

CERTIFICATE OF OWNERSHIP AND GENERAL DEDICATION.

(I, WE), THE UNDERSIGNED OWNER(S) OF THE PROPERTY SHOWN HEREIN, HEREBY ADOPT THIS AS (MY, OUR) PLAN OF SUBDIVISION AND DEDICATE THE STREETS AS SHOWN TO THE PUBLIC USE FOREVER AND HEREBY CERTIFY THAT (I AM, WE ARE) THE OWNER(S) IN FEE SIMPLE OF THE PROPERTY, AND AS PROPERTY OWNER(S) HAVE AN UNRESTRICTED RIGHT TO DEDICATE RIGHT-OF-WAY AND/OR GRANT EASEMENT AS SHOWN ON THIS PLAT.

OWNER(S) _____
PRINTED NAME: BALLCAMP PARTNERS, LLC

SIGNATURE(S): _____

DATE: _____

TAXES AND ASSESSMENTS

THIS IS TO CERTIFY THAT ALL PROPERTY TAXES AND ASSESSMENTS DUE ON THIS PROPERTY HAVE BEEN PAID.

SIGNED: _____ CITY TAX CLERK _____ DATE _____

SIGNED: _____ KNOX COUNTY TRUSTEE _____ DATE _____

ADDRESSING DEPARTMENT CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE SUBDIVISION NAME AND ALL STREET NAMES CONFORM TO THE KNOXVILLE OR KNOX COUNTY STREET NAMING AND ADDRESSING ORDINANCE, THE ADDRESSING GUIDELINES AND PROCEDURES, AND THESE REGULATIONS.

SIGNED: _____

DATE: _____

ZONING _____

ZONING SHOWN ON OFFICIAL MAP _____

BY: _____ DATE: _____

KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS.

THE KNOX COUNTY DEPARTMENT OF ENGINEERING AND PUBLIC WORKS HEREBY APPROVES THIS PLAT ON THIS _____ DAY OF _____ 20____.

ENGINEERING DIRECTOR

CERTIFICATION OF APPROVAL OF PUBLIC SANITARY SEWER SYSTEM - MAJOR SUBDIVISIONS

I HEREBY CERTIFY THAT THE UTILITY PROVIDER WAS CONTACTED BY THE DEVELOPER OR OWNER OF THE PROPERTY TO DETERMINE THE STATUS OF THE PUBLIC SANITARY SEWER SYSTEM AND THE PUBLIC SANITARY SEWER SYSTEM WAS INSTALLED, OR WILL BE INSTALLED, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

UTILITY PROVIDER _____

AUTHORIZED SIGNATURE FOR UTILITY _____ DATE _____

CERTIFICATION OF APPROVAL OF PUBLIC WATER SYSTEM - MAJOR SUBDIVISIONS

I HEREBY CERTIFY THAT THE UTILITY PROVIDER WAS CONTACTED BY THE DEVELOPER OR OWNER OF THE PROPERTY TO DETERMINE THE STATUS OF THE PUBLIC WATER SYSTEM AND THE PUBLIC WATER SYSTEM WAS INSTALLED, OR WILL BE INSTALLED, IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS.

UTILITY PROVIDER _____

AUTHORIZED SIGNATURE FOR UTILITY _____ DATE _____

CERTIFICATION OF FINAL PLAT - ALL INDICATED MARKERS, MONUMENTS AND BENCHMARKS TO BE SET WHEN CONSTRUCTION IS COMPLETED.

I HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR LICENSED TO PRACTICE SURVEYING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THIS PLAT AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO THE BEST OF MY KNOWLEDGE, TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED, DESCRIBED AND JUSTIFIED IN A REPORT FILED WITH THE PLANNING COMMISSION, OR FOR VARIANCES AND WAIVERS WHICH HAVE BEEN APPROVED AS IDENTIFIED ON THE FINAL PLAT. THE BOND OR OTHER SECURITY THAT IS POSTED TO GUARANTEE THE COMPLETION OF STREETS AND RELATED IMPROVEMENTS SHALL ALSO GUARANTEE THE INSTALLATION OF THE INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, BENCHMARKS AND PROPERTY MONUMENTS IN THIS SUBDIVISION UPON COMPLETION OF THE SUBDIVISION.

REGISTERED LAND SURVEYOR _____

TENNESSEE LICENSE NO. _____ DATE: _____

GUARANTEE OF COMPLETION OF STREETS AND RELATED IMPROVEMENTS.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO ENSURE COMPLETION OF ALL STREETS AND RELATED IMPROVEMENTS INCLUDING INDICATED PERMANENT REFERENCE MARKERS AND MONUMENTS, BENCHMARKS AND PROPERTY MONUMENTS IN THIS SUBDIVISION IN ACCORDANCE WITH REQUIRED STANDARDS AND SPECIFICATIONS.

SIGNED: _____ DATE: _____

DEPARTMENT: _____ TITLE: _____

GUARANTEE OF COMPLETION OF STORMWATER FACILITIES.

I, THE UNDERSIGNED, HEREBY CERTIFY THAT A BOND OR OTHER SECURITY HAS BEEN POSTED WITH THE APPROPRIATE AGENCY TO ENSURE COMPLETION AND STABILIZATION OF ALL STORMWATER FACILITIES AS SHOWN ON THE STORMWATER PLANS WHICH WERE APPROVED

THE _____ DAY OF _____ 20____.

SIGNED: _____ DATE: _____

DEPARTMENT: _____ TITLE: _____

PLANNING COMMISSION CERTIFICATION OF APPROVAL FOR RECORDING - FINAL PLAT

THIS IS TO CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS OF KNOXVILLE AND KNOX COUNTY AND WITH EXISTING OFFICIAL PLANS, WITH THE EXCEPTION OF ANY VARIANCES AND WAIVERS NOTED ON THIS PLAT AND IN THE MINUTES OF THE KNOXVILLE-KNOX COUNTY PLANNING COMMISSION, ON THIS _____

THE _____ DAY OF _____ AND THAT THE RECORD PLAT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE KNOX COUNTY REGISTER OF DEEDS, PURSUANT TO SECTION 13-3-405 OF TENNESSEE CODE, ANNOTATED. THE APPROVAL OF THIS PLAT BY THE PLANNING COMMISSION SHALL NOT BE DEEMED TO CONSTITUTE OR EFFECT AN ACCEPTANCE BY THE CITY OF KNOXVILLE OR KNOX COUNTY OF THE DEDICATION OF ANY STREET OR OTHER GROUND UPON THE PLAT.

SIGNED: _____

DATE: _____

LEGEND table with symbols for IRON PIN FOUND 1/2" DIA. REBAR, IRON PIN SET 1/2" DIA. REBAR W/ PLASTIC CAP, PERMANENT REFERENCE MARKER, DRAINAGE EASEMENT, UTILITY EASEMENT, COMMON AREA, CATCH BASIN, JUNCTION BOX, DRAINAGE EASEMENT, PERIPHERAL SETBACK, ROADWAY CENTERLINE, COUNTY LINE, FENCE, POWER POLE, WATER METER, POWERLINE, ELECTRICAL BOX, GAS LINE, WATER LINE, EXISTING SANITARY SEWER MANHOLE, JUNCTION BOX, HEADWALL.

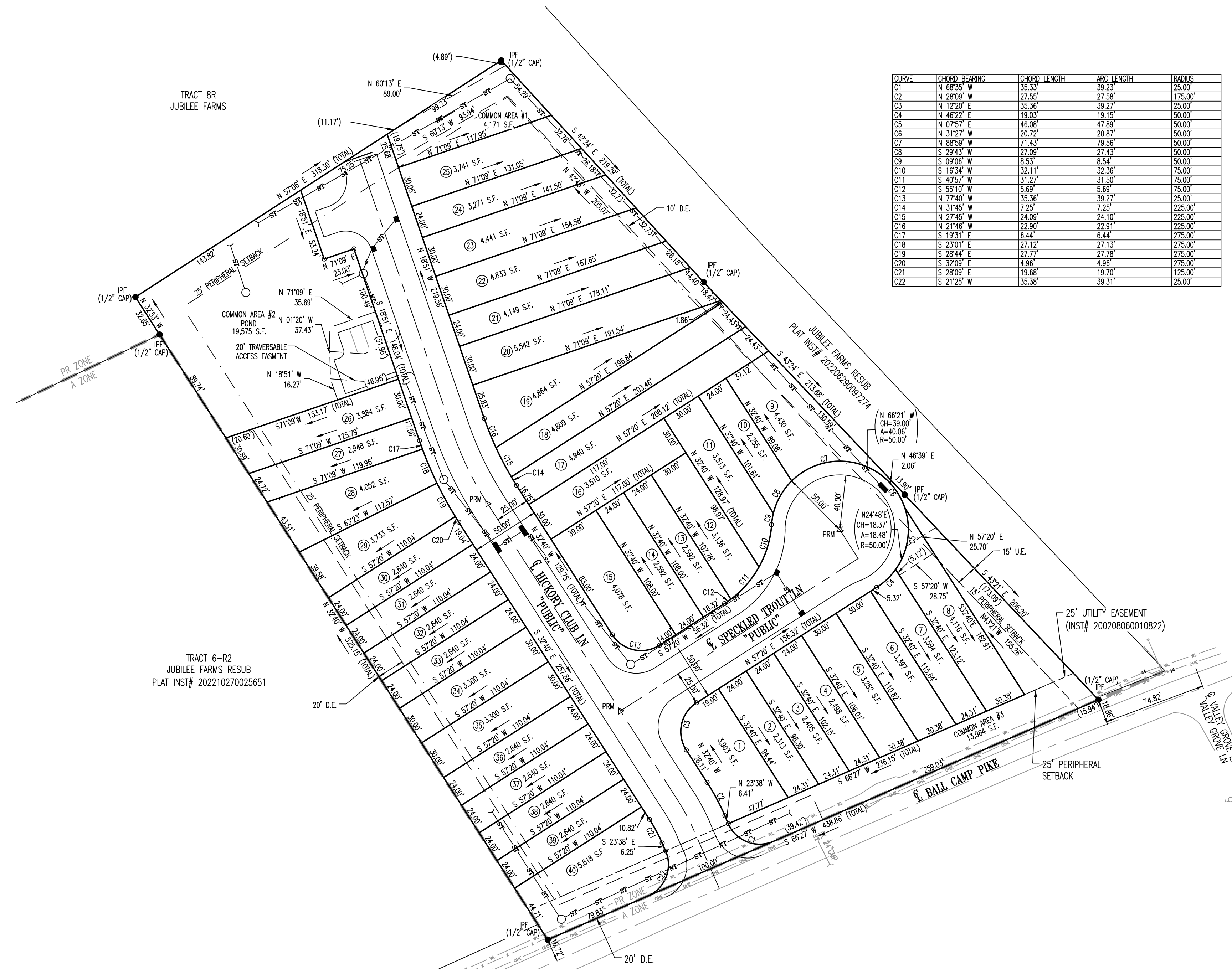
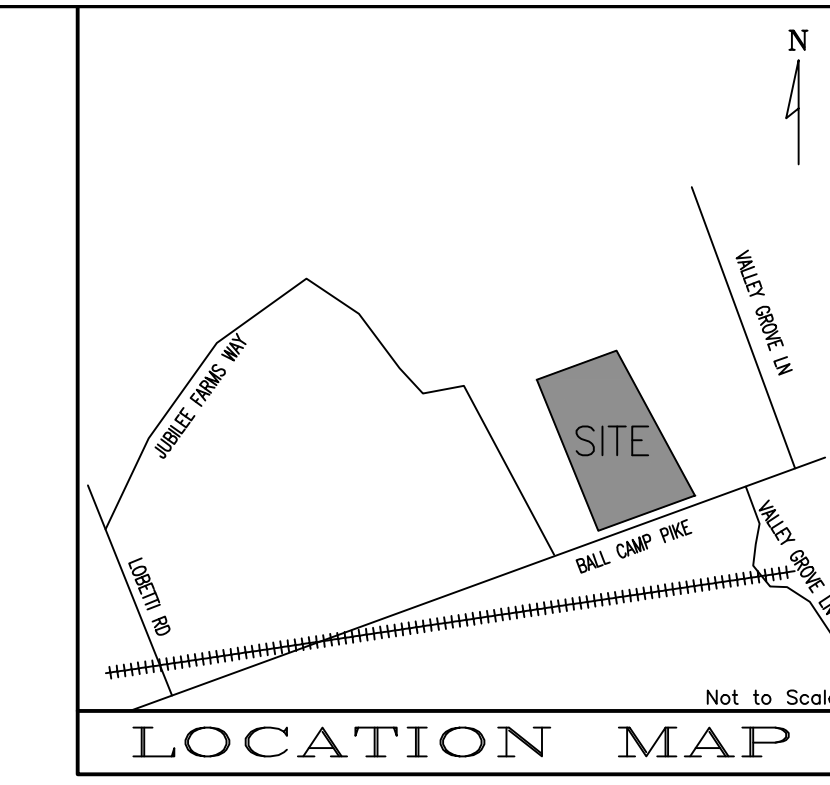


Table with columns: CURVE, CHORD BEARING, CHORD LENGTH, ARC LENGTH, RADIUS. Lists curves C1 through C22 with their respective measurements.



- NOTES: 1. IRON PINS FOUND (IPF) SHOWN ON PLAT. ALL OTHERS SET BY BHNAP, UNLESS NOTED OTHERWISE ON PLAT. 2. THE REQUIRED UTILITY AND DRAINAGE EASEMENT SHALL BE TEN (10) FEET IN WIDTH INSIDE ALL EXTERIOR LOT LINES ADJOINING STREETS AND PRIVATE RIGHTS-OF-WAY... 3. SANITARY SEWER EASEMENT OF 15', 7.5' EACH SIDE OF SEWER AS INSTALLED (WHERE APPLICABLE). 4. QUALITY OF NORTH IS BASED ON GLOBAL POSITIONING SYSTEM DATA COLLECTED IN REAL TIME USING THE TENNESSEE GEODETIC REFERENCE NETWORK... 5. ALL OR PART OF THIS SURVEY WAS PERFORMED USING A DUAL FREQUENCY CARLSON BRV7 GPS RECEIVER... 6. THIS PROPERTY IS ZONED PR-8 DU/AC. 7. THIS SUBDIVISION CONTAINS 5.05 ACRES AND IS SUBDIVIDED INTO 40 ATTACHED LOTS, 3 COMMON AREAS, AND PUBLIC RIGHT-OF-WAY. 8. BUILDING SETBACK LINES WILL BE AS FOLLOWS: FRONT...20' (0' UNDER BUILDINGS) SIDES...5' (0' UNDER BUILDINGS) REAR...15' PERIPHERAL: 25' & 15' (SEE MAP FOR LOCATIONS) 9. FOR APPROVED SUBDIVISION VARIANCES AND CONDITIONS OF APPROVAL OF THE CONCEPT AND USE ON REVIEW PLAN, REFER TO THE KNOXVILLE/KNOX COUNTY PLANNING'S FILES 8-SB-25-05 & 8-S-25-0P. 10. THE HOMEOWNERS ASSOCIATION IS ESTABLISHED AND RECORDED AS INSTR.#202603240053086. 11. PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING STORMWATER FACILITIES ON THEIR PROPERTY. THE COVENANTS FOR MAINTAINING STORMWATER FACILITIES ARE RECORDED AS INSTR.#. 12. THIS IS A CATEGORY 1 SURVEY AS DEFINED IN SECTION 0820-03-05 "ACCURACY OF SURVEYS" IN THE RULES OF TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYS. 13. THE PURPOSE OF THIS PLAT IS TO CREATE A 40 LOT SUBDIVISION. 14. VARIANCE APPROVED BY KNOX COUNTY ENGINEERING & PUBLIC WORKS AT THE APRIL 9 2026 KNOXVILLE/KNOX COUNTY PLANNING MEETING ALLOWING THE AASHTO TURN AROUND IN LIEU OF A CUL-DE-SAC FOR HICKORY CLUB LANE. 15. ALTERNATIVE DESIGN STANDARDS APPROVED BY KNOXVILLE KNOX COUNTY PLANNING COMMISSION AT IT'S AUGUST 14, 2025 MEETING: a) REDUCE STREET FRONTAGE FROM 25' TO 24' IN THE PLANNED RESIDENTIAL ZONE. 16. THE DESIGN PLAN WAS APPROVED BY KNOX COUNTY ENGINEERING AND PUBLIC WORKS ON OCTOBER 29, 2025. 17. ALL LOTS WILL HAVE VEHICULAR ACCESS TO INTERIOR ROAD SYSTEM ONLY. 18. SIGHT DISTANCE OF AT LEAST 400' IS PROVIDED AT THE INTERSECTION OF HICKORY CLUB LANE AND BALL CAMP PIKE IN BOTH DIRECTIONS AS SPECIFIED BY THE KNOXVILLE/KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS. 19. HICKORY CLUB LANE WILL PROVIDE A FUTURE CONNECTION TO TRACT 8 OF THE JUBILEE FARMS.



CERTIFICATION OF CATEGORY AND ACCURACY OF SURVEY: For boundary aspects of this survey, RTK GPS positional data was observed on 8-29-25 utilizing a Carlson BRV7 GNSS Receiver. The grid coordinates of the Fixed Station(s) shown were derived using a VRS network of CORS stations referenced to NAD 83 (2011)(Epoch 2010) Geoid 18. Positional accuracy of the GPS vectors does not exceed: H 0.05, V 0.10 combined grid factor: 0.99994965 centered on TN15 as shown hereon. I hereby certify that this is a Category IV survey and the ratio of precision of the unadjusted survey is not less than 1:10,000 as shown hereon and that said survey was prepared in compliance with the current edition of the Rules of Tennessee State Board of Examiners for Land Surveyors - Standards of Practice.

FINAL PLAT OF VALLEY GROVE VILLAS (A RESUBDIVISION OF TRACT 7, JUBILEE FARMS) TAX MAP 91, PARCEL 201.03 6TH CIVIL DISTRICT, KNOX COUNTY, TENNESSEE SCALE: 1" = 50' FEBRUARY 17, 2026 OWNER/DEVELOPER BALL CAMP PARTNERS, LLC 7507 BALL CAMP PIKE KNOXVILLE, TN 37931 DEED REFERENCE: INSTR# 202510160022167 PLAT REFERENCE: INSTR# 202008060010565