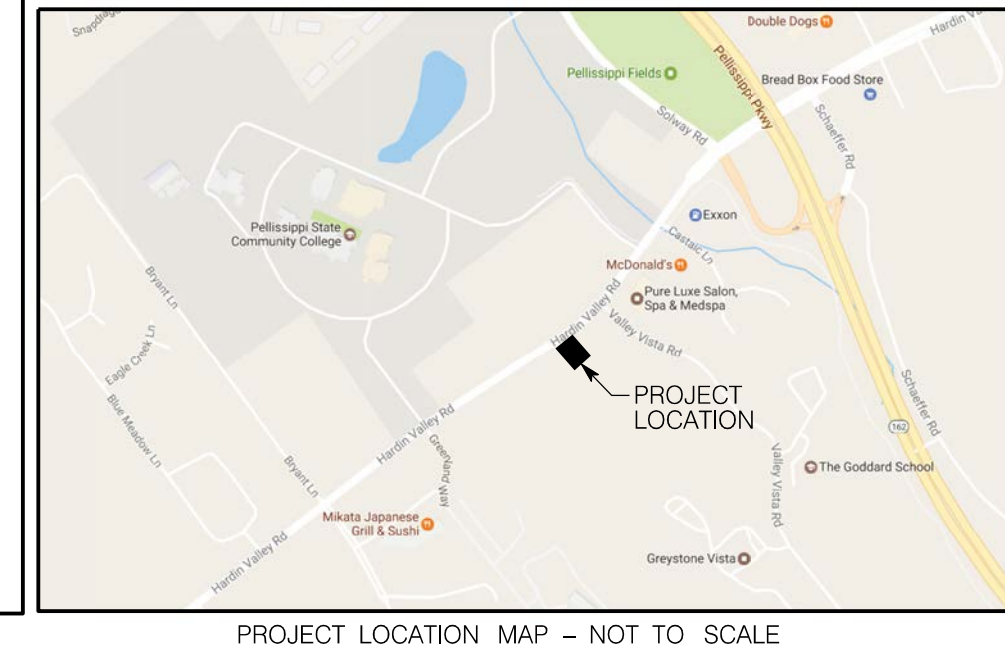
FRONT BUILDING
USE: SHOPPING CENTER
ZONING: PC70
PARCEL: 103 115
PARKING SUMMARY:
PARKING REQUIRED: 32 SPACES
PARKING PROVIDED: 36 SPACES
CALCULATION (COUNTY):
SHOPPING CENTER: 6,345 SF / 200 = 32
CALCULATION (TTODA):
RETAIL: 1500/1000 X 3 = 4.5
OFFICE: 3,388/1000 X 3 = 10.16
TOTAL: 15.66 MINIMUM, 19.43 MAXIMUM
NOTE: KNOX COUNTY ZONING ORDINANCE PARKING REQUIREMENT IS BASED ON SHOPPING CENTER AND THE TTODA PARKING REQUIREMENT IS BASED ON RETAIL AND RESTAURANT
SETBACKS:
PERIPHERAL: 50'
BUILDING AREA: 6,345 SF
PARCEL AREA: 1.06
IMPERVIOUS AREA: 0.89 AC
FLOOR AREA RATIO: 13.7%
IMPERVIOUS AREA RATIO: 84.0%
BUILDING AREA RATIO: 13.7%

BACK BUILDING
USE: BUSINESS OFFICE
ZONING: PC70
PARCEL: 103 115
PARKING SUMMARY:
PARKING REQUIRED: 22 SPACES
PARKING PROVIDED: 23 SPACES
CALCULATION (COUNTY):
BUSINESS OFFICE: 5,388 / 250 = 22
CALCULATION (TTODA):
OFFICE: 5,388/1000 X 3 = 16.15
TOTAL: 16.1 MINIMUM, 24.2 MAXIMUM
SETBACKS:
PERIPHERAL: 50'
BUILDING AREA: 5,388 SF 1 STORY
PARCEL AREA: 0.86
IMPERVIOUS AREA: 0.36 AC
FLOOR AREA RATIO: 14.4%
IMPERVIOUS AREA RATIO: 41.9%
BUILDING AREA RATIO: 14.4%



EXISTING	PROPOSED	
53s	53s	GROUND CONTOUR ELEVATION
53s.25'	53s.25'	SPOT ELEVATION
		STRUCTURE
	NA	PROPERTY LINE
	NA	EASEMENT
SD		EDGE OF PAVEMENT
SS	NA	STORM DRAIN
W	PW	SANITARY SEWER
NG	NG	POTABLE WATER
W	FW	NATURAL GAS
		FIRE PROTECTION
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SILT FENCING
		INLET PROTECTION
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT

4-H-18-UR  
Revised: 3/27/2018



WILL ROBINSON  
& ASSOCIATES

131 Brentwood Dr  
Oak Ridge, TN 37830  
(865) 386-4200

WILLIAM N. ROBINSON  
REGISTERED ENGINEER  
AGRICULTURE  
03-27-2018  
STATE OF TENNESSEE

Le Kheim Development

A New Mixed Use Center for:  
10810 Hardin Valley Road  
Knox County, TN

REVISIONS:

DRAWN: WNR  
CHECKED: WNR  
DATE: 02-28-2018  
FILE NAME:  
PROJECT NO:

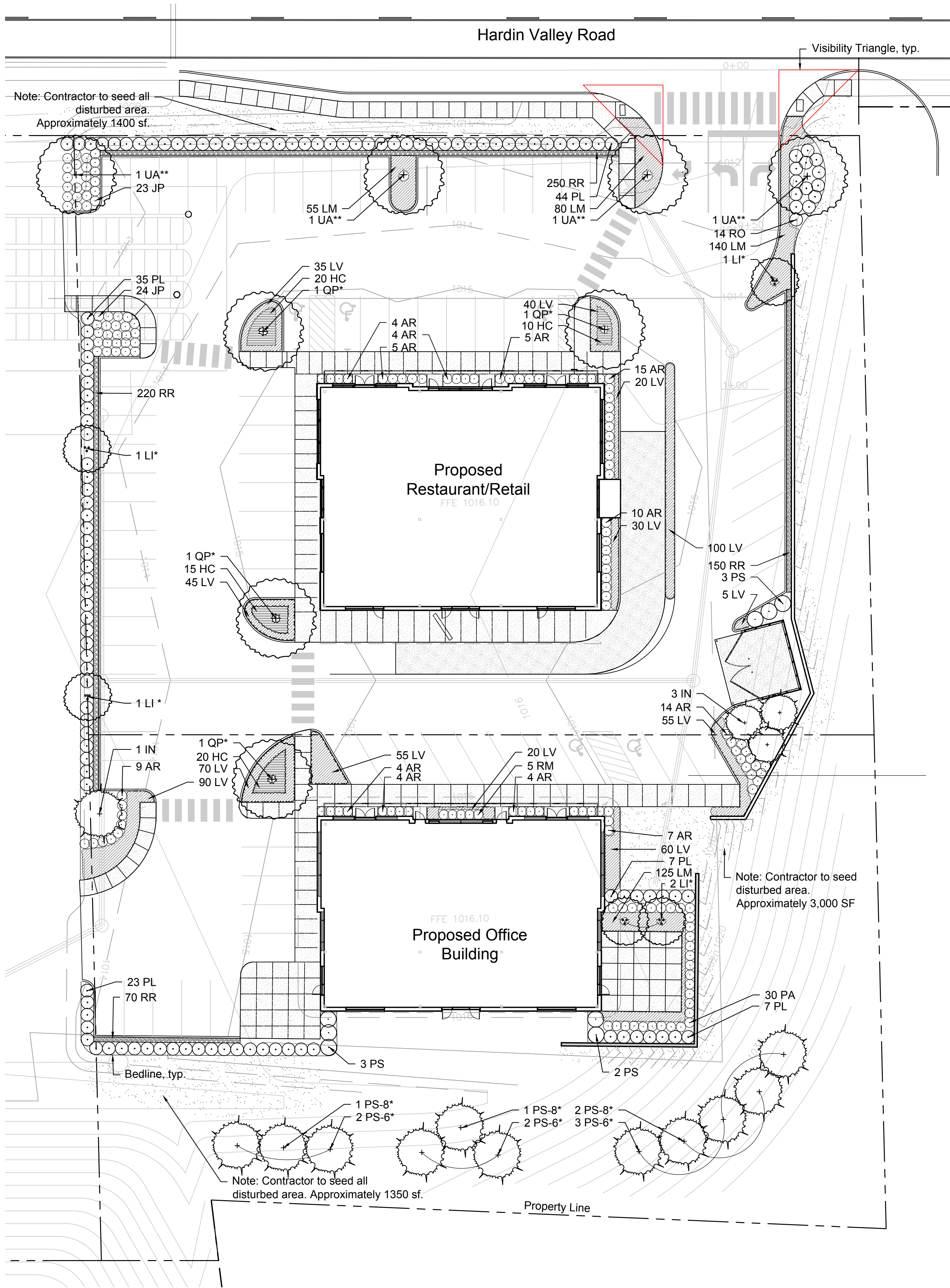
MPC01

CONCEPT GRADING PLAN  
DRAWING









Plant Schedule

Key	Quantity	Botanical Name	Common Name	Size	Notes
SHADE TREES					
QP	4	Quercus phellos	Willow Oak	2" cal.	6' CT -Central leader, full & matched
UA	4	Ulmus americana 'Princeton'	Princeton Elm	2" cal.	6' CT-central leader, full, well and low branched
EVERGREEN TREES					
IN	4	Ilex x 'Nellie R. Stevens'	Nellie Stevens Holly	8' hgt. min.	FTG, open branching
PS-6	7	Pinus strobus	White Pine	6' hgt. min.	Center leader, well branched
PS-8	4	Pinus strobus	White Pine	8' hgt. min.	Center leader, well branched
ORNAMENTAL TREES					
LI	5	Lagerstroemia indica x fauriei 'Natchez'	Natchez Crape Myrtle	8' hgt. min.	MT, 3 cane min., full & well branched, white flowers
SHRUBS					
AR	85	Abelia x 'Rose Creek'	Rose Creek Abelia	3 gal.	3' o.c., full & dense, pink flowers
JP	47	Juniperus parsoni	Parson's Juniper	3 gal.- 18" min. hgt.	3' o.c., full & dense
PL	116	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 gal.	4' o.c., full & dense
PS	8	Prunus laurocerasus 'Schipkaensis'	Schip Laurel	30" B&B	5' o.c., full & dense
RM	5	Rosa 'Meijocosa'	Pink Drift Rose	3 gal.	3' o.c., full & dense, pink flowers
RO	14	Rosa 'Radrizz'	Knockout Rose	3 gal.	4' o.c., full & dense, red flowers
GROUNDCOVERS & PERENNIALS					
HC	65	Hypericum calycinum	Creeping St. John's Wort	1gal.	24" o.c., yellow flower
LM	400	Liriope muscari 'Big Blue'	Big Blue Liriope	1 gal.	18" o.c.
LV	625	Liriope muscari 'Variegata'	Variegated Liriope	1 gal.	18" o.c.
ORNAMENTAL GRASSES					
PA	30	Pennisetum alopecuroides 'Cassian's Choice'	Cassian's Choice Pennisetum	3 gal.	3' o.c.
SEED					
SEED	5,700	Festuca arundinacea	Turf-type Tall Fescue	sf	
HARDSCAPE					
RR	690	River Rock		2"	3-4" Depth

Parking Lot Landscape Requirements (TTCDA)

**Stipulation:** Mature trees that are preserved within eight (8) feet of the parking area may be used to satisfy up to 50% of the required number of canopy trees.

Total number of trees preserved: 0

**Requirement A:** Trees shall be required at a rate of one (1) medium or large canopy tree for every ten parking spaces provided. In order to provide year-round greenery, at least 25% of newly planted trees should be evergreen.

Total number of parking spaces: 79  
Trees required: 8  
Trees provided: 9 (Notated on plan with \*)  
Evergreen trees provided: 15

**Requirement B:** A roughly equal combination of large, medium and small trees should be planted, with at least 10 large maturing trees per acre of yard space.

Acres of yard space:  
Front yard: .08 acre  
Side Yard: .22 acre  
Trees Required: 3  
Trees provided:  
4 Large Tree  
Total: 4 Trees Provided (notated on plan with \*\*)

**Requirement C:** In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.

Total parking surface area: 35,065 sf  
Plant bed area required: 1,753 sf  
Plant bed area provided: 3,000+ sf

Building Landscape Requirements

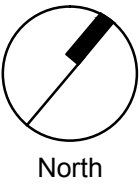
**Requirement D:** Areas around buildings equal to 50% of the area of each front and side elevation shall be planted with ornamental trees, shrubbery, and bedding plants.

Total building elevation: 10,625 sf  
Required plantings: 5,313 sf  
Plantings provided: 6,000+ sf

All disturbed areas to be seeded.

Note: See Sheet L200 for Planting Notes and Planting Details

Landscape Plan  
Scale: 1" = 20'-0"



4-H-18-UR  
Revised: 3/27/2018

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A NEW MIXED USE CENTER FOR  
**10810 HARDIN VALLEY RD.**  
KNOX COUNTY, TENNESSEE

**LANDSCAPE PLAN**

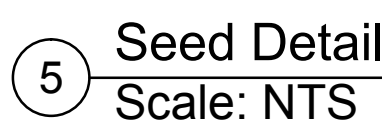
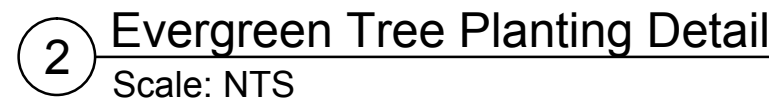
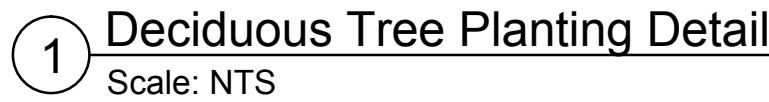
**LANDSCAPE PLAN**



- Contractor shall verify all existing conditions in the field and report any discrepancies to the Owner's Representative prior to starting work.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner's Representative.
- No to assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's Representative.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Landscape Architect prior to any changes.
- All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls; prepare perennial beds with a minimum of 12" planting loam; prepare groundcover beds with a minimum of 6" planting loam.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's Representative.
- All areas to be seeded shall receive soil preparation as specified prior to seeding or sodding, unless otherwise noted on plan.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by the Owner's Representative prior to use on site.
- See civil drawings for further information regarding:
  - Erosion and sediment control.
  - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
  - Limits of construction.
  - Locations of existing and proposed utilities or easements.
- Plant beds to join walks or walls at an angle between 90° & 60°.
- Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3' around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Square footage of seed quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.

1. Using a spade, dig a v-shape hole to a 6" depth; then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
2. A well mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
3. Mark the plan to show soil sample locations.
4. Send samples to A & L Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38133, 800-264-4522, [www.al-labs.com](http://www.al-labs.com).
5. Results to be copied to the Owner.

1. Dig a hole 18- 24" deep & a minimum of 6" wide.
2. Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet over night and test the following day.
3. Refill hole to within a couple inches of the top.
4. To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark soil on side of hole with nail or stick.
5. Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
6. Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.







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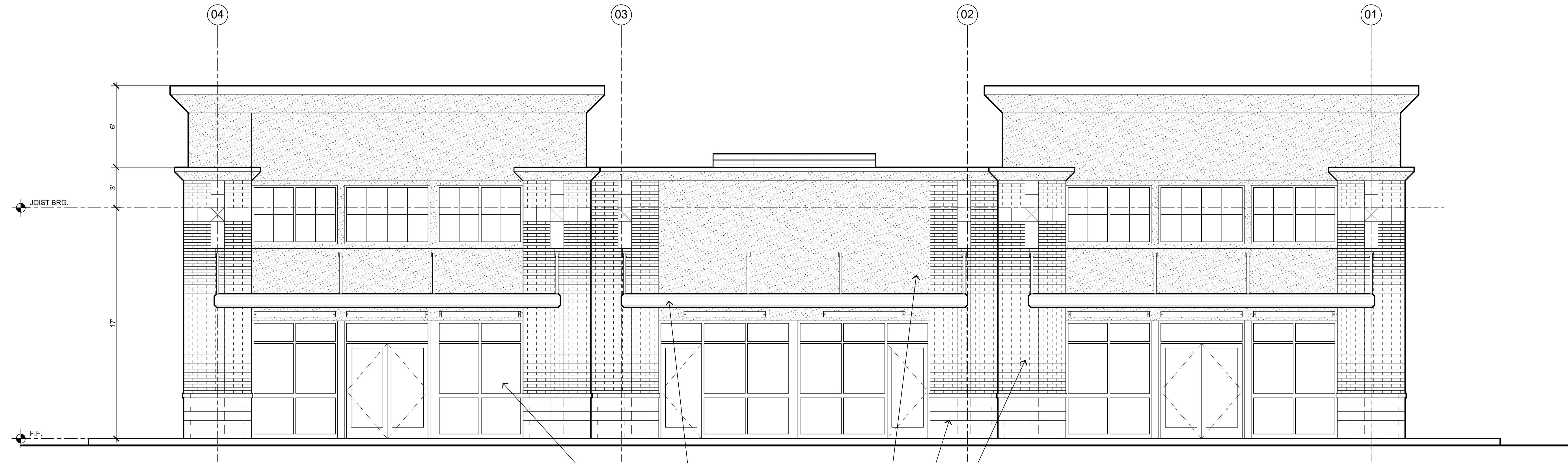
A NEW MIXED USE CENTER FOR  
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KNOX COUNTY, TENNESSEE  
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**EXTERIOR ELEVATIONS -  
OFFICE BLDG.**

DATE: 22 FEB 2018  
PROJECT NO.: 16110  
PROJECT MGR.: SHA

**A4.3**

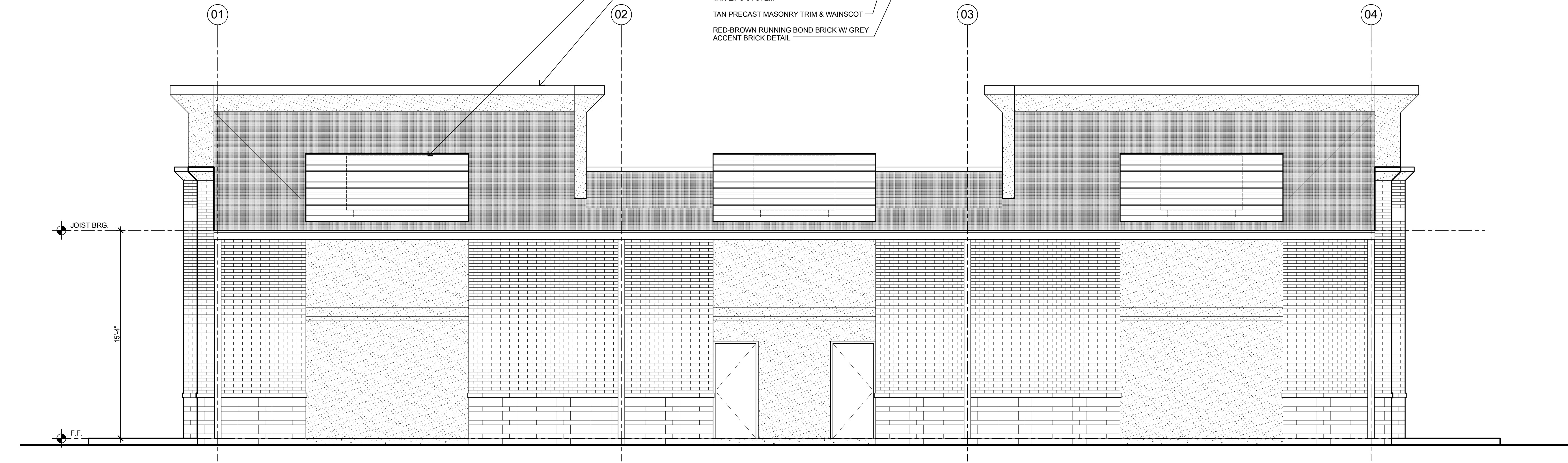


**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

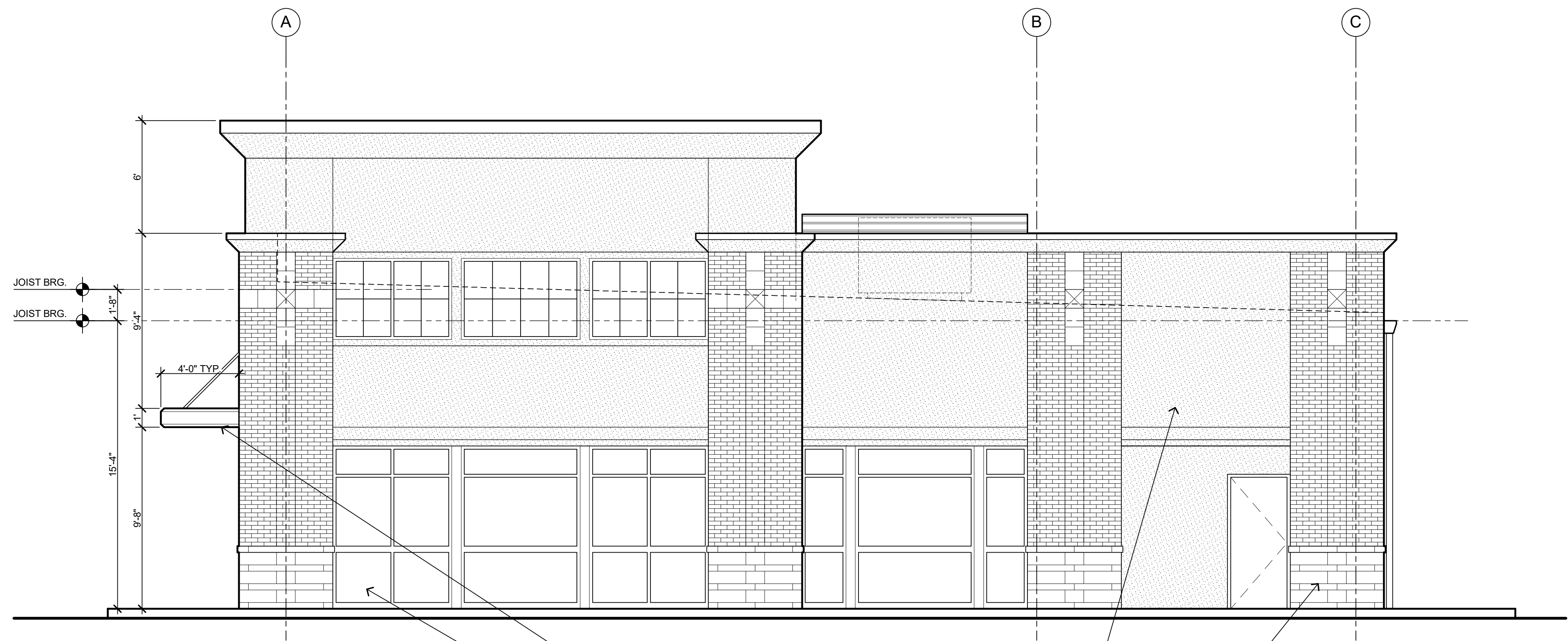
TYPICAL ELEVATION NOTES:

- DARK BRONZE CANTILEVERED CANOPY
- DARK BRONZE ALUM. STOREFRONT SYSTEM
- DASHED LINES INDICATE POSSIBLE LOCATION OF R.T.U. TO BE HIDDEN BEHIND WHITE DIMENSIONAL METAL PANEL WALL
- DARK BRONZE PREFIN. ALUM. COPING
- TAN EIFS SYSTEM
- TAN PRECAST MASONRY TRIM & WAINSCOT
- RED-BROWN RUNNING BOND BRICK W/ GREY ACCENT BRICK DETAIL

4-H-18-UR  
Revised: 3/27/2018

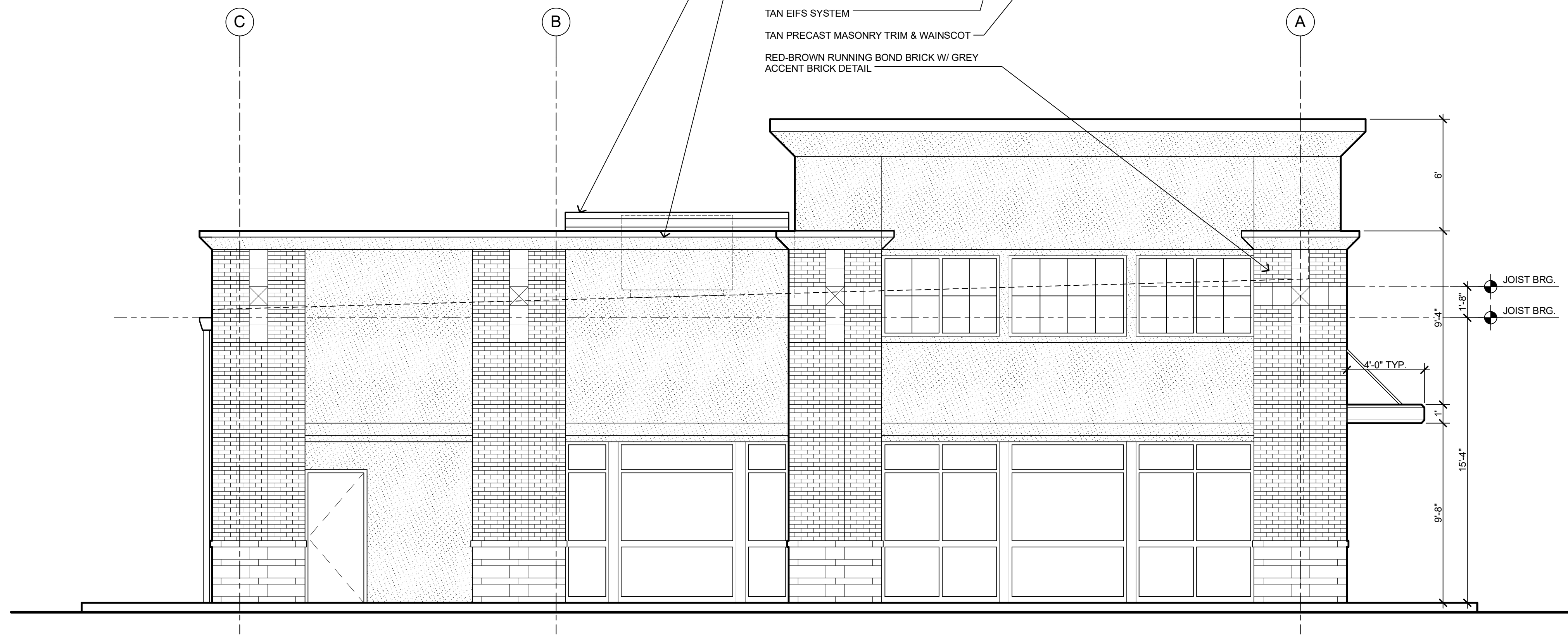


**2 SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION  
A4.4 SCALE: 1/4" = 1'-0"

- TYPICAL ELEVATION NOTES:
- DARK BRONZE CANTILEVERED CANOPY
  - DARK BRONZE ALUM. STOREFRONT SYSTEM
  - DASHED LINES INDICATE POSSIBLE LOCATION OF R.T.U. TO BE HIDDEN BEHIND WHITE DIMENSIONAL METAL PANEL WALL
  - DARK BRONZE PREFIN. ALUM. COPING
  - TAN EIFS SYSTEM
  - TAN PRECAST MASONRY TRIM & WAINSCOT
  - RED-BROWN RUNNING BOND BRICK W/ GREY ACCENT BRICK DETAIL



2 EAST ELEVATION  
A4.4 SCALE: 1/4" = 1'-0"

4-H-18-UR  
Revised: 3/27/2018

**GEORGE ARMOUR EWART ARCHITECT**  
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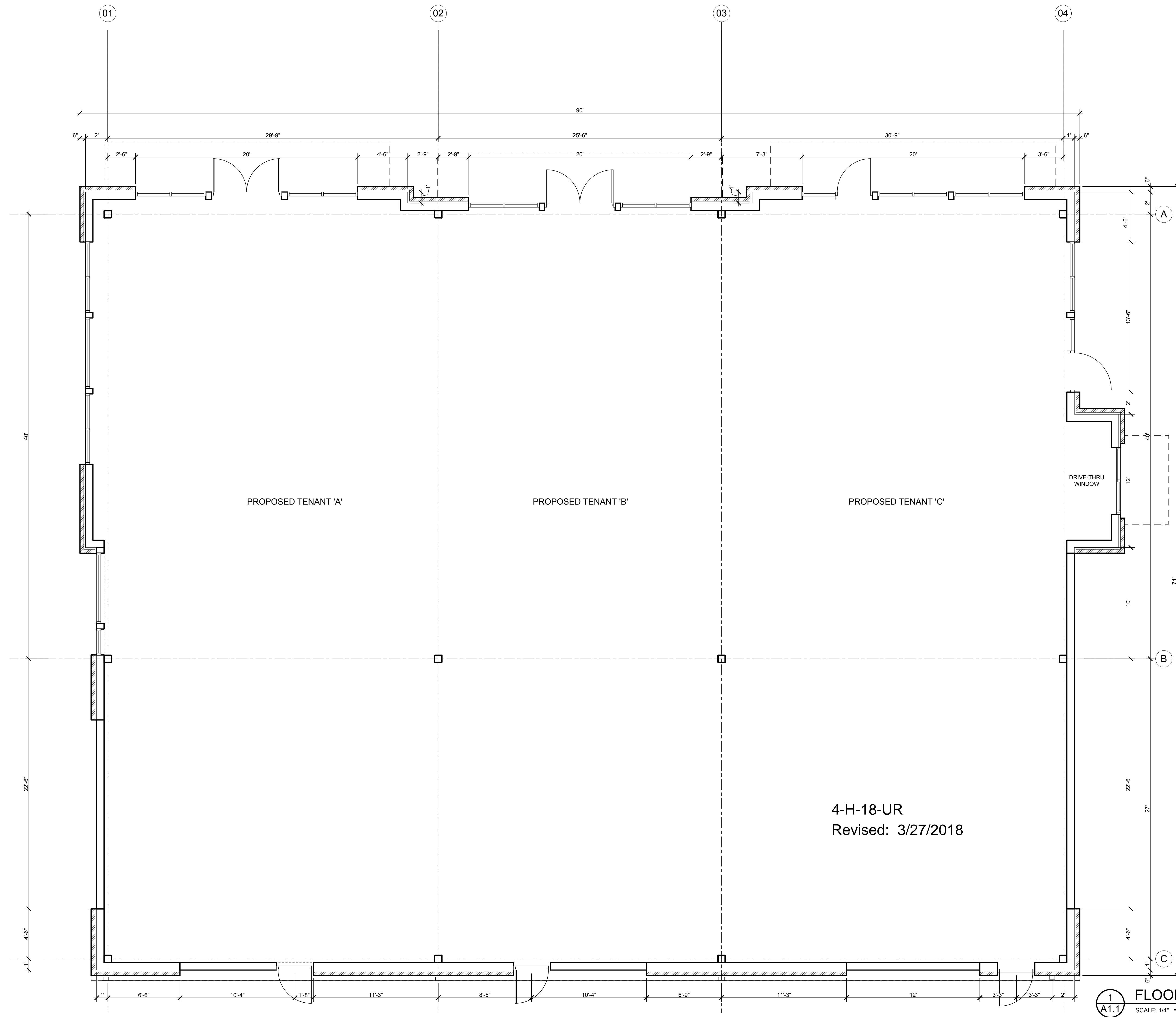
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EXTERIOR ELEVATIONS -  
OFFICE BLDG.

DATE: 22 FEB 2018  
PROJECT NO.: 16110  
PROJECT MGR.: SHA

**A4.4**



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**FLOOR PLAN -  
RESTAURANT/RETAIL BLDG.**

DATE: 26 FEB 2018  
PROJECT NO.: 18009  
PROJECT MGR.: SHA

1  
A1.1

**FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**A1.1**



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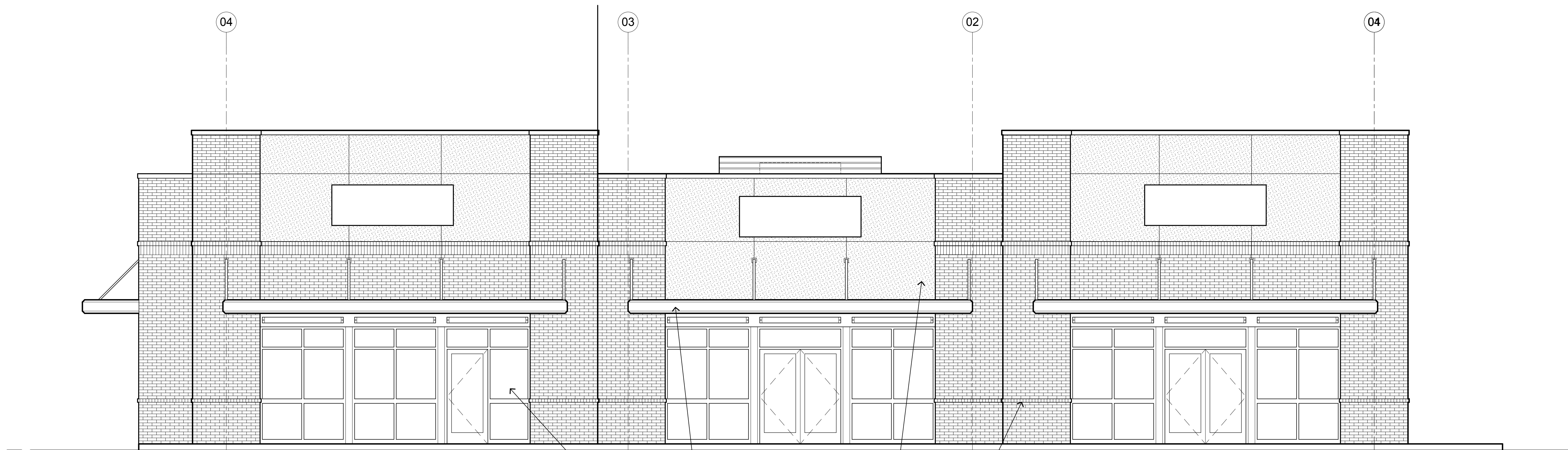
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**EXTERIOR ELEVATIONS -  
RESTAURANT/RETAIL BLDG**

DATE: 26 FEB 2018  
PROJECT NO.: 18009  
PROJECT MGR.: SHA

**A4.1**



1  
A4.1

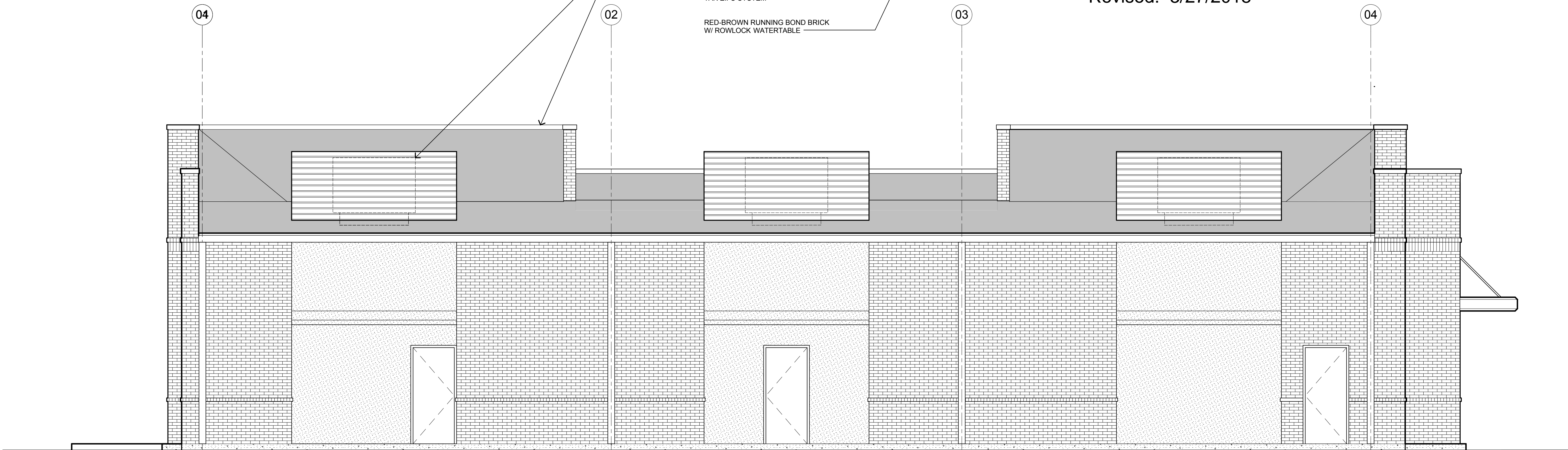
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"

**TYPICAL ELEVATION NOTES:**

- DARK BRONZE CANTILEVERED CANOPY
- DARK BRONZE ALUM. STOREFRONT SYSTEM
- R.T.U. HIDDEN BEHIND PRE-ENG. SCREEN SYSTEM W/ PAC-CLAD DARK BRONZE 7'2"x1'-1/2" CORRUG. ALUM. PANELS - SEE STRUCT'L
- DARK BRONZE PREFIN. ALUM. COPING
- TAN EIFS SYSTEM
- RED-BROWN RUNNING BOND BRICK W/ ROWLOCK WATERTABLE

4-H-18-UR  
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2  
A4.1

**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"





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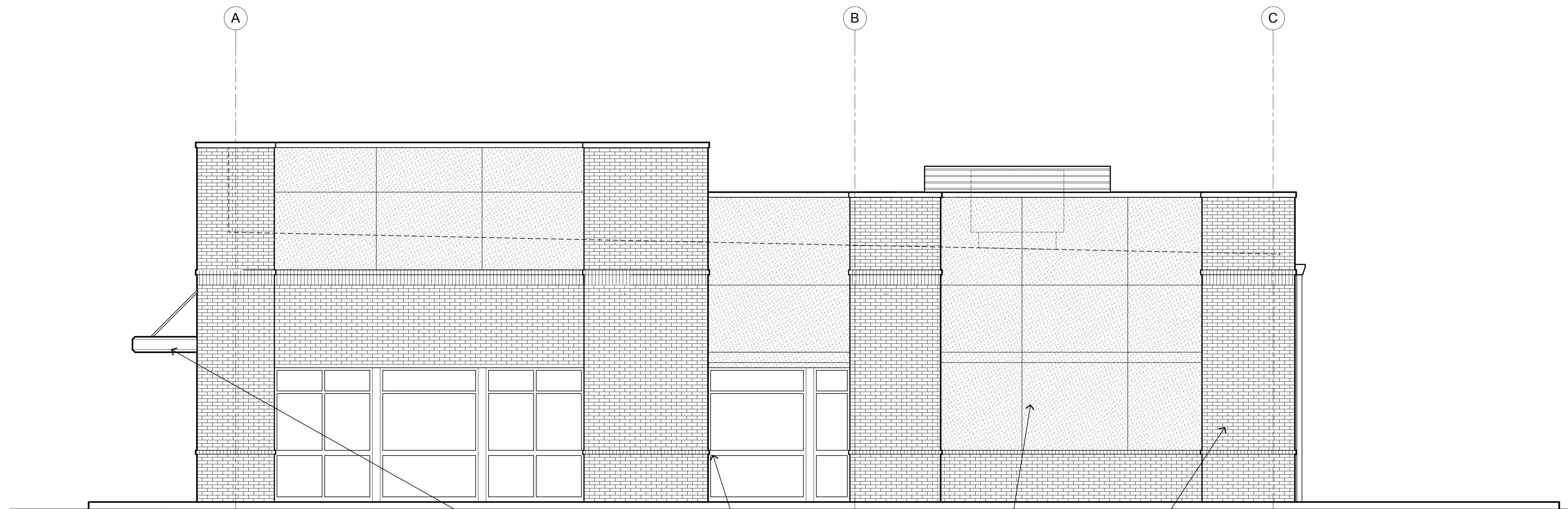
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**EXTERIOR ELEVATIONS -  
RESTAURANT/RETAIL BLDG.**

DATE: 26 FEB 2018  
PROJECT NO.: 18009  
PROJECT MGR.: SHA

**A4.2**



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

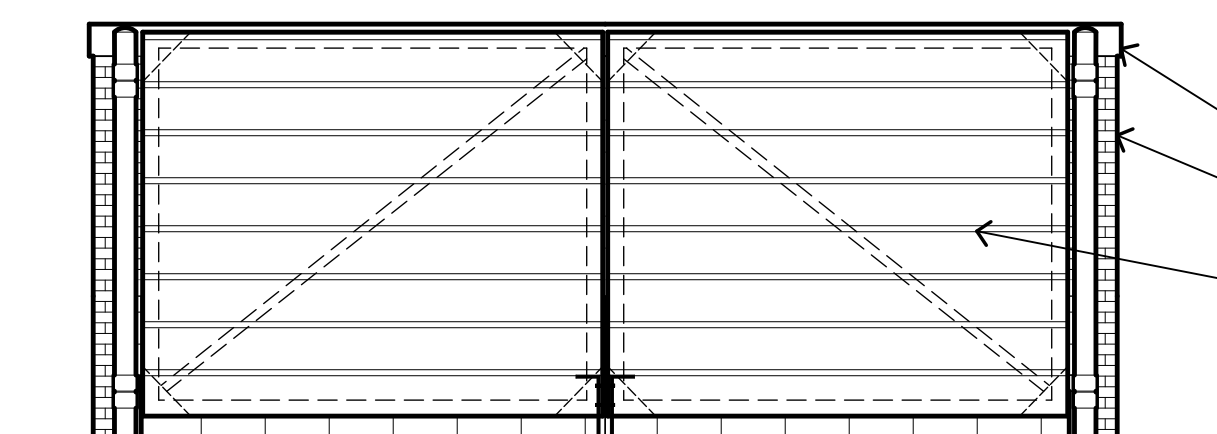
TYPICAL DUMPSTER ENCLOSURE NOTES:

- DARK BRONZE PREFIN. ALUM. COPING
- RED-BROWN RUNNING BOND BRICK W/ GREY  
ACCENT BRICK DETAIL
- DARK BRONZE DIMENSIONAL METAL PANEL  
SIDING ON DARK BRONZE PTD. STEEL GATE &  
BOLLARDS

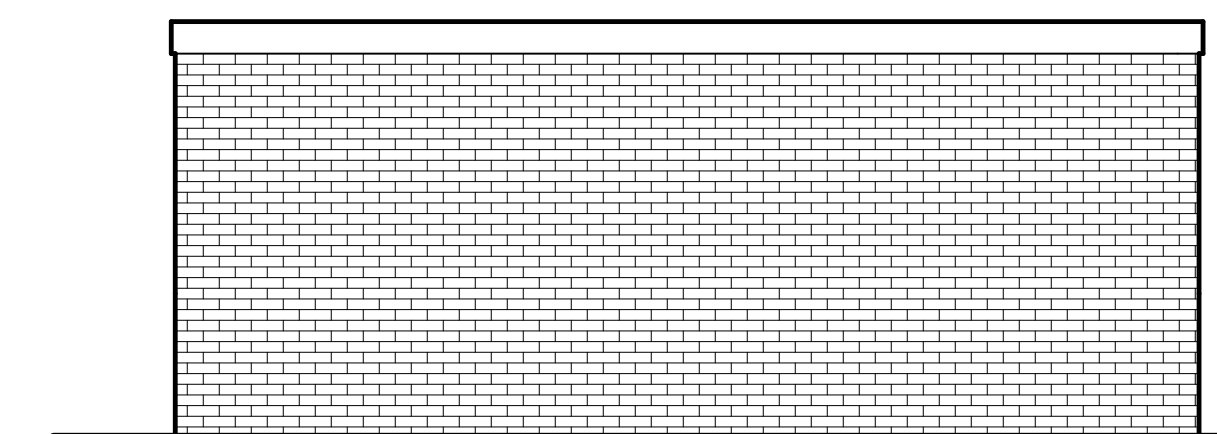
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- DARK BRONZE CANTILEVERED CANOPY
- R.T.U. HIDDEN BEHIND PRE-ENG. SCREEN  
SYSTEM W/ PAC-CLAD DARK BRONZE 7.2"x1-  
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- DARK BRONZE PREFIN. ALUM. COPING
- TAN EIFS SYSTEM
- RED-BROWN RUNNING BOND BRICK W/  
ROWLOCK WATER TABLE

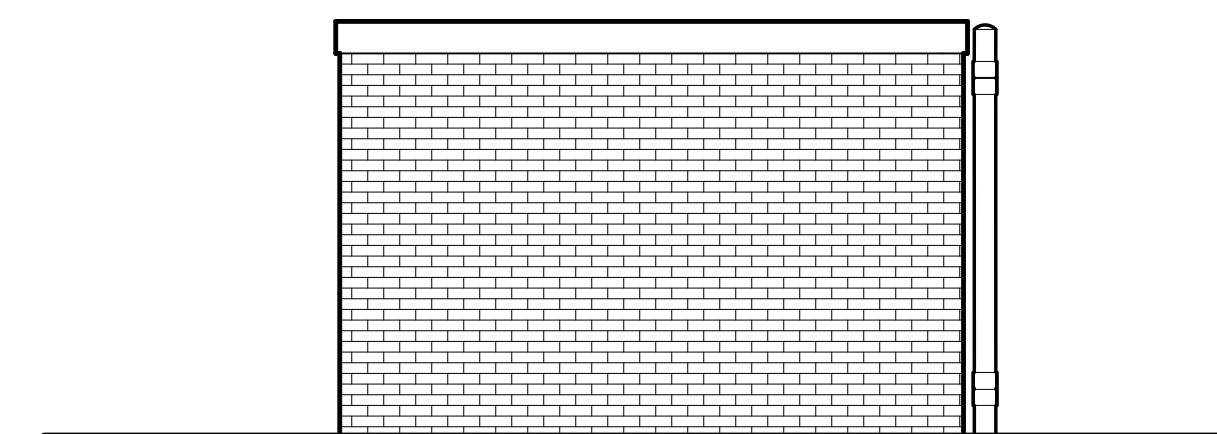
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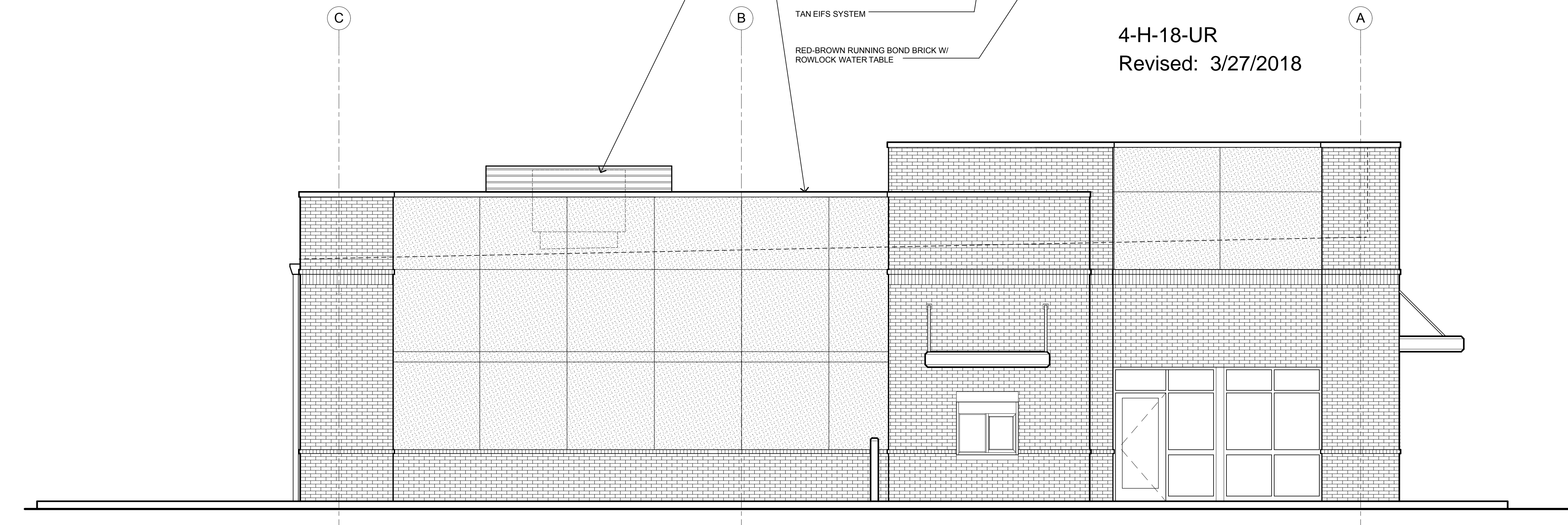
**3 DUMPSTER ENCLOSURE - FRONT**  
SCALE: 1/4" = 1'-0"



**4 DUMPSTER ENCLOSURE - BACK**  
SCALE: 1/4" = 1'-0"



**5 DUMPSTER ENCLOSURE - SIDES**  
SCALE: 1/4" = 1'-0"



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"