

LOCATION MAP (N.T.S.)



Certification of Concept Plan by Registered Engineer

I hereby certify that I am a registered engineer, licensed to practice engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform, to the best of my knowledge, to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Planning Commission.

Registered Engineer: *Garrett M. Tucker*

Tennessee License No. 104281

Date: 4-17-26

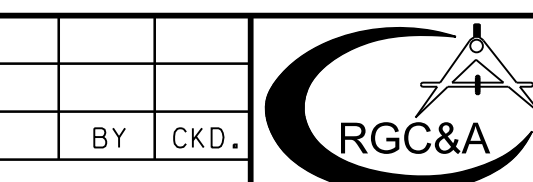
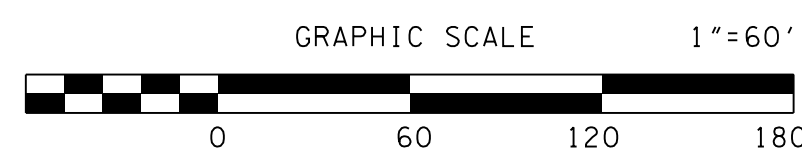


- Standard Notes:
- This is a priority construction activity.
  - Adequate drainage, erosion and sediment control measures, best management practices and/or other stormwater management facilities shall be provided and maintained at all times during construction. Damages to adjacent property and/or the construction site caused by the contractor's or property owner's failure to provide and maintain adequate drainage and erosion/sediment control for the construction area shall be the responsibility of the property owner and/or contractor.
  - Quality assurance of erosion prevention and sediment controls shall be conducted by qualified personnel performing site assessment at each outfall involving drainage totaling 10 or more acres, or five or more acres if draining to impaired or exceptional waters. This assessment will be conducted at each qualifying outfall within a month of construction commencement. (see GCP sec 3.1.2 for assessment language)
  - Fugitive sediment that has escaped the construction site must be removed so that it is not subsequently washed into storm sewers and/or streams by the next rain and/or so that it does not pose a safety hazard to users of public streets. Arrangements concerning removal of sediment on adjoining property must be settled by the permittee with the adjoining land owner.
  - Sediment should be removed from sediment traps, silt fences, sedimentation ponds, other sediment controls when design capacity has been reduced by 50%.
  - Litter, construction debris, and construction chemicals exposed to stormwater shall be picked up prior to anticipated storm events or before being carried off the site by wind, or otherwise prevented from becoming a pollution source for stormwater discharges.
  - Preconstruction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is seeded and/or mulched or other temporary cover is installed.
  - Existing vegetation should be preserved to the maximum extent practicable.
  - Temporary or permanent soil stabilization must be completed no later than 15 days after the construction activity in that portion of the site has permanently or temporarily ceased. Steep slopes (2-35%) must be permanently or temporarily stabilized within 7 days.
  - Site inspections shall be performed at least twice weekly at a minimum of 72 hours apart on all unstabilized sites.

LEGEND

- ⊙ EIP EXISTING IRON PIN
- ⊕ MANHOLE
- LIGHT POLE
- ⊗ FIRE HYDRANT
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ POWER BOX
- ⊕ SIGN
- ⊕ SANITARY SEWER CLEANOUT
- ⊕ S.V. SEWER SERVICE

- SF \* SF \* SF \* SF SILT FENCE
- ⊕ CONSTRUCTION EXIT
- ⊕ STORM DRAIN INLET PROTECTION
- ⊕ STORM DRAIN OUTLET PROTECTION
- OVERLAND DRAINAGE PATTERN
- MA EROSION CONTROL MATTING
- CD ROCK CHECK DAM
- - - 1150 - - - EXISTING GRADE
- 1150 — PROPOSED GRADE



ROBERT G. CAMPBELL & ASSOC., L.P.  
CONSULTING ENGINEERS  
KNOXVILLE, TENNESSEE

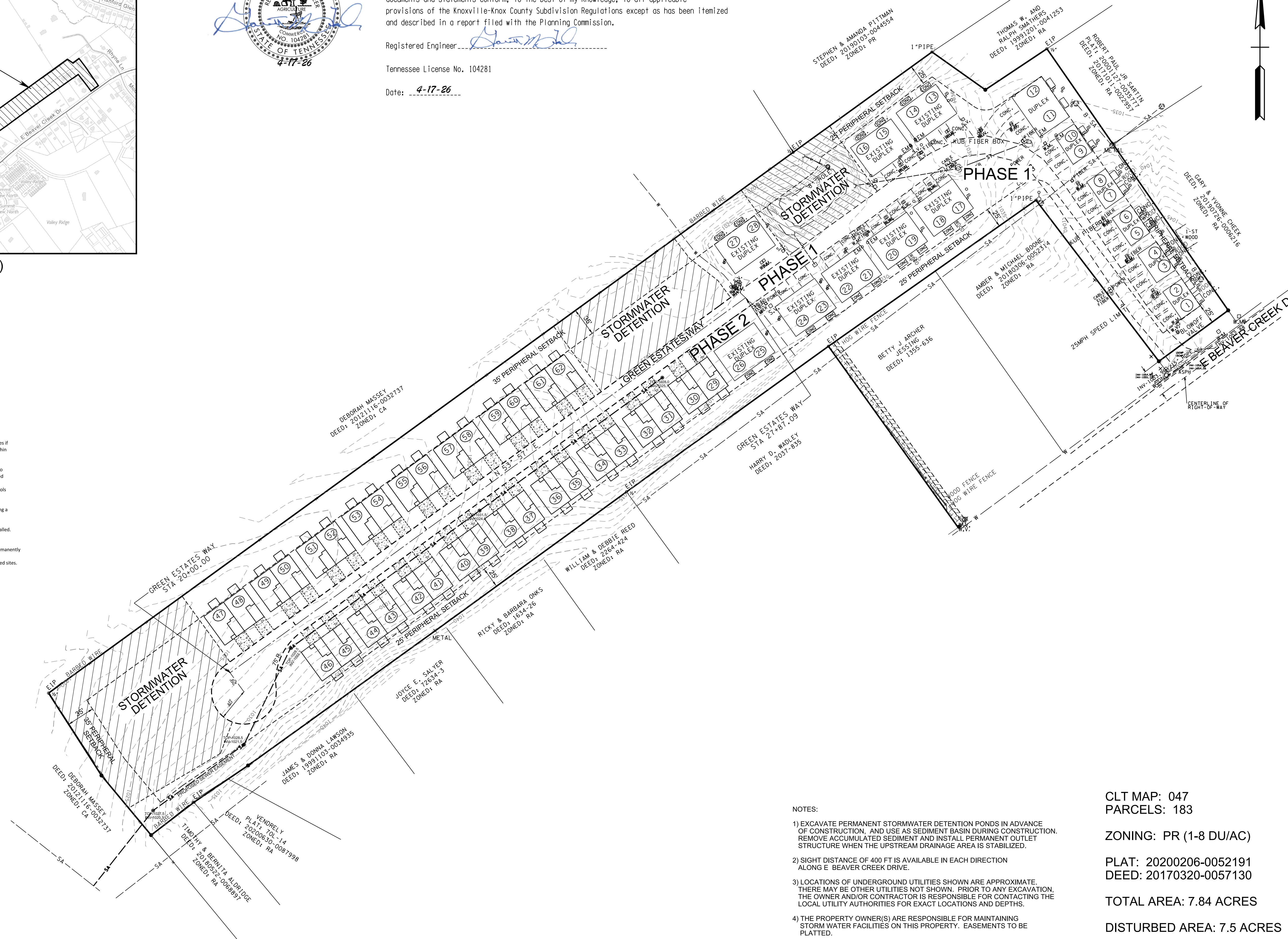
ENGINEER:  
ROBERT G. CAMPBELL & ASSOCIATES  
7523 TAGGART LN  
KNOXVILLE, TN 37849  
(865) 947-5996

DEVELOPER:  
DARREN F. GREEN  
7200 THORNBROOK DRIVE  
KNOXVILLE, TN 37849  
(865) 740-6961  
dfgreen1972@gmail.com

GREEN ESTATES - PHASE 2  
SITE DEVELOPMENT PLAN

GENERAL LAYOUT  
PLANNING SERVICES FILE NO: 5-A-26-DP

DESIGNED BY GMT	CHECKED BY RGC	SCALE 1" = 60'	SHEET NO. C1
DRAWN BY GMT	DATE 4-17-26	FILE NO. 17038	



NOTES:

- EXCAVATE PERMANENT STORMWATER DETENTION PONDS IN ADVANCE OF CONSTRUCTION, AND USE AS SEDIMENT BASIN DURING CONSTRUCTION. REMOVE ACCUMULATED SEDIMENT AND INSTALL PERMANENT OUTLET STRUCTURE WHEN THE UPSTREAM DRAINAGE AREA IS STABILIZED.
- SIGHT DISTANCE OF 400 FT IS AVAILABLE IN EACH DIRECTION ALONG E BEAVER CREEK DRIVE.
- LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. THERE MAY BE OTHER UTILITIES NOT SHOWN. PRIOR TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE LOCAL UTILITY AUTHORITIES FOR EXACT LOCATIONS AND DEPTHS.
- THE PROPERTY OWNER(S) ARE RESPONSIBLE FOR MAINTAINING STORM WATER FACILITIES ON THIS PROPERTY. EASEMENTS TO BE PLATTED.
- ACCESS TO ALL UNITS FROM INTERNAL ROAD SYSTEM ONLY.
- A 15' SANITARY SEWER EASEMENT EXISTS ALONG SANITARY SEWER LINE, 7.5' EACH SIDE AS INSTALLED.
- STREET EXTENSION WILL BE PRIVATE WITH REVERSE CROWN FOR STORM DRAINAGE TO FLOW TO CENTER OF ROADWAY.

CLT MAP: 047  
PARCELS: 183

ZONING: PR (1-8 DU/AC)

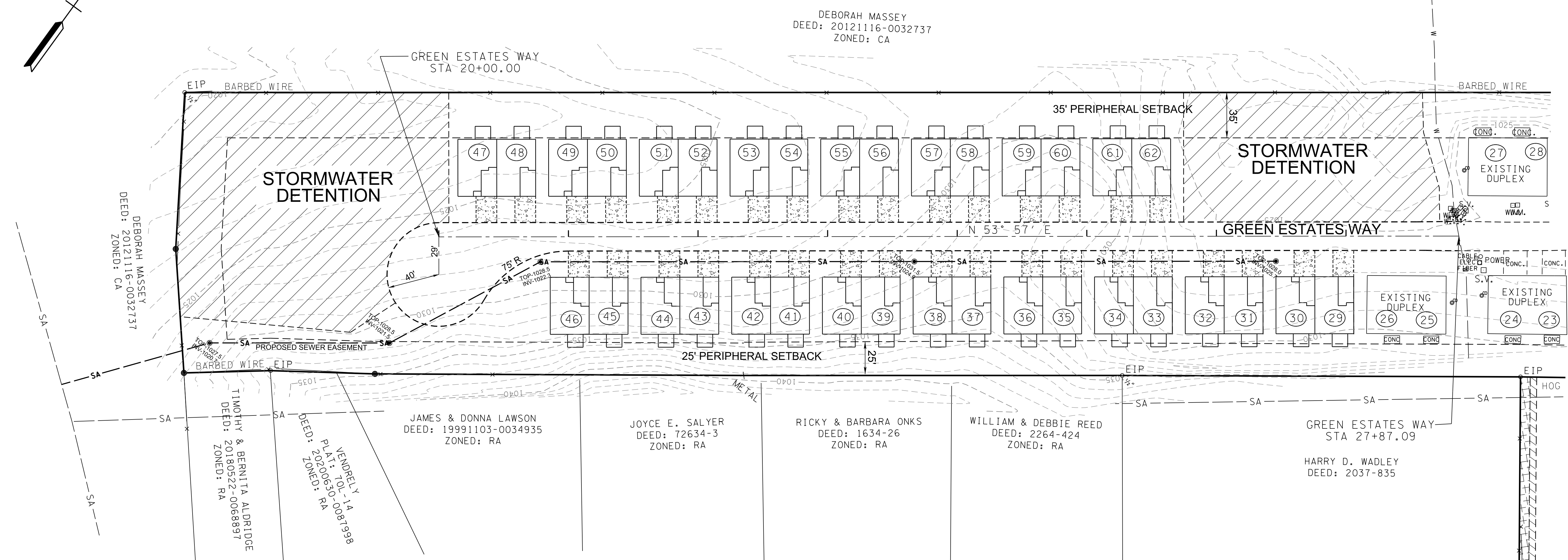
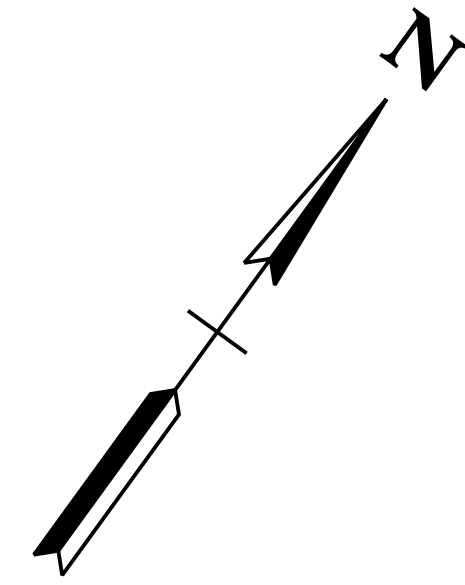
PLAT: 20200206-0052191  
DEED: 20170320-0057130

TOTAL AREA: 7.84 ACRES

DISTURBED AREA: 7.5 ACRES

NUMBER OF LOTS:  
PHASE 1 = 26  
PHASE 2 = 36  
TOTAL = 62 (7.9 DU/AC)

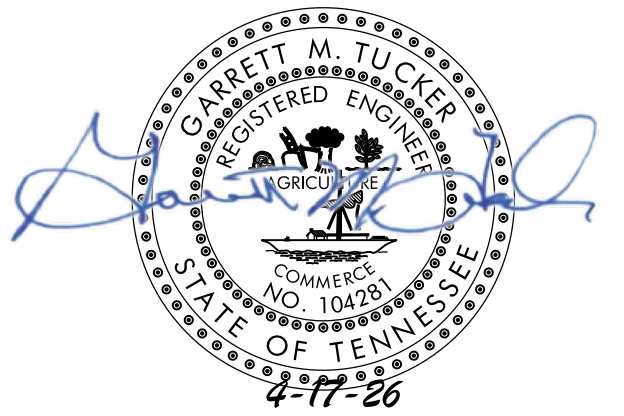
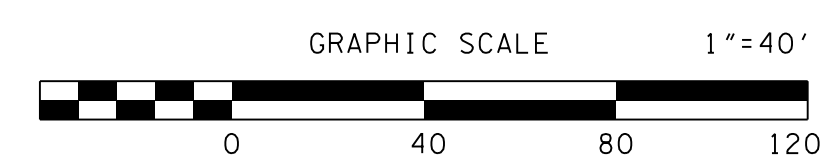
NO.	DATE	DESCRIPTION	BY	CKD.
		REVISIONS		



**LEGEND**

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- ⊙ FIRE HYDRANT
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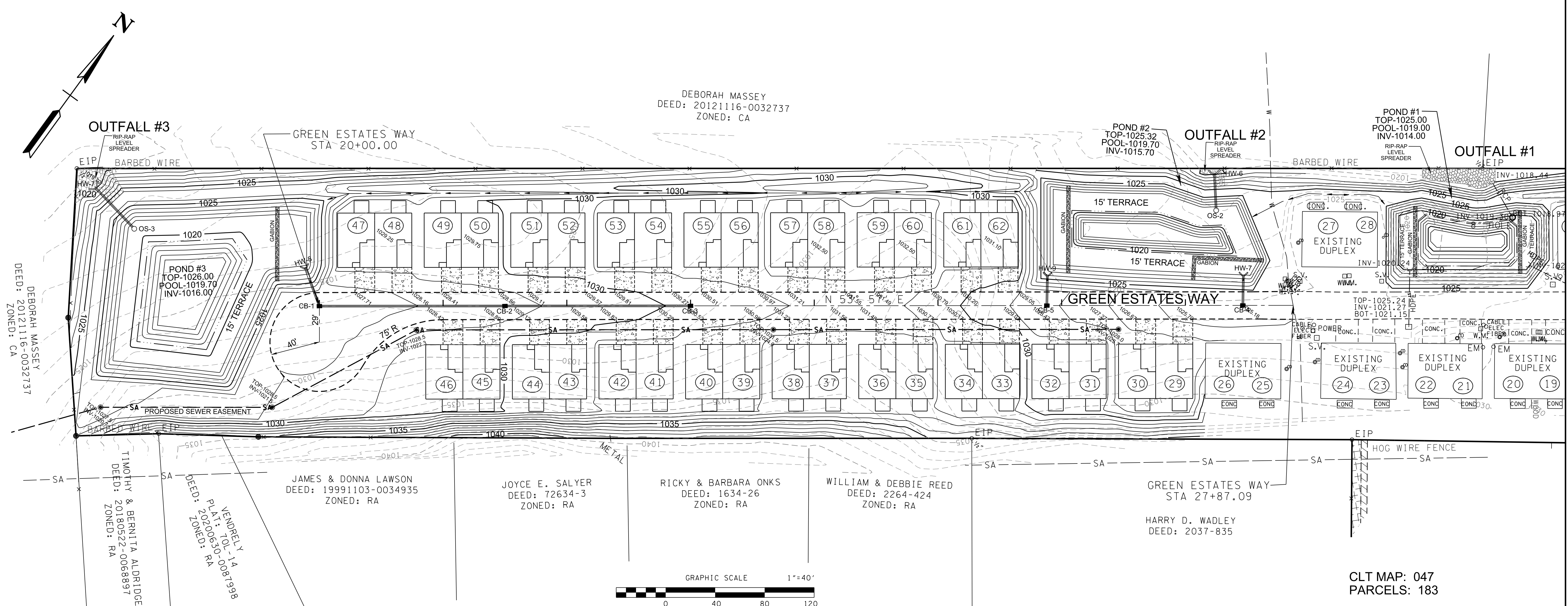
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**ROBERT G. CAMPBELL & ASSOC., L.P.**  
 CONSULTING ENGINEERS  
 KNOXVILLE, TENNESSEE

**GREEN ESTATES - PHASE 2**  
 SITE DEVELOPMENT PLAN

**PHASE 2 LAYOUT**

DESIGNED BY	CHECKED BY	SCALE	SHEET
GMT	RGC	1" = 40'	NO. C2
DRAWN BY	DATE	FILE NO.	
GMT	4-17-26	17038	

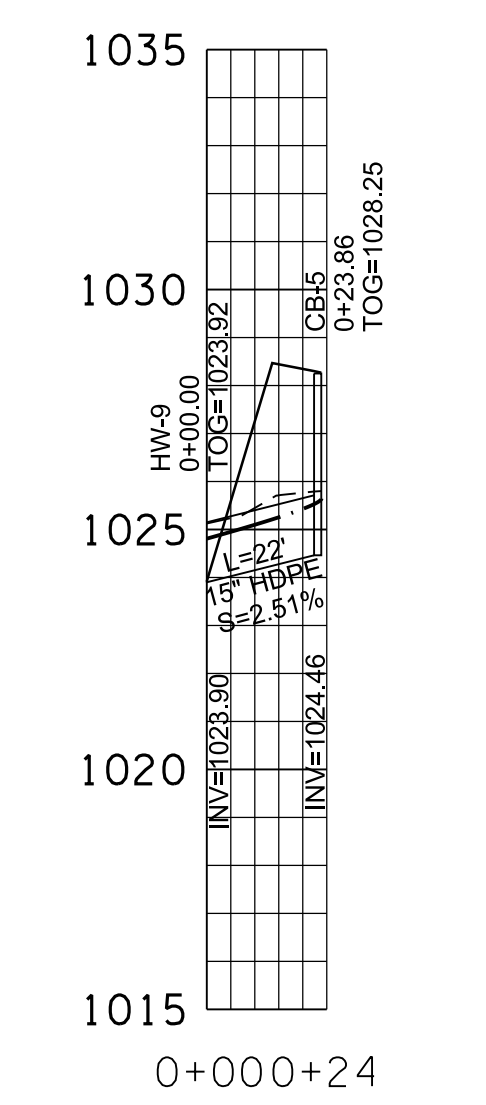
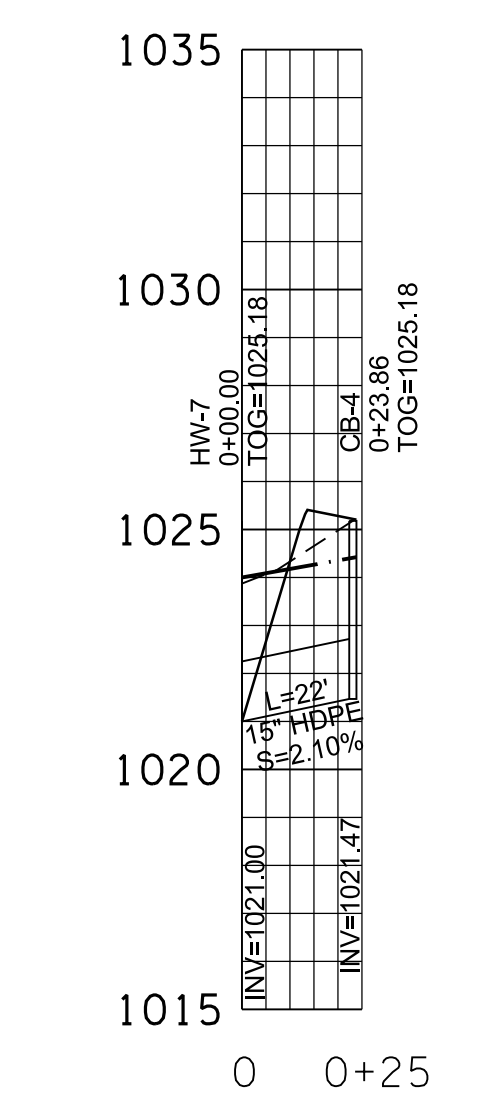
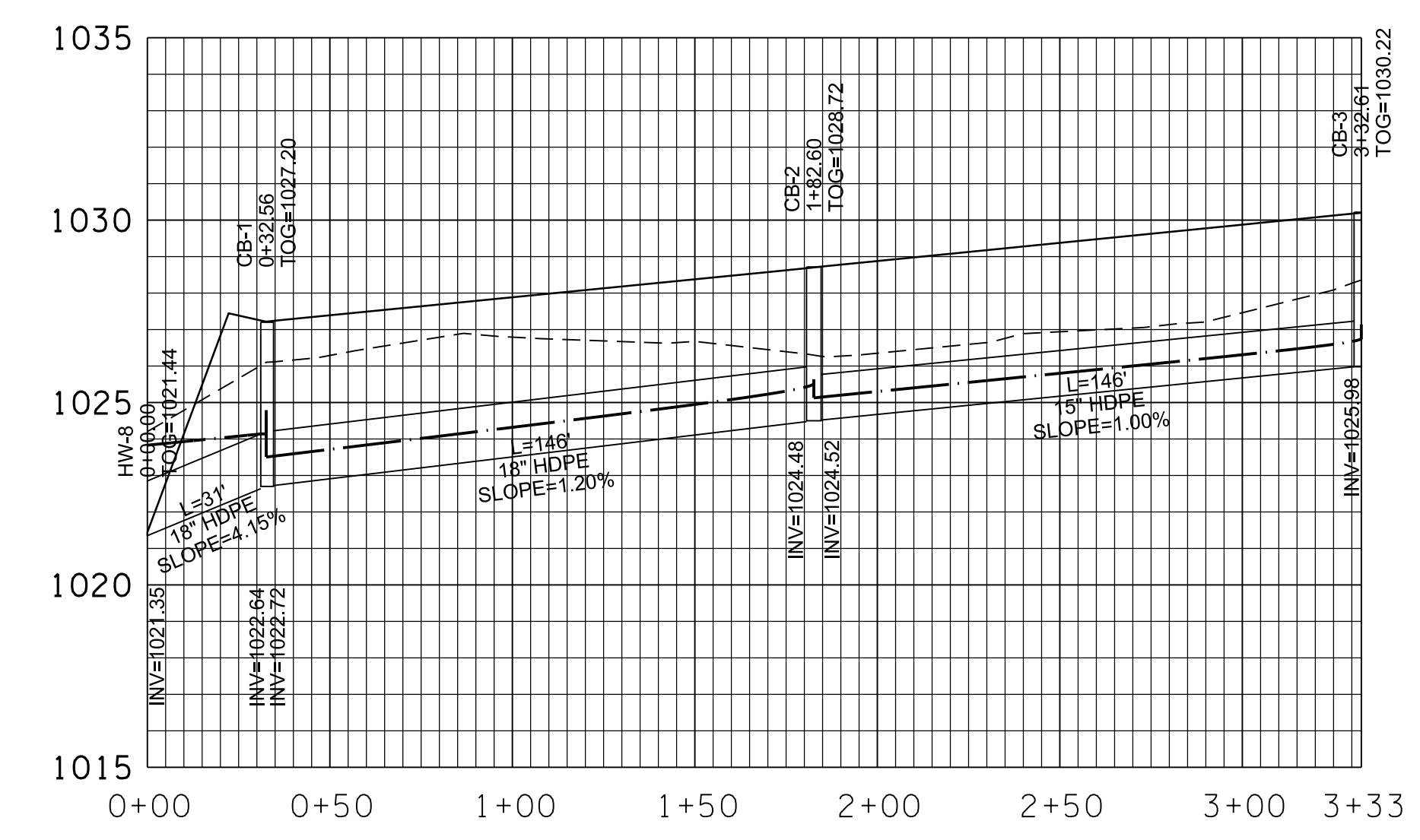


PLAN VIEW

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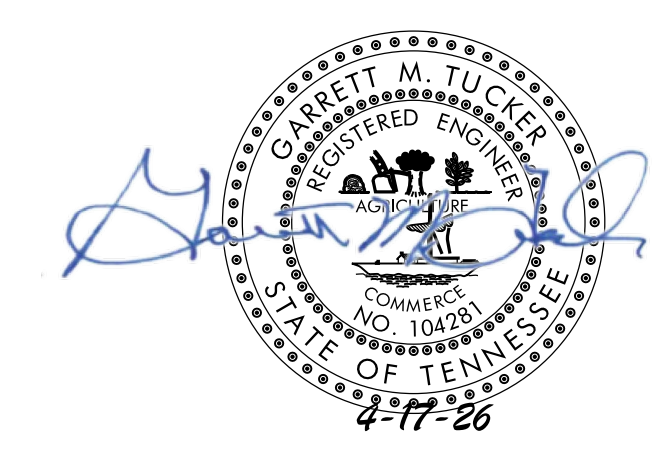
LEGEND

- EXISTING IRON PIN
- IRON PIN SET "W" ROD W/CAP
- MANHOLE
- LIGHT POLE
- SIGN
- WATER VALVE
- P/T/C POWER/TELEPHONE
- GUY WIRE
- WATER METER
- SURVEY CONTROL POINT/BENCHMARK
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STORM DRAINAGE PROFILES

HYDRAULIC GRADE (25-YEAR STORM)



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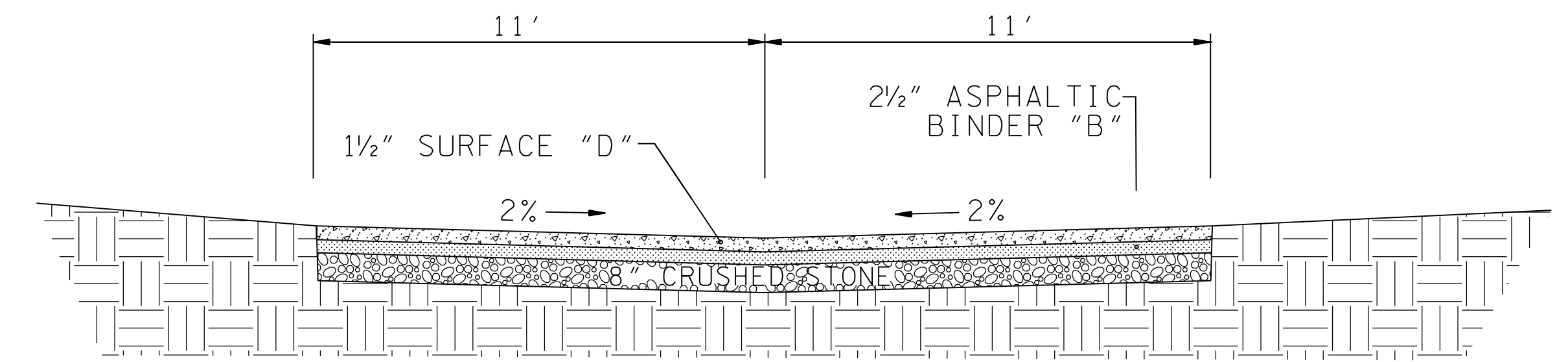
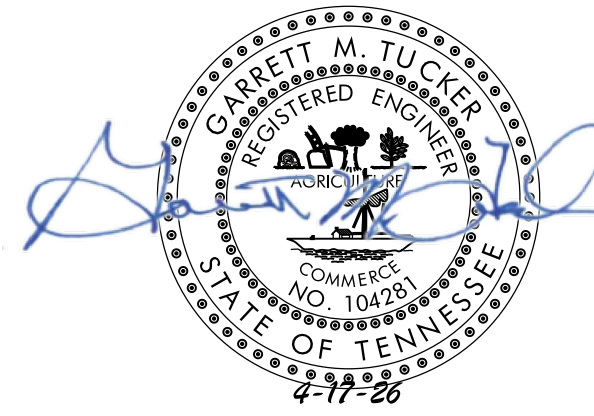
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 CONSULTING ENGINEERS  
 KNOXVILLE, TENNESSEE

**GREEN ESTATES - PHASE 2**  
 SITE DEVELOPMENT PLAN

**PHASE 2**  
 GRADING & DRAINAGE PLAN

DESIGNED BY GMT	CHECKED BY RGC	SCALE AS SHOWN	SHEET NO. <b>C3</b>
DRAWN BY GMT	DATE 4-17-26	FILE NO. 17038	

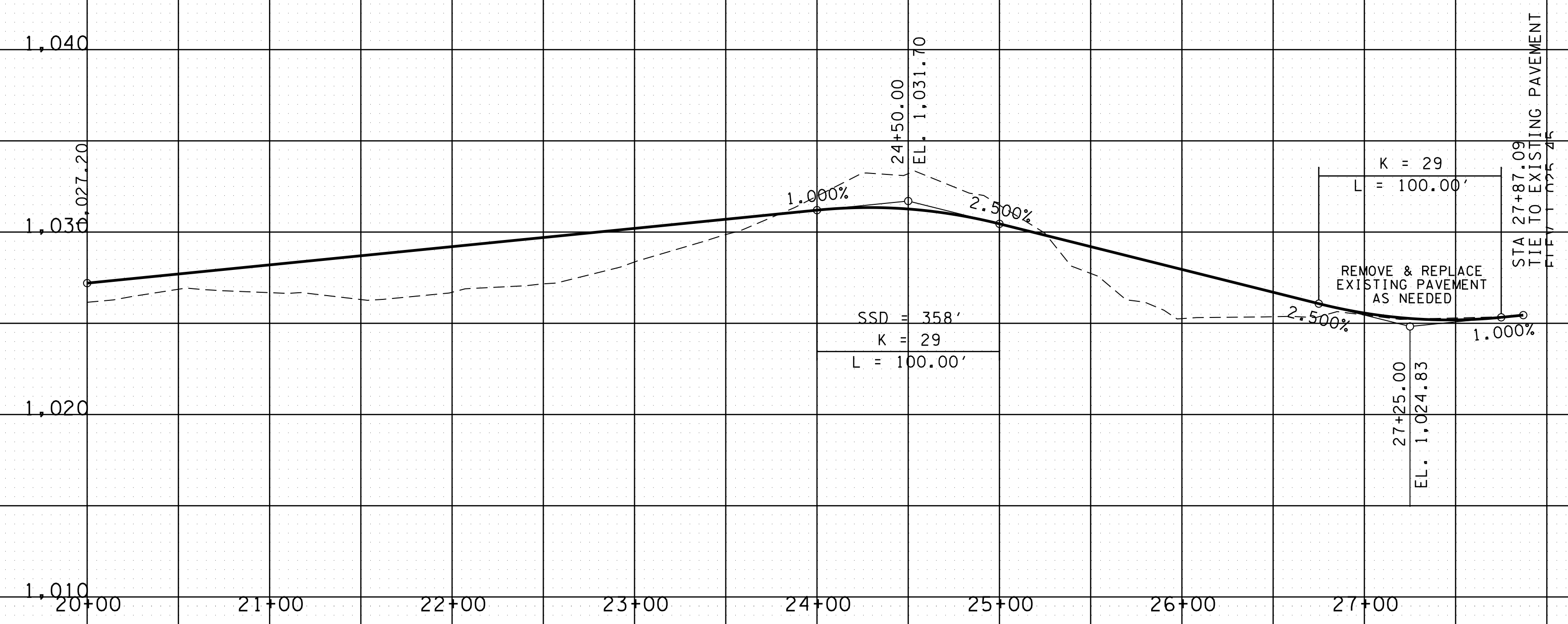


**TYPICAL 2 LANE STREET  
PRIVATE STREET**

BORROW MATERIALS TO BE USED FOR FILL SHALL BE TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR ASTM D698) PRIOR TO PLACEMENT OF FILL.

FILL SOILS SHALL BE COMPACTED IN LAYERS 8 INCHES OR LESS IN THICKNESS TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY AND WITHIN PLUS OR MINUS 3 PERCENT OPTIMUM MOISTURE CONTENT. NO LESS THAN SIX (6) DENSITY TESTS SHALL BE PERFORMED IN EVERY 10,000 SQUARE FEET OF AREA PER 8 INCH LIFT. (APPROX. 1 TEST PER EVERY 50 SQ. FT.)

- "D" MIX REQUIRED ON FINAL SURFACE WHERE GRADE IS 10% OR GREATER.



NO.	DATE	DESCRIPTION	BY	CKD.
REVISIONS				



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KNOXVILLE, TENNESSEE

**GREEN ESTATES - PHASE 2  
SITE DEVELOPMENT PLAN**

**ROAD PROFILE**

DESIGNED BY GMT	CHECKED BY RGC	SCALE 1"=50' HORZ. 1"=5' VERT.
DRAWN BY GMT	DATE 4-17-26	FILE NO. 17038

SHEET NO. **C4**  
SHEETS

