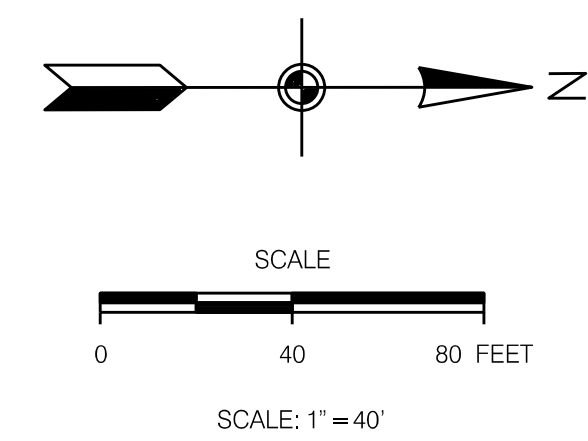
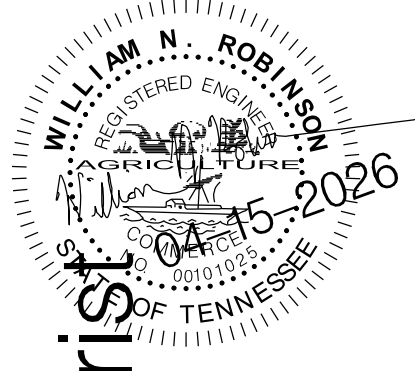


5-B-26-SU  
Rev 4.24.2026



**WILL ROBINSON  
& ASSOCIATES**

1248 N. Shorewood Ln  
Caryville, TN 37714  
(865) 386-4200  
will@wractivil.com



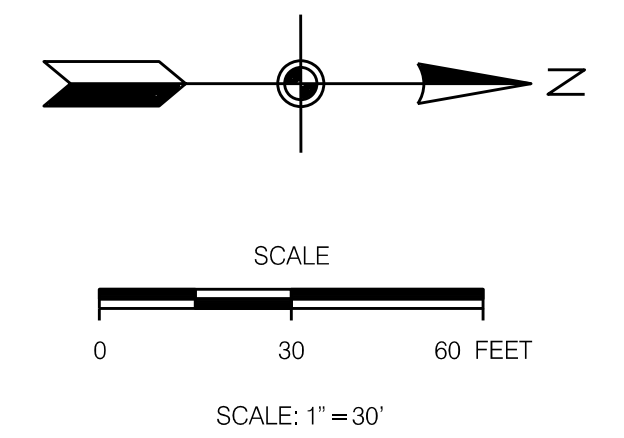
A Site Plan for:  
**West End Church of Christ**

8301 E Walker Springs Rd  
Knoxville, TN

REVISIONS:  
04.15.2026 PLANNING COMMENTS

DRAWN: WNR  
CHECKED: WNR  
DATE: 12-11-2025  
FILE NAME:  
PROJECT NO:

**C101**  
OVERALL SITE PLAN  
DRAWING



**LEGEND:**

EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		OVERHEAD ELECTRICAL
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CATCH BASIN
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		RIP RAP

**IMPERVIOUS AREA CALCULATIONS:**  
 EXISTING IMPERVIOUS: 203,861 SF (4.68 ACRE)  
 PROPOSED IMPERVIOUS: 27,700 SF (0.59 ACRE)  
 IMPERVIOUS AT COMPLETION: 229,561 SF (5.27 ACRE)  
 PROPERTY AREA: 652,239 SF (14.98 ACRE)  
 IMPERVIOUS AREA RATIO: 229,561 / 652,239 = 0.35

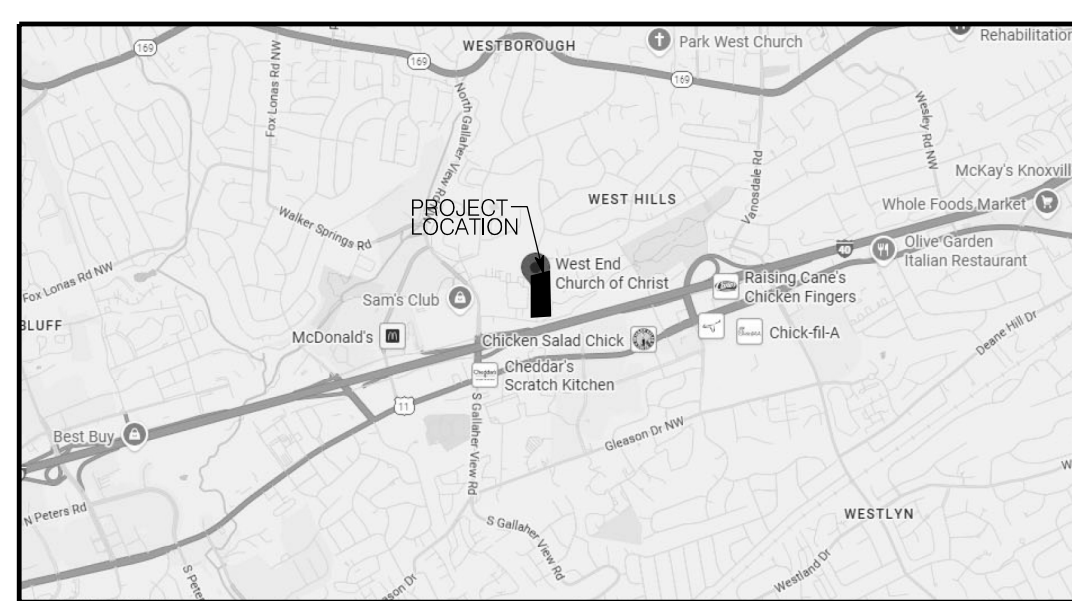
**SITE LAYOUT NOTES**

- USE: CHURCH, ZONING: RN-1, PARCEL 120HB018
- TOTAL BUILDING AREA: 44,000 NO ADDITIONAL BUILDING AREA PROPOSED
- TOTAL SITE: 14.98 AC, TOTAL DIST AREA: 1.29 AC, TOTAL EXIST IMPERV: 4.68 AC, IMPERVIOUS AT COMPLETION: ACRE (0.59 ACRE INCREASE)
- DEED REFERENCE: CITY BLOCK: 46360, WARD: 46
- THIS PROPERTY IS NOT LOCATED IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA SEE MAP 0266F.
- SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK, DATUM NAVD 88.
- SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM A SURVEY BY URBAN ENGINEERING, DATED 03/11/2004. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- PARKING SUMMARY**  
 TOTAL EXISTING TO REMAIN: 255 SPACES  
 ADDITIONAL SPACES: 74 SPACES  
 TOTAL AT COMPLETION: 329 SPACES  
 MIN PARKING: 168 SPACES (BASED ON 670 SEATS)  
 MAX PARKING: 335 SPACES (BASED ON 670 SEATS)  
 BASIS: MIN 0.25 PER SEAT IN MAIN ASSEMBLY, MAX 0.50 PER SEAT IN MAIN ASSEMBLY  
 ADA PARKING REQUIRED: 10 SPACES, ADA PARKING PROVIDED: 12 SPACES (EXISTING)  
 BICYCLE PARKING REQUIRED: 12 SPACES, BICYCLE PARKING PROVIDED: 12 SPACES (NEW)
- SETBACKS:**  
 FRONT: 25'  
 SIDE: 8'  
 REAR: 25'
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE 'MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION' ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND/OR CONCRETE AND NEW PAVEMENT AND/OR CONCRETE. FIELD ADJUSTMENT OF FINAL GRADES MAY BE REQUIRED. INSTALL ALL STORM SYSTEMS PRIOR TO INSTALLATION OF PAVEMENT AND/OR CONCRETE.
- DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVEMENT, OR TO THE FACE OF BUILDING UNLESS NOTED OTHERWISE.
- MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION. INCLUDE ALL UTILITY LOCATIONS AND ALL NEW SIDEWALK, RAMPS, ELEVATIONS FOR ALL SANITARY AND STORM SEWER STRUCTURES SHALL BE INCLUDED. DRAWINGS SHALL INCLUDE VERTICAL AND HORIZONTAL INFORMATION ON ALL NEW UTILITIES AS WELL AS EXISTING UTILITIES DISCOVERED DURING CONSTRUCTION.

**OWNER:**  
 WEST END CHURCH OF CHRIST  
 8301 E WALKER SPRINGS RD  
 KNOXVILLE, TN  
 PHONE: 865-250-6706  
 CONTACT: BLAKE GRAHAM

**ENGINEER:**  
 WILL ROBINSON & ASSOCIATES  
 1248 N SHOREWOOD LN  
 CARYVILLE, TN 37714  
 PHONE: 386-4200  
 CONTACT: WILL ROBINSON

**CONTRACTOR:**  
 TO BE DETERMINED



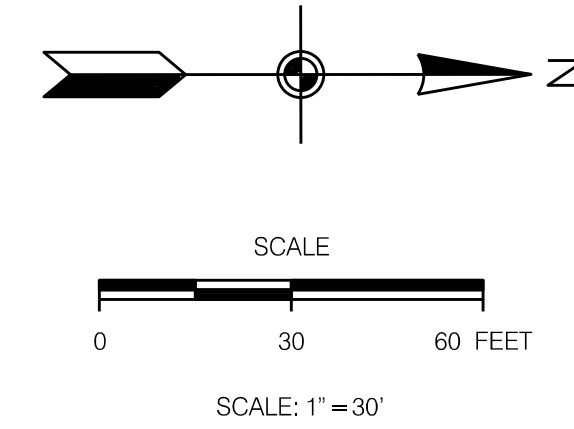
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A Site Plan for:  
**West End Church of Christ**  
 8301 E Walker Springs Rd  
 Knoxville, TN

**REVISIONS:**  
 04.15.2026 PLANNING COMMENTS

**DRAWN:** WNR  
**CHECKED:** WNR  
**DATE:** 12-11-2025  
**FILE NAME:**  
**PROJECT NO:**

**C102**  
 CONCEPT SITE PLAN  
 DRAWING



**LEGEND:**

EXISTING	PROPOSED	
--- 535 ---	--- 535 ---	GROUND CONTOUR ELEVATION
□ 535.25'	□ 535.25'	SPOT ELEVATION
□	□	STRUCTURE
○	○	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
--- SD ---	--- SD ---	STORM DRAIN
--- SS ---	--- SS ---	SANITARY SEWER
--- PW ---	--- PW ---	POTABLE WATER
--- NG ---	--- NG ---	NATURAL GAS
--- OE ---	--- OE ---	OVERHEAD ELECTRICAL
⊙	⊙	WATER METER
⊕	⊕	FIRE HYDRANT
→	→	SURFACE FLOW
---	---	SILT FENCING
□	□	CURB
□	□	CATCH BASIN
□	□	CONCRETE PAVEMENT
□	□	ASPHALT PAVEMENT
□	□	RIP RAP

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- THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
- THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
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- LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.

**TEMPORARY SEEDING RECOMMENDATION FOR LATER WINTER AND EARLY SPRING**

SPECIES	RATE (LB/ACRE)
RYE	120

SEEDING DATES: FEB 1 - MAY 1

SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

MULCH: APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**TEMPORARY SEEDING RECOMMENDATION FOR SUMMER**

SPECIES	RATE (LB/ACRE)
OATS	60
BROWN TOP MILLET	30

SEEDING DATES: MAY 15 - AUG. 15

SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

MULCH: APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

**TEMPORARY SEEDING RECOMMENDATION FOR FALL**

SPECIES	RATE (LB/ACRE)
OATS	30
BROWN TOP MILLET	30

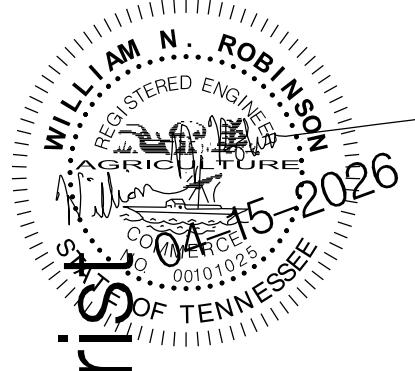
SEEDING DATES: AUG 15 - DEC. 15

SOIL AMENDMENTS: FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

MULCH: APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. IF NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/AC CRIMSON CLOVER IN LATE FEBRUARY OR EARLY MARCH.

**WILL ROBINSON & ASSOCIATES**  
 1248 N. Shorewood Ln  
 Caryville, TN 37714  
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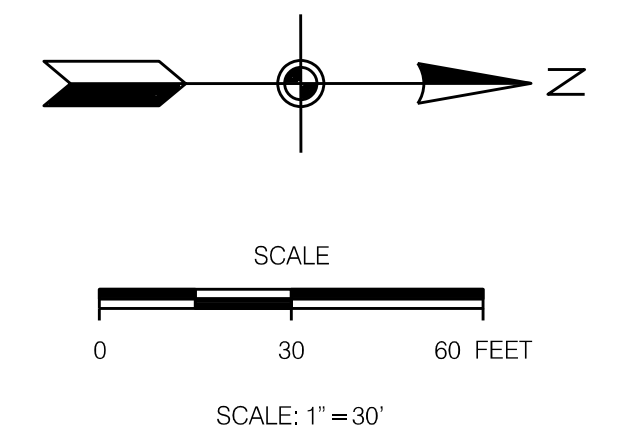
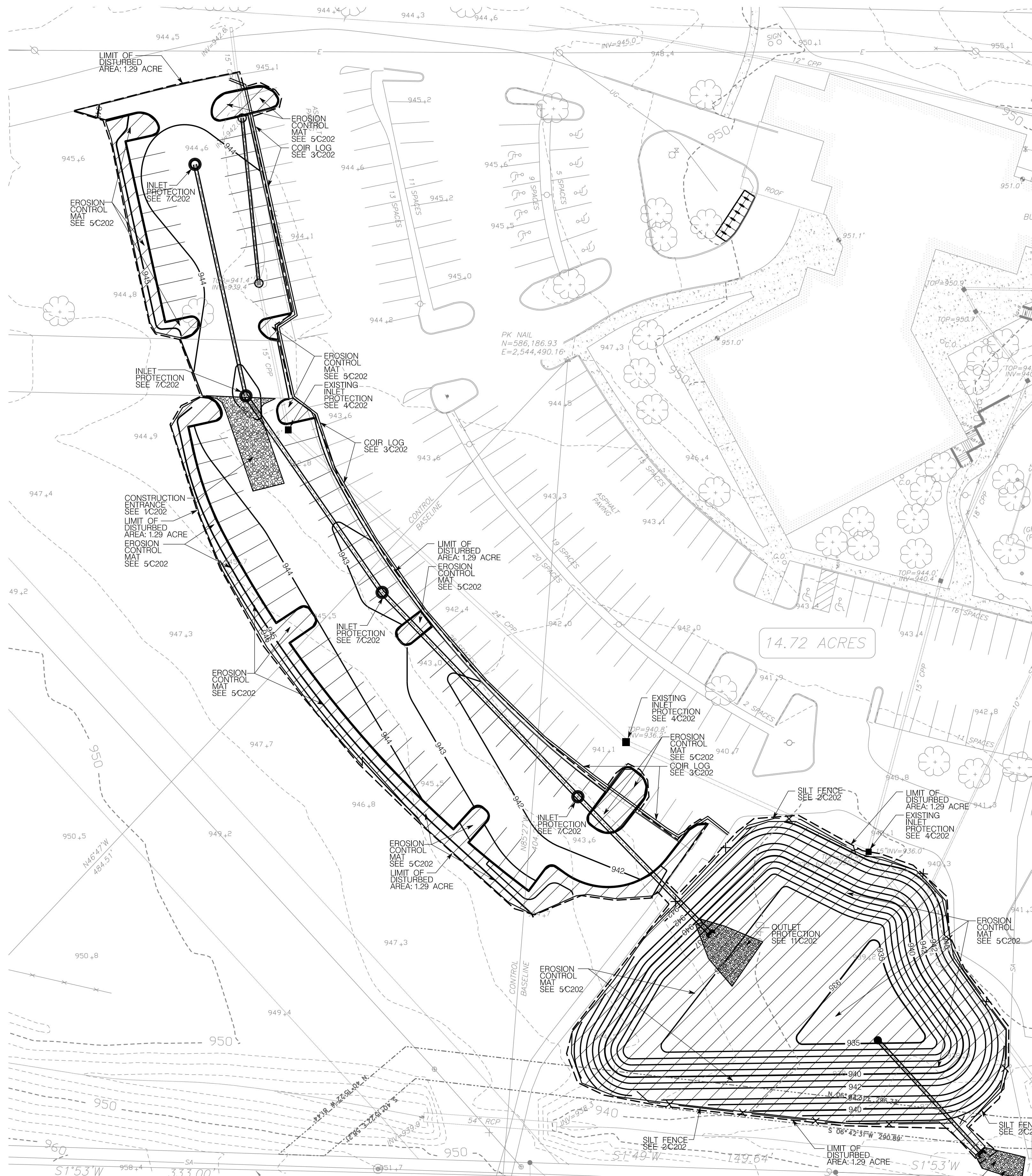


A Site Plan for:  
**West End Church of Christ**  
 8301 E Walker Springs Rd  
 Knoxville, TN

REVISIONS:  
 04.15.2026 PLANNING COMMENTS

DRAWN: WNR  
 CHECKED: WNR  
 DATE: 12-11-2025  
 FILE NAME:  
 PROJECT NO:

**C103**  
 EROSION CONTROL - 1  
 DRAWING



**LEGEND:**

EXISTING	PROPOSED	
535	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
[Symbol]	[Symbol]	STRUCTURE
[Symbol]	NA	PROPERTY LINE
[Symbol]	NA	EASEMENT
[Symbol]	[Symbol]	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
(W)	(W)	WATER METER
[Symbol]	NA	FIRE HYDRANT
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NA	[Symbol]	SILT FENCING
[Symbol]	[Symbol]	CURB
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ZONE	BEST	MARGINAL	RATE MIX (LB/ACRE)	
REGION III	<2000 FT. ELEV. HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	SEPT 1 - SEPT 15 APR 1 - JUNE 10	15 BROWNTOP MILLET (NURSE CROP) 45 RED FESCUE 45 HARD FESCUE 25 CHEWING FESCUE
ZONE	BEST	MARGINAL	RATE MIX (LB/ACRE)	
REGION III	<2000 FT. ELEV. HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	JULY 25 - AUG 15 SEPT 1 - SEPT 15 APR 1 - MAY 10	200 KY 31 FESCUE

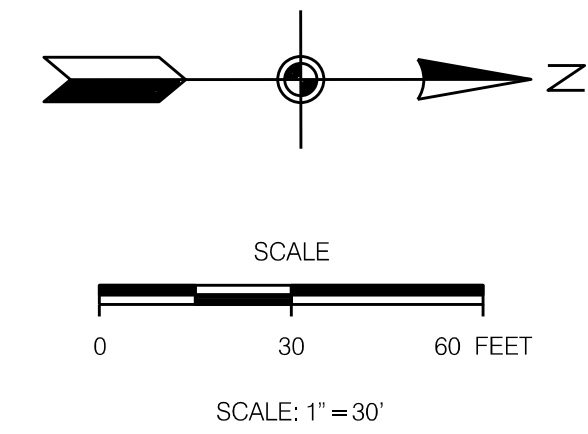
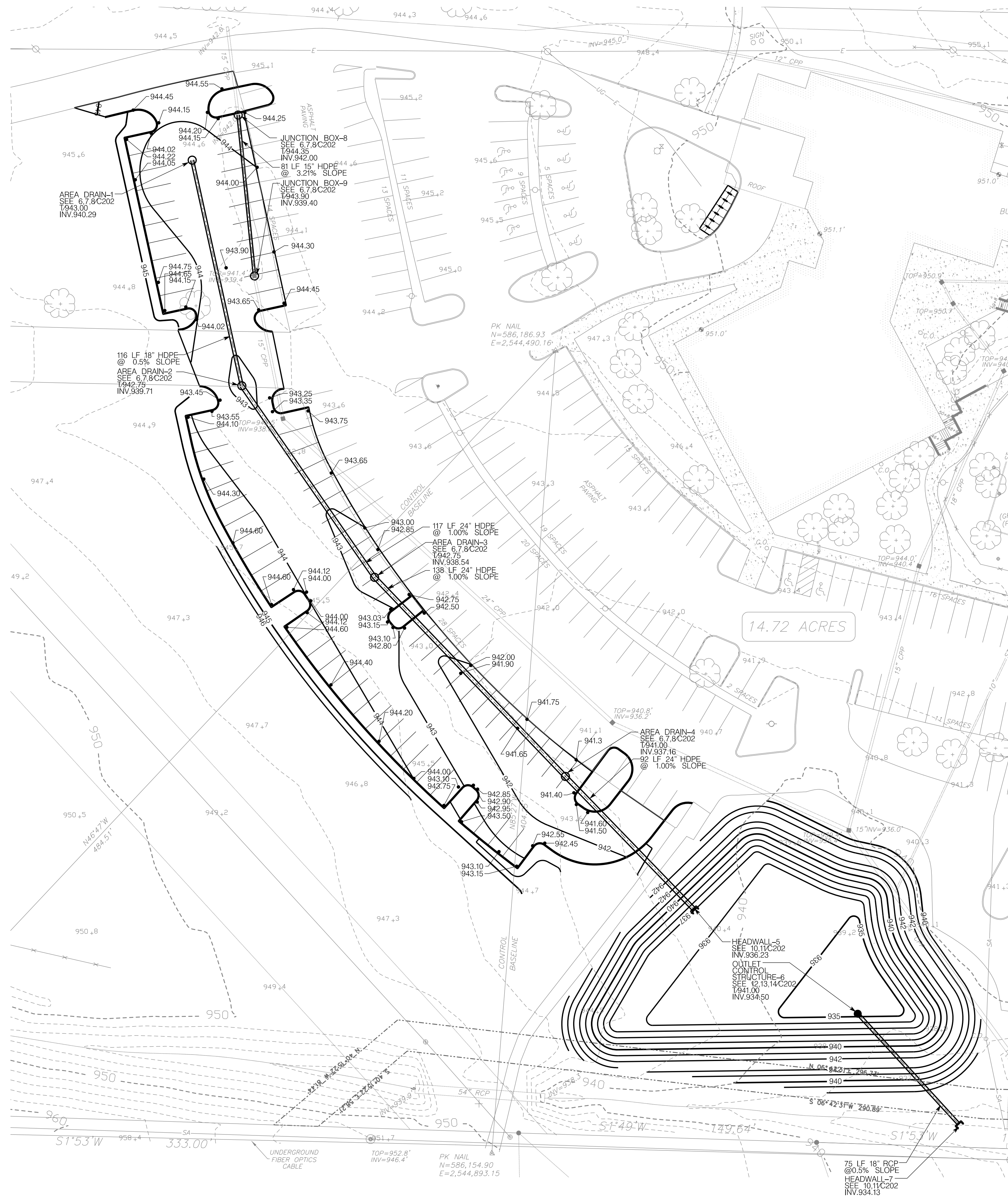
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REVISIONS:  
 04.15.2026 PLANNING COMMENTS

DRAWN: WNR  
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 FILE NAME:  
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**C104**  
 EROSION CONTROL - 2  
 DRAWING



**LEGEND:**

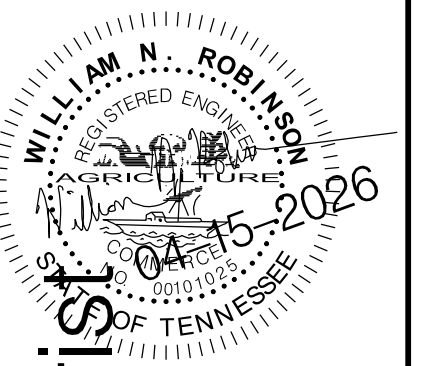
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- UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP, AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
- THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
- THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
- ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
- NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
- APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS (7 DAYS FOR 35% OR STEEPER SLOPES) AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE LOCK IN OF EROSION MAT.
- ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
- PLACEMENT OF PORTA-POTTIES ON THE PROJECT WILL NOT BE LOCATED CLOSE TO STREAMS, WETLANDS, OR STORM DRAINS.
- NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
- CONSTRUCTION MATERIALS WILL BE STAGED IN THE PARKING AREA BETWEEN THE BUILDING AND WASHINGTON PIKE. FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN A NEAT AND ORDERLY MANNER.
- CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE.
- LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.

**WILL ROBINSON  
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A Site Plan for:  
**West End Church of Christ**

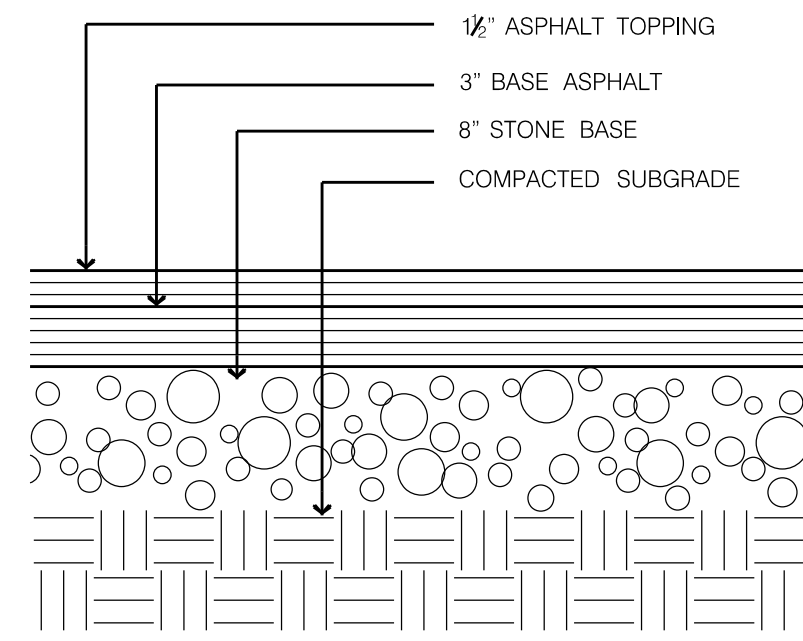
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04.15.2026 PLANNING COMMENTS

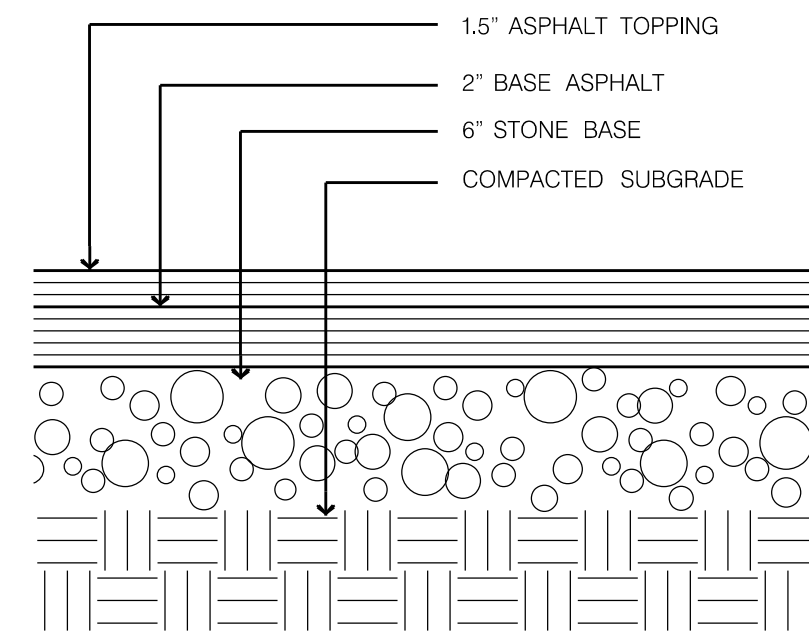
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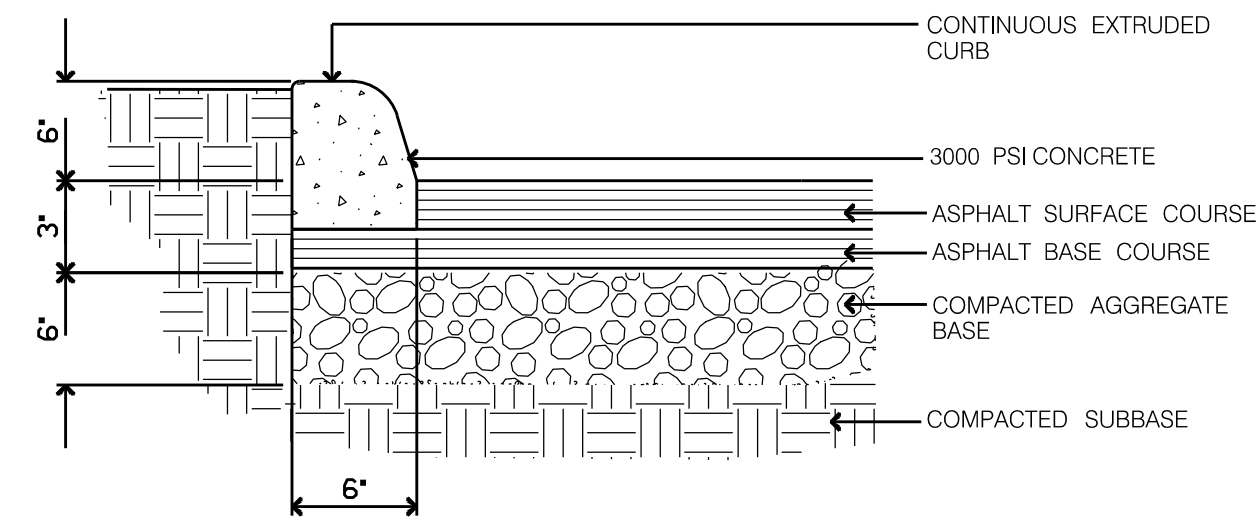
SITE GRADING PLAN  
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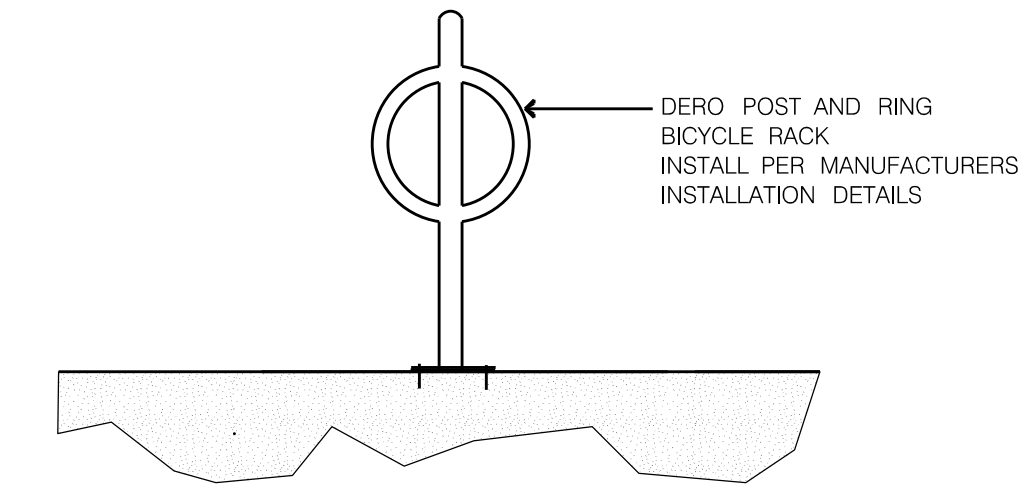
1 HEAVY DUTY PAVING SECTION  
C201 NOT TO SCALE



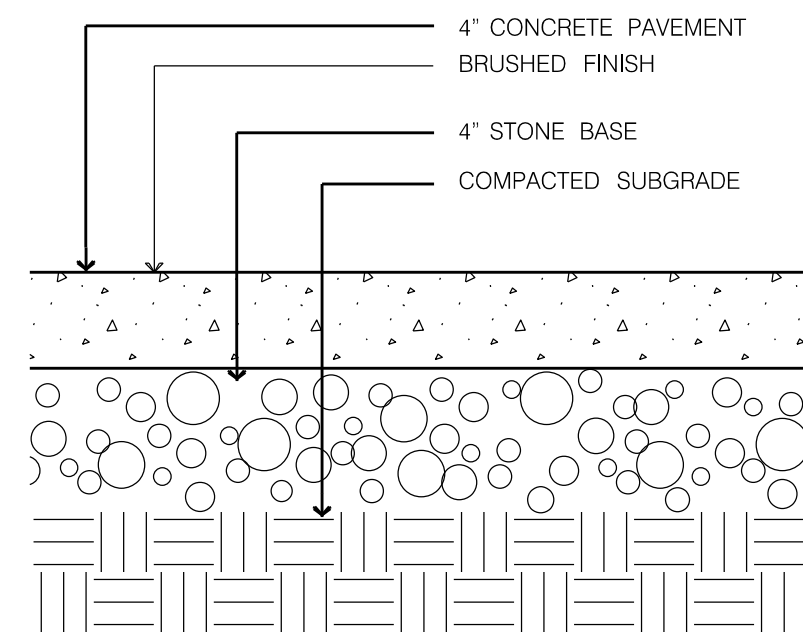
2 LIGHT DUTY PAVING SECTION  
C201 NOT TO SCALE



3 TYPICAL CURB  
C201 NOT TO SCALE

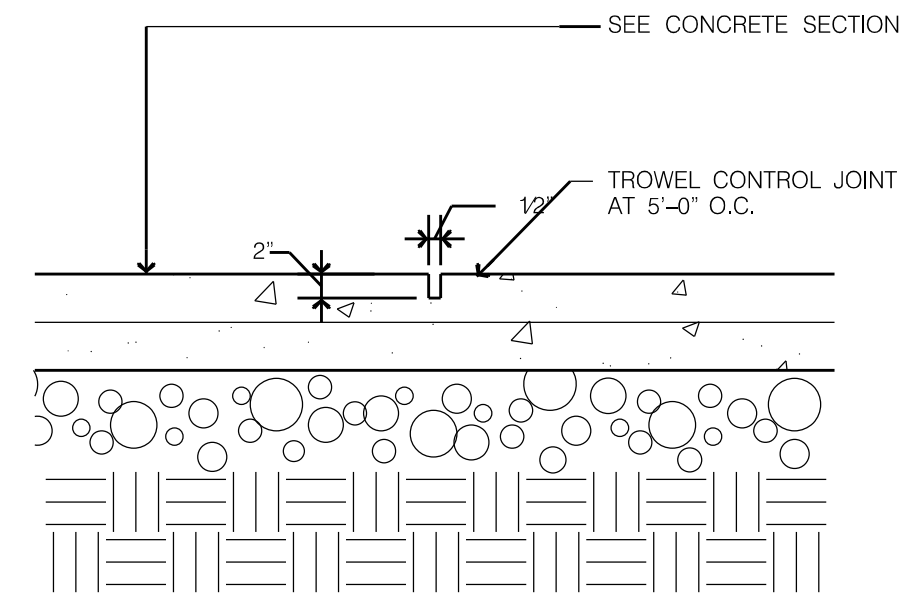


4 BICYCLE RACK  
C201 NOT TO SCALE



NOTE:  
ALL PEDESTRIAN FEATURES  
(CROSSWALKS, CURB RAMPS,  
AND SIDEWALKS) WITHIN  
RIGHT OF WAY MUST  
COMPLY WITH PROWAG

5 TYPICAL SIDEWALK SECTION  
C201 NOT TO SCALE



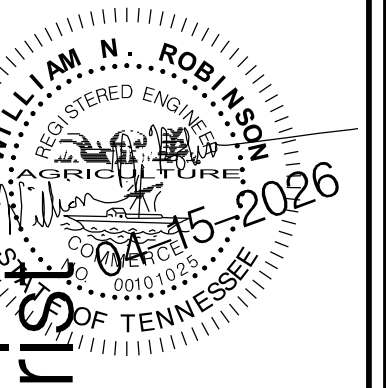
NOTE:  
PLACE CONTROL JOINTS AT 5' O.C., APPROXIMATE  
CONTROL JOINT PATTERN IS INDICATED ON THE SITE PLAN

NOTE:  
ALL PEDESTRIAN FEATURES  
(CROSSWALKS, CURB RAMPS,  
AND SIDEWALKS) WITHIN  
RIGHT OF WAY MUST  
COMPLY WITH PROWAG

6 CONTROL JOINT DETAIL  
C201 NOT TO SCALE

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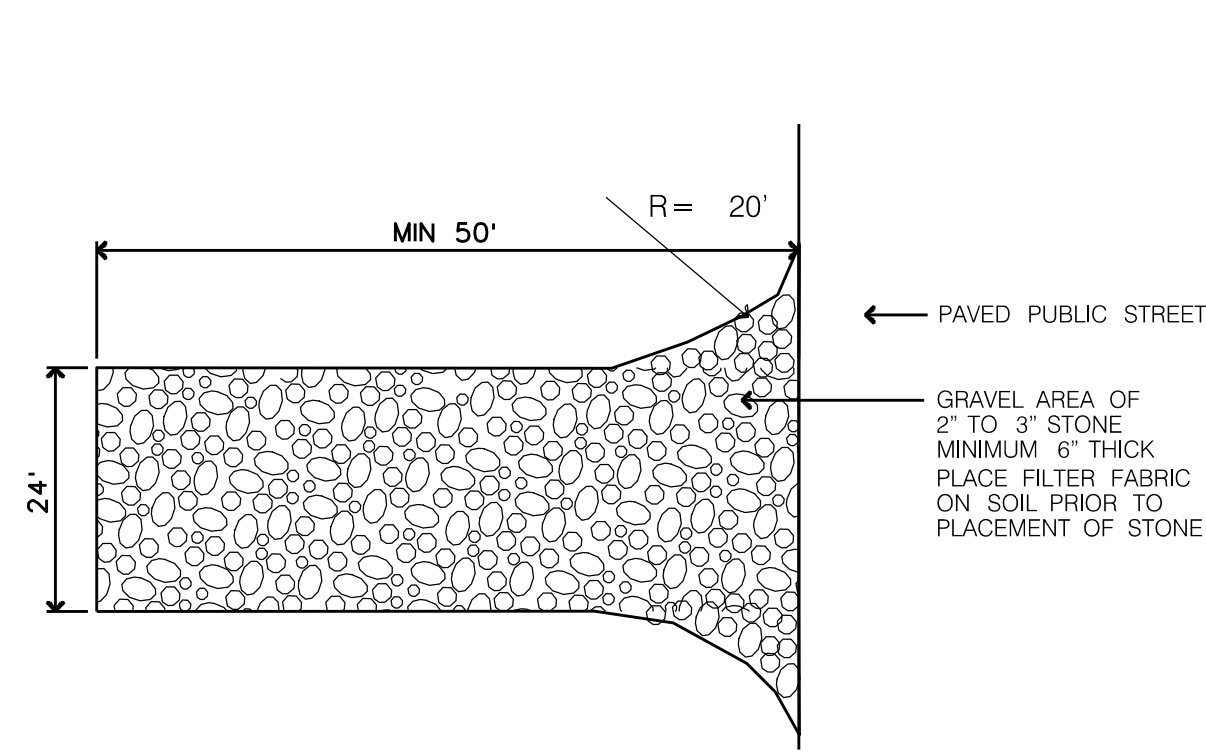
8301 E Walker Springs Rd  
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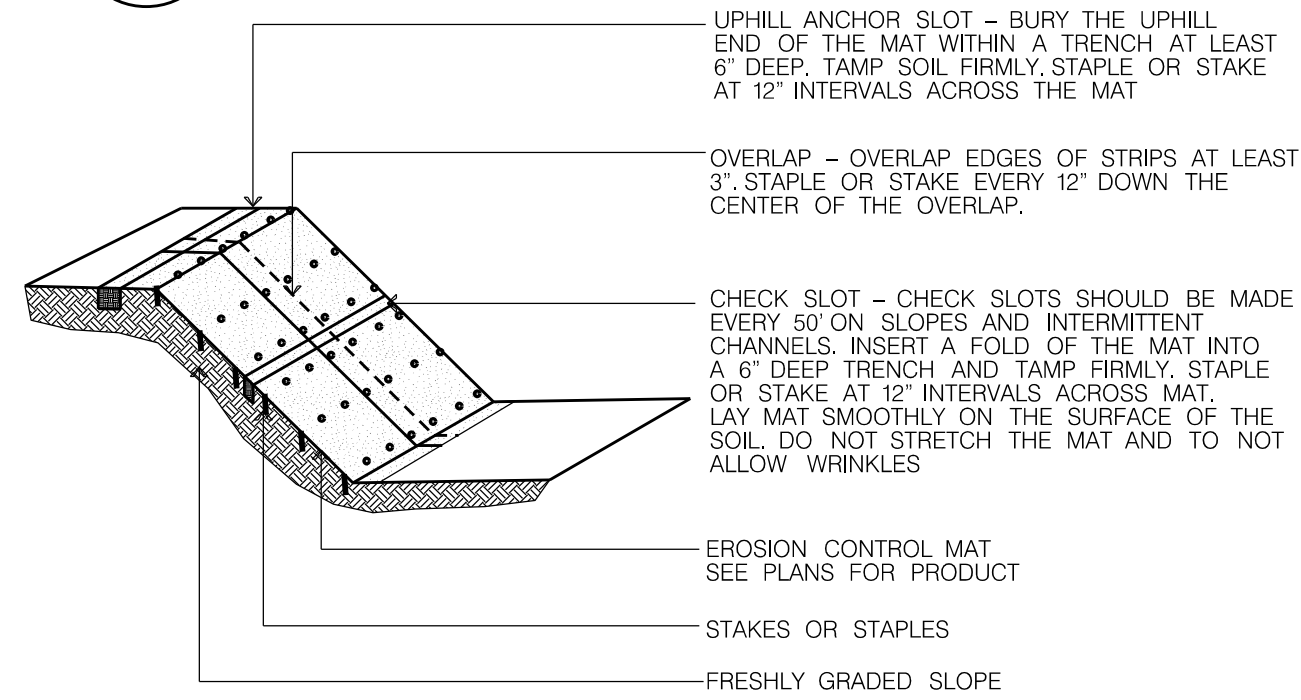
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**C201**

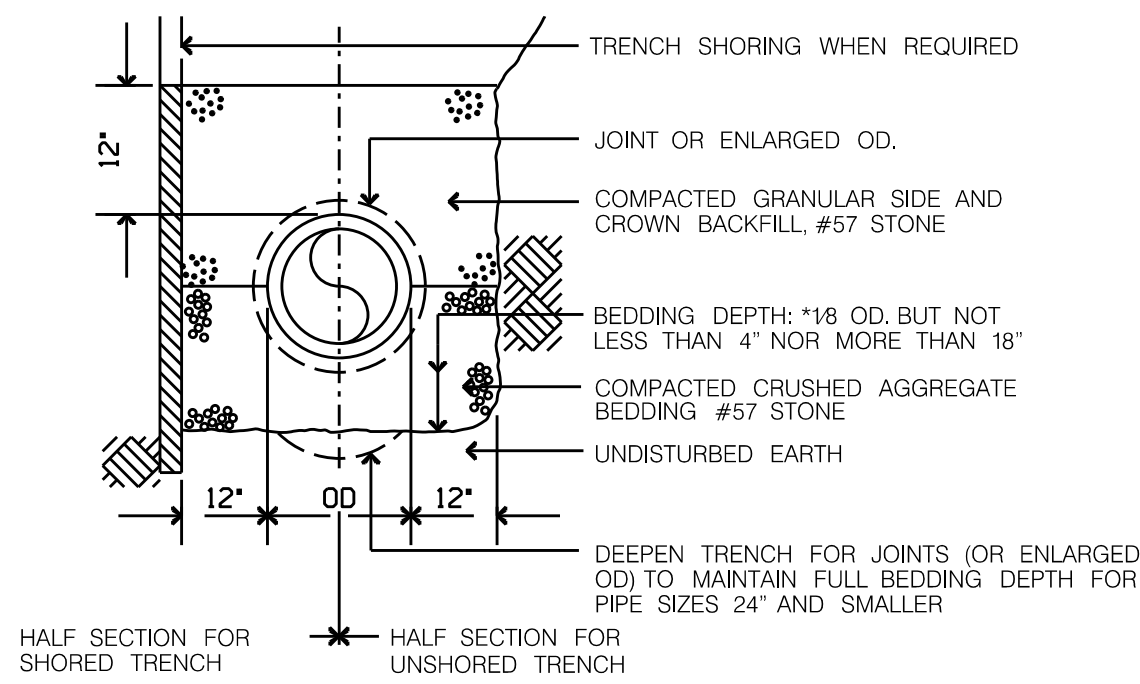
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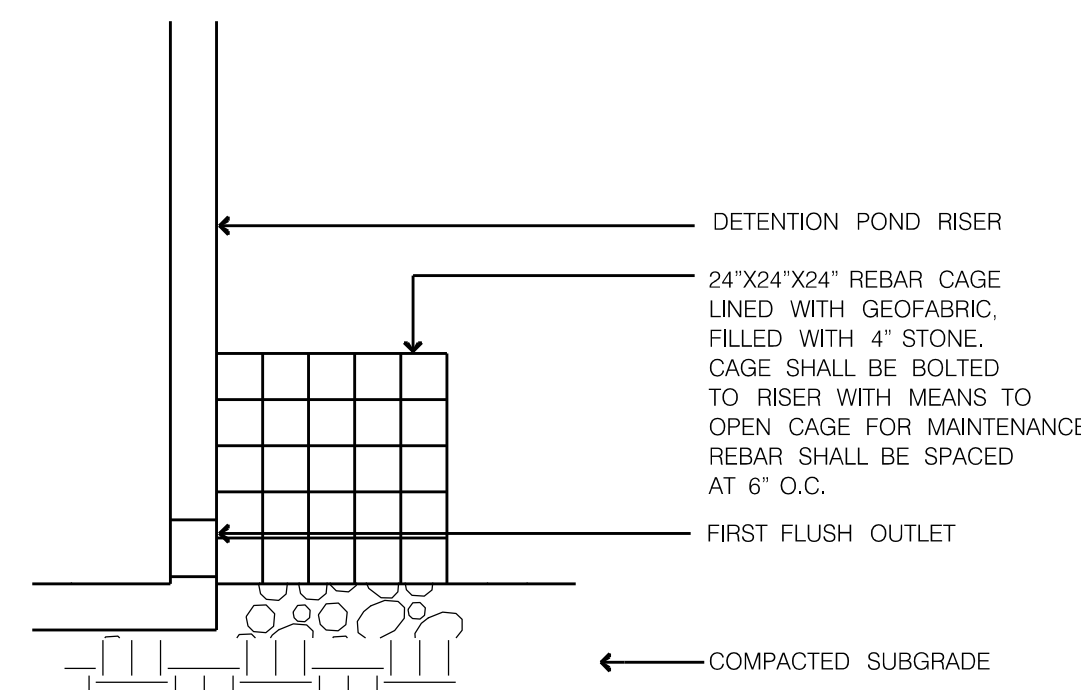
**1** CONSTRUCTION ENTRANCE DETAIL  
C202 NOT TO SCALE



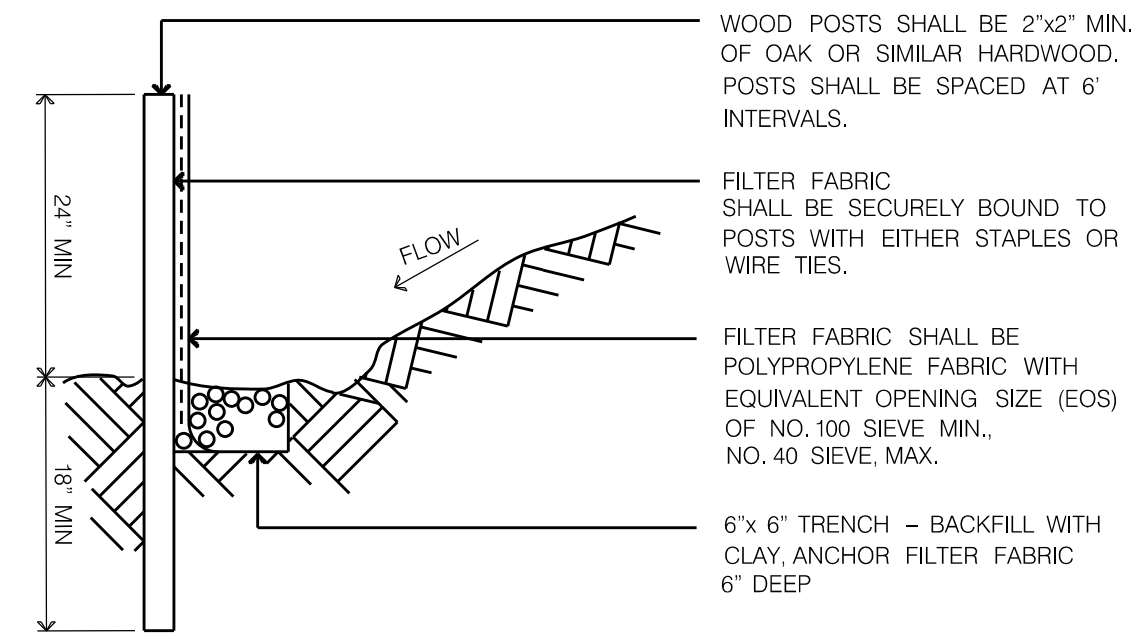
**5** EROSION MAT INSTALLATION  
C202 NOT TO SCALE



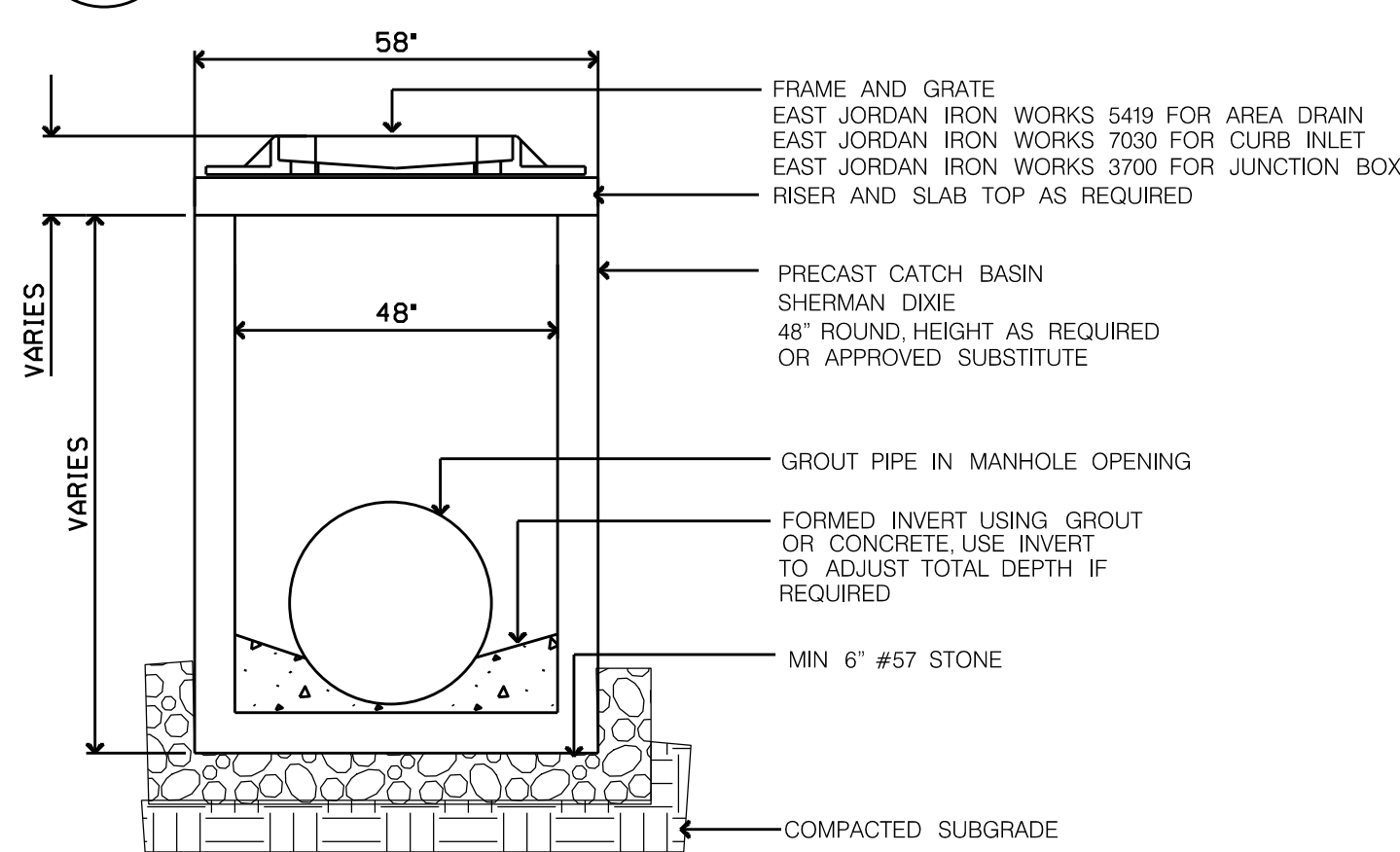
**9** TYPICAL PIPE BEDDING  
C202 NOT TO SCALE



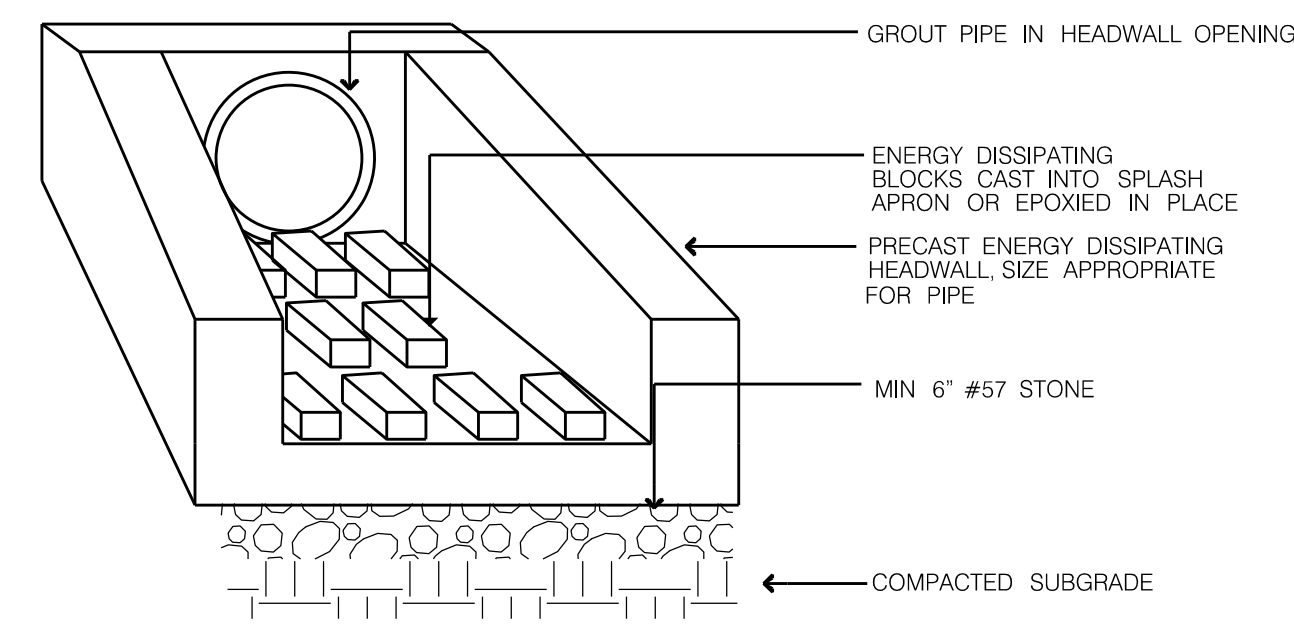
**13** WATER QUALITY FILTER  
C202 NOT TO SCALE



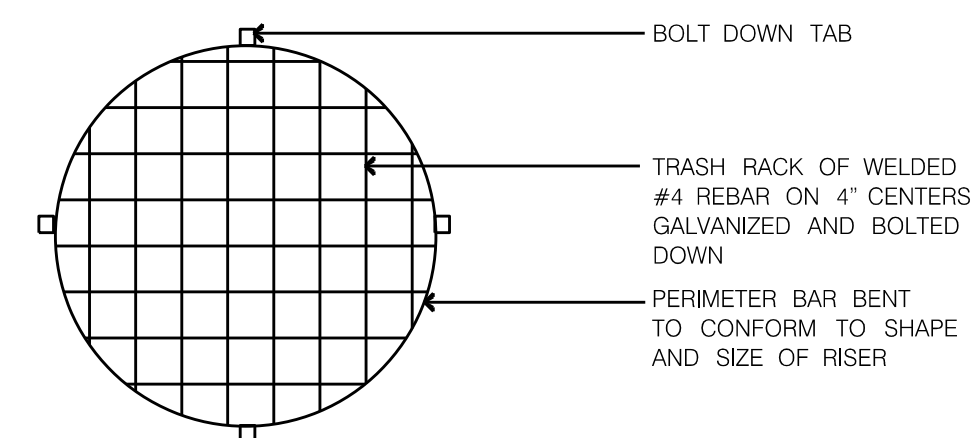
**2** SILT FENCE DETAIL  
C202 NOT TO SCALE



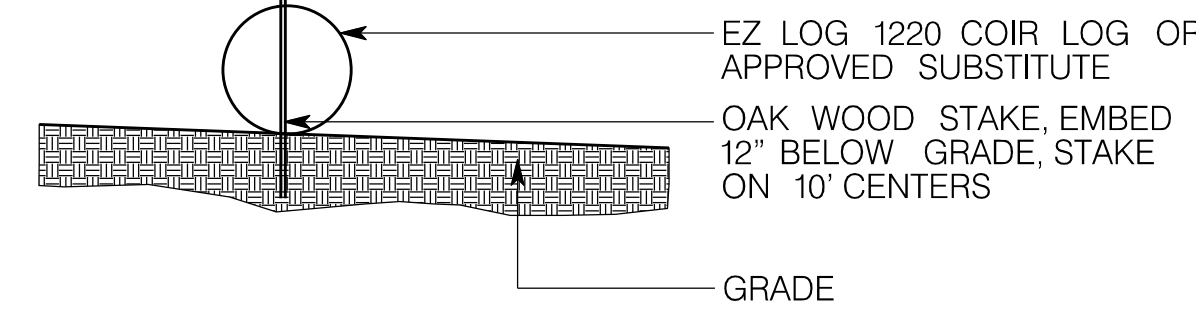
**6** 48" ROUND CATCH BASIN DETAIL  
C202 NOT TO SCALE



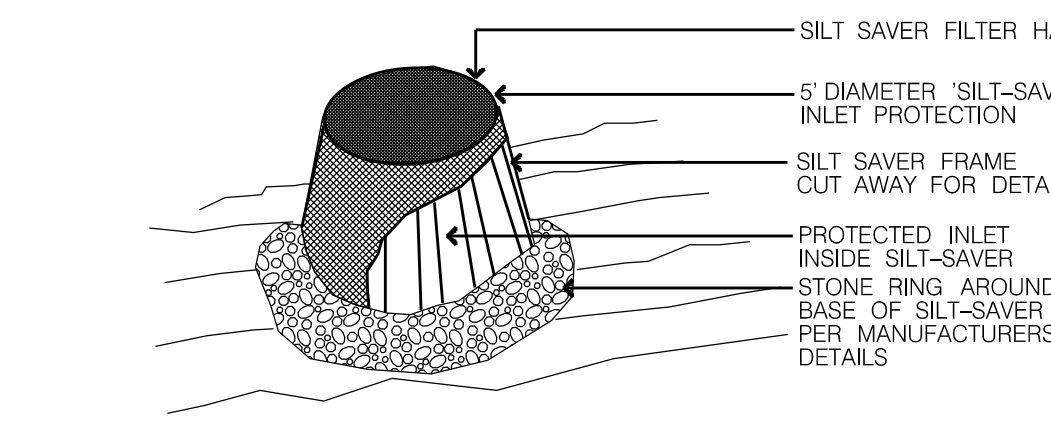
**10** ENERGY DISSIPATING HEADWALL DETAIL  
C202 NOT TO SCALE



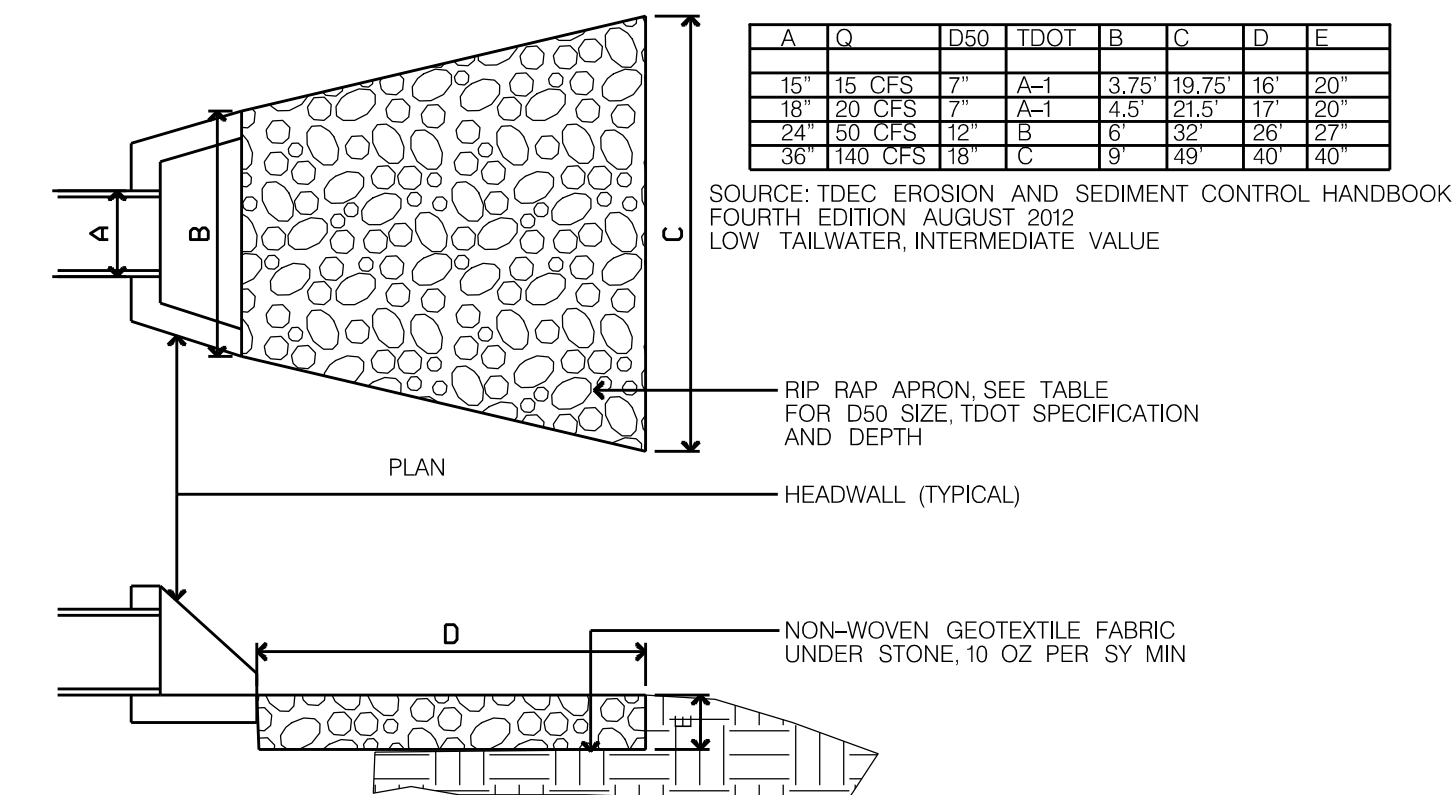
**14** TRASH RACK  
C202 NOT TO SCALE



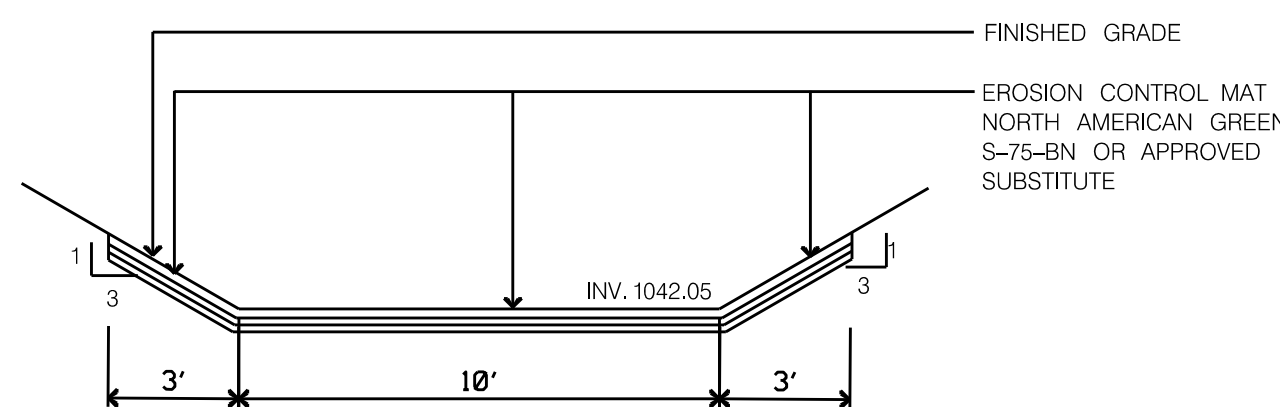
**3** COIR LOG DETAIL  
C202 NOT TO SCALE



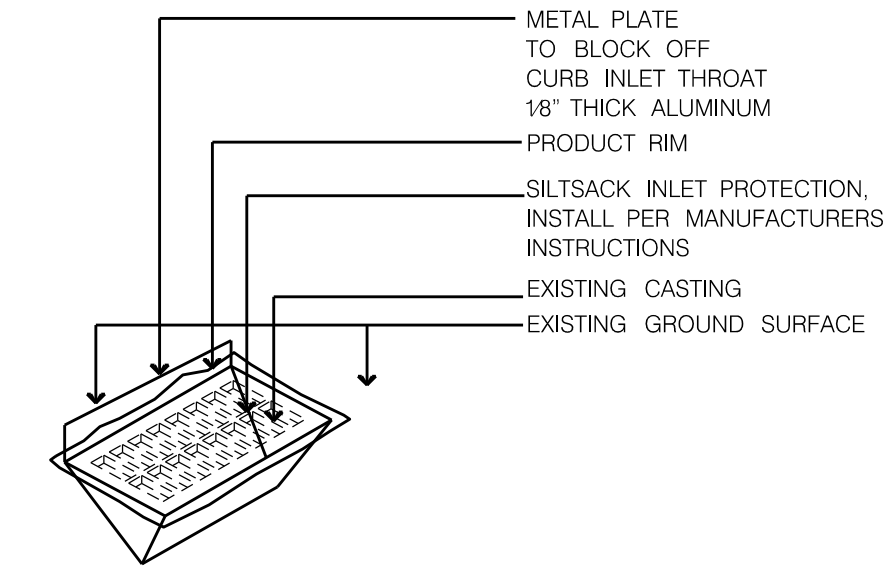
**7** INLET PROTECTION DETAIL  
C202 NOT TO SCALE



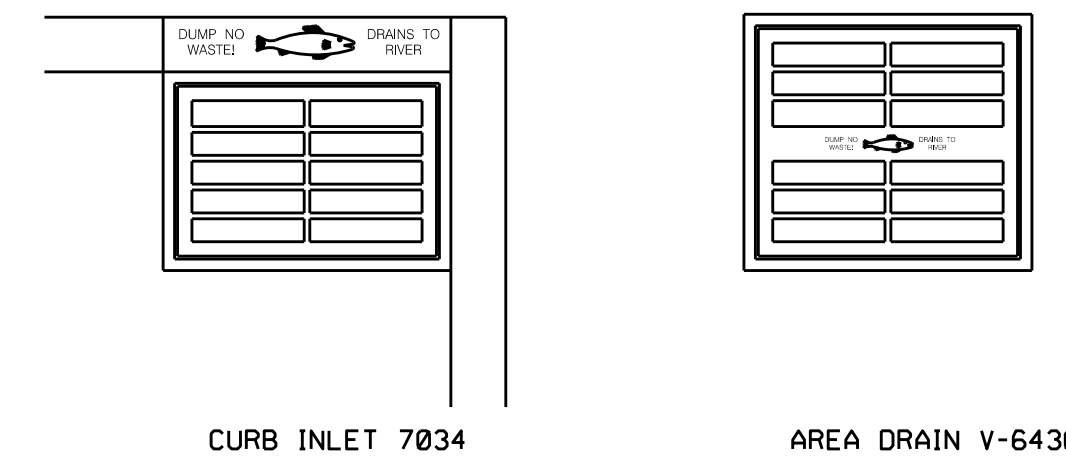
**11** LOW TAILWATER OUTLET PROTECTION DETAIL  
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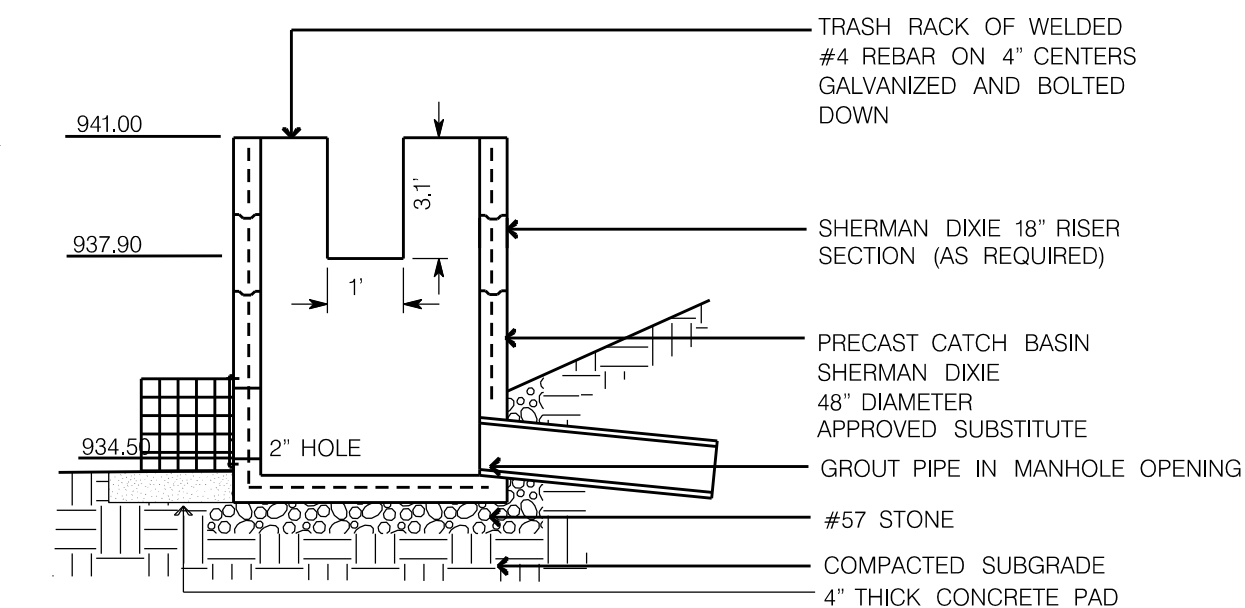
**15** EMERGENCY SPILLWAY SECTION  
C202 NOT TO SCALE



**4** SILTSACK INLET PROTECTION  
C202 NOT TO SCALE



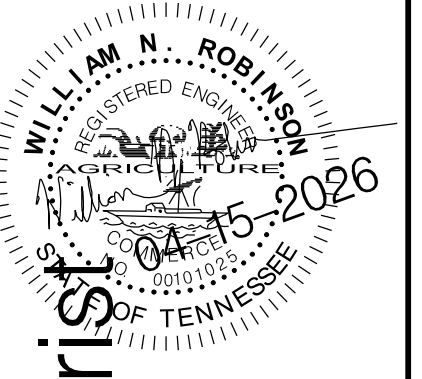
**8** ENVIRONMENTAL MESSAGE DETAIL  
C202 NOT TO SCALE



**12** POND RISER DETAIL  
C202 NOT TO SCALE

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**C202**  
SITE DETAILS - 2  
DRAWING

**PLANTING SPECIFICATIONS**

**SCOPE OF WORK**  
 PROVIDE ALL LABOR AND EQUIPMENT NECESSARY FOR A COMPLETE AND QUALITY LANDSCAPE AS PER PLANS AND SPECIFICATIONS.

**REFERENCES AND STANDARDS**  
 PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, AND ORDINANCES.

PROVIDE LICENSES AND NECESSARY PERMITS PRIOR TO BEGINNING WORK.  
 CARRY GENERAL LIABILITY AND WORKMAN'S COMPENSATIONS INSURANCE IN AMOUNTS REQUIRED BY THE STATE.  
 QUALITY OF ALL MATERIALS SHALL MEET OR EXCEED THE STANDARDS OF THE 'AMERICAN STANDARD FOR NURSERY STOCK' LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

**PROJECT CONDITIONS**  
 REVIEW AND BECOME FAMILIAR WITH SITE CONDITIONS AND CONSTRUCTION DOCUMENTS. PROTECT ALL UTILITIES AND EXISTING FACILITIES.  
 IF CONDITIONS DETRIMENTAL TO PLANT GROWTH AND INSTALLATION ARE ENCOUNTERED, (I.E. ADVERSE DRAINAGE CONDITIONS AND OBSTRUCTIONS) CONTACT THE LANDSCAPE ARCHITECT FOR INSTRUCTIONS.

**LAYOUT**  
 LAYOUT AND STAKE ALL SITE WORK AND PLANTINGS.  
 THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTINGS, LOCATIONS, ETC. TO ACCOMMODATE LOCAL CONDITIONS. SUCH ADJUSTMENTS, IF MADE, WILL BE DEEMED CLARIFICATIONS AND NOT CHANGE ORDERS.

**EROSION CONTROL AND SITE CLEANUP**  
 PROVIDE EROSION CONTROL AS NECESSARY. MAINTAIN SITE CLEANUP THROUGHOUT WORK AND PROVIDE A FINAL JOB CLEANUP.

**TREES SHRUBS AND GROUNDCOVERS**

**PLANT MATERIAL**  
 NURSERY GROWN, SOUND, HEALTHY AND VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WHEN IN LEAF AND HAVE HEALTHY, WELL DEVELOPED ROOT SYSTEM.  
 GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF PROJECT (PREFERABLY WITHIN A 200-MILE RADIUS OF THE PROJECT SITE).  
 PLANTS MUST BE EQUAL OR EXCEED THE MEASUREMENTS DENOTED IN THE PLANT LIST, WHICH ARE MINIMUM ACCEPTABLE SIZES.  
 PRUNE ONLY AS DIRECTED BY LANDSCAPE ARCHITECT, IN NO CASE SHOULD THE PLANTS BE PRUNED BACK TO AN EXTENT THAT THEY NO LONGER MEET THE SPECIFICATIONS.

**SUBMITTALS**  
 PROVIDE VERIFICATION OF PLANT INSPECTION CERTIFICATES, GENUS, SPECIES AND VARIETY, PROPOSED SCHEDULE OF WORK, SOIL TEST RESULTS, PROPOSED RATES OF APPLICATION OF FERTILIZERS AND SOIL CONDITIONERS PRIOR TO INSTALLATION.

**PLANT INSPECTION**  
 THE LANDSCAPE ARCHITECT MAY INSPECT PLANT MATERIALS EITHER AT THE PLACE OF GROWTH OR AT THE SITE BEFORE PLANTING. DEFECTIVE OR UNSATISFACTORY MATERIAL MAY BE REJECTED AT ANY TIME DURING PROGRESS OF WORK.

**SOIL AMENDMENTS**  
 FERTILIZER: COMMERCIAL GRADE, 10-10-10 FORMULA CONFORMING TO U.S. DEPARTMENT OF AGRICULTURAL STANDARDS DELIVERED IN ORIGINAL UNOPENED CONTAINERS BEARING MANUFACTURER'S GUARANTEED ANALYSIS AND MIXTURE.

**EXISTING SOIL**  
 CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY EXISTING SOIL CONDITION FOR DRAINAGE AND NUTRIENT CONTENT REPORT ANY PROBLEMS TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING PLANT INSTALLATION.

- TOP SOIL**
1. FERTILE FRIABLE NATURAL LOAM, TYPICAL FOR LOCALITY.
  2. AGRICULTURAL SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH.
  3. TAKEN FROM WELL-DRAINED SITE.
  4. FREE OF SUBSOIL, CLAY LUMPS OR STONES LARGER THAN ONE INCH' IN DIAMETER, PLANTS, WEEDS, AND ROOTS.
  5. HAVING PH VALUE OF 5.4 MINIMUM AND 7.0 MAXIMUM.
  6. CONTAINING 6 PERCENT MINIMUM ORGANIC MATTER.
  7. TEST TOPSOIL TO INSURE PROPER PERCENTAGE OF NITROGEN, PHOSPHORUS, AND POTASH, ORGANIC MATTER AND PH VALUE.

UNLESS SPECIFIED IN PLANTING SCHEDULE ALL PLANTING AREAS TO HAVE 18 INCHES OF TOPSOIL AND ALL LAWN AREAS TO HAVE 4 INCHES OF TOP SOIL.

**PLANTING SOIL MIX:**  
 5 PARTS TOPSOIL (LOAM) AND 2 PARTS SAND (USE WITH CLAY LOAMS OR SILTY LOAMS)  
 NOTE: PLANTING SOIL MIX MAY BE SUBSTITUTED WITH APPROVED TOPSOIL.

**MULCHES**  
 MULCHES SHALL BE FREE FROM MATURED SEED, NOXIOUS WEEDS, EGG CASES, HARMFUL INSECTS, OR ANY SPECIES OR CHEMICAL DETRIMENTAL TO THE DEVELOPMENT OF PLANTS AND HUMANS. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR CONTROL OF NOXIOUS WEEDS INTRODUCED ON THE SITE IN THE MULCH FOR PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION OF THE WORK. MULCHES SHALL EXHIBIT UNIFORM TEXTURE COLOR AND PARTICLE SIZE. SECURE LANDSCAPE ARCHITECT'S APPROVAL FOR SPECIFIC MULCH TYPE.

**PROTECTION**  
 PROTECT WORK FROM EROSION, FLOODING, WINDS AND RAIN. REPAIR OR REPLACE ANY DAMAGED AREAS.

**PLANTING**  
 REMOVE BURLAP AND TIES FROM TOP AND PARTIAL SIDES OF ALL PLANT BALLS.  
 PLANT ALL TREES AS PER PLANTING DETAILS.

**MAINTENANCE**  
 MAINTAIN PLANTINGS (WATERING, WEEDING, FERTILIZING, CULTIVATION, DISEASE AND INSECT CONTROL, STAKING, ETC.) UNTIL FINAL INSPECTION AND ACCEPTANCE.

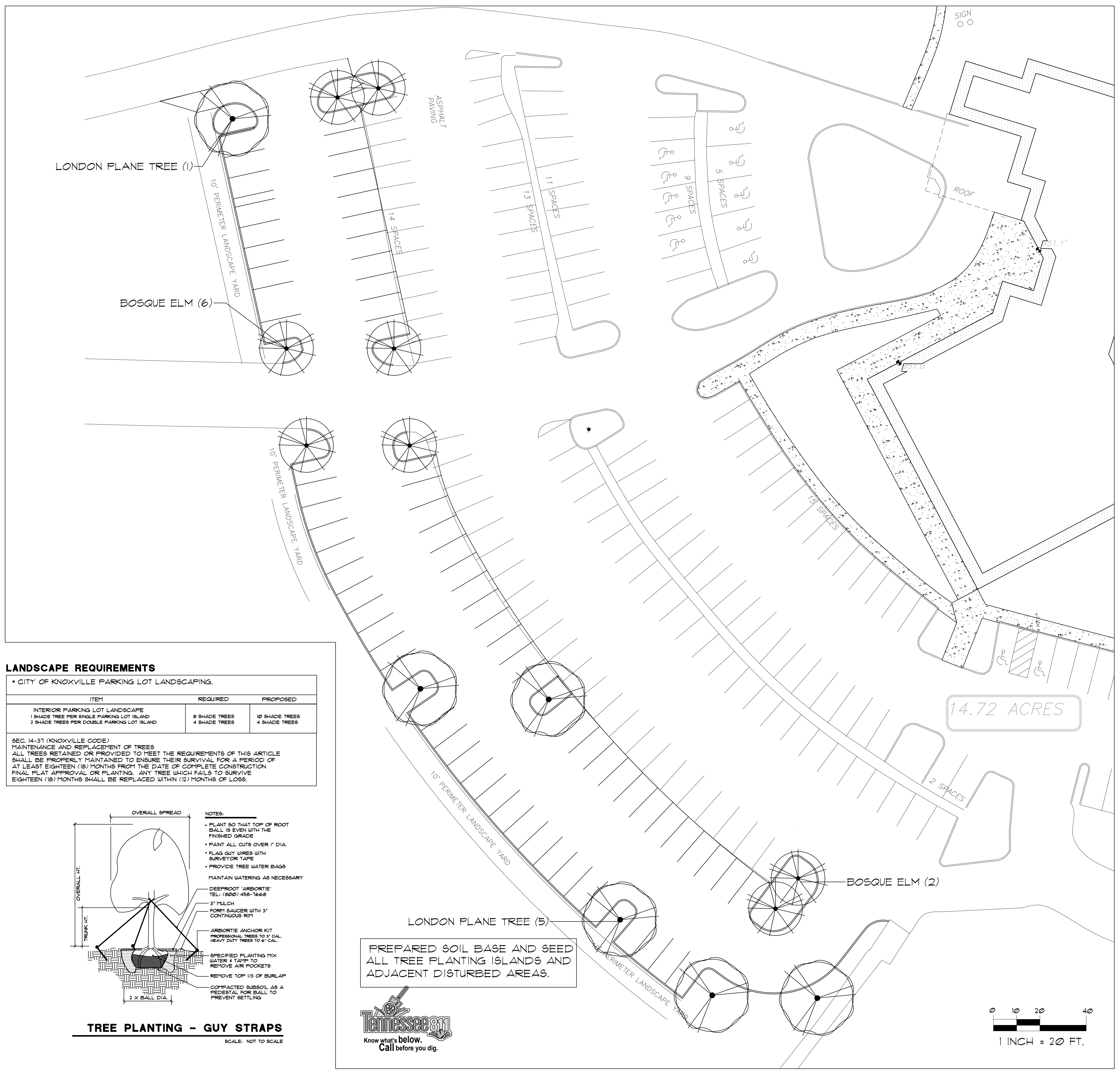
**LAWNS AND GRASSES**  
**QUALITY ASSURANCE**  
 PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSTS OF NORTH AMERICA. SUBMIT SEED VENDOR'S CERTIFIED STATEMENT FOR EACH GRASS SEED MIXTURE.

**FERTILIZER AND LIME**  
 FERTILIZER WITH COMMERCIAL FERTILIZER. PERCENTAGE TO BE DETERMINED WITH ANALYSIS AND SEASON OF INSTALLATION.  
 LIME TO BE NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85% CARBONATES. MINIMUM OF 30% MAGNESIUM CARBONATES.

- SEED PREPARATION**
1. TILL TO A DEPTH OF NOT LESS THAN 6 INCHES.
  2. ELIMINATE UNEVEN AREAS AND LOW SPOTS. MAKE CHANGES IN GRADE GRADUAL.
  3. TILL SOIL TO A HOMOGENOUS MIXTURE OF FINE TEXTURE, FREE OF CLODS.
  4. REMOVE STONES LARGER THAN ONE INCH AND OTHER EXTRANEIOUS MATERIAL.
  5. APPLY TOPSOIL LAYER IF SPECIFIED.
  6. APPLY LIME AT RATE REQUIRED TO ACHIEVE PH RANGE BETWEEN 6.0 AND 6.5.
  7. APPLY FERTILIZER AT RATE REQUIRED BY ANALYSIS.
  8. MIX THOROUGHLY IN UPPER TWO INCHES OF TOPSOIL.

**SEEDING AND STRAWING**  
 APPLY SEED AT RATE SPECIFIED OR AS NECESSARY TO INSURE A UNIFORM AND FULL STAND OF GRASS, EVENLY, BY SOWING EQUAL QUANTITY IN 2 DIRECTIONS AT RIGHT ANGLES TO EACH OTHER.  
 RAKE SEED LIGHTLY INTO TOP 1/4 INCH OF SOIL, AND ROLL SEEDING AREA WITH ROLLER NOT EXCEEDING 12 LBS. IMMEDIATELY FOLLOWING ROLLING, APPLY STRAW UNIFORMLY TO FORM A CONTINUOUS BLANKET NOT LESS THAN 1-1/2 INCH LOOSE MEASURE. MAINTAIN CLEAR OF TREES AND SHRUBS.  
 ON SEEDING SLOPES, WHERE GRADE IS 3:1 OR GREATER, COVER WITH EROSION FABRIC.

**GUARANTEE AND REPLACEMENT**  
 GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF PROJECT ACCEPTANCE. GUARANTEE AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLIGENCE BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND CONTRACTOR'S CONTROL. IMMEDIATELY REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE UNSATISFACTORY DURING GUARANTEE PERIOD.



**LANDSCAPE REQUIREMENTS**

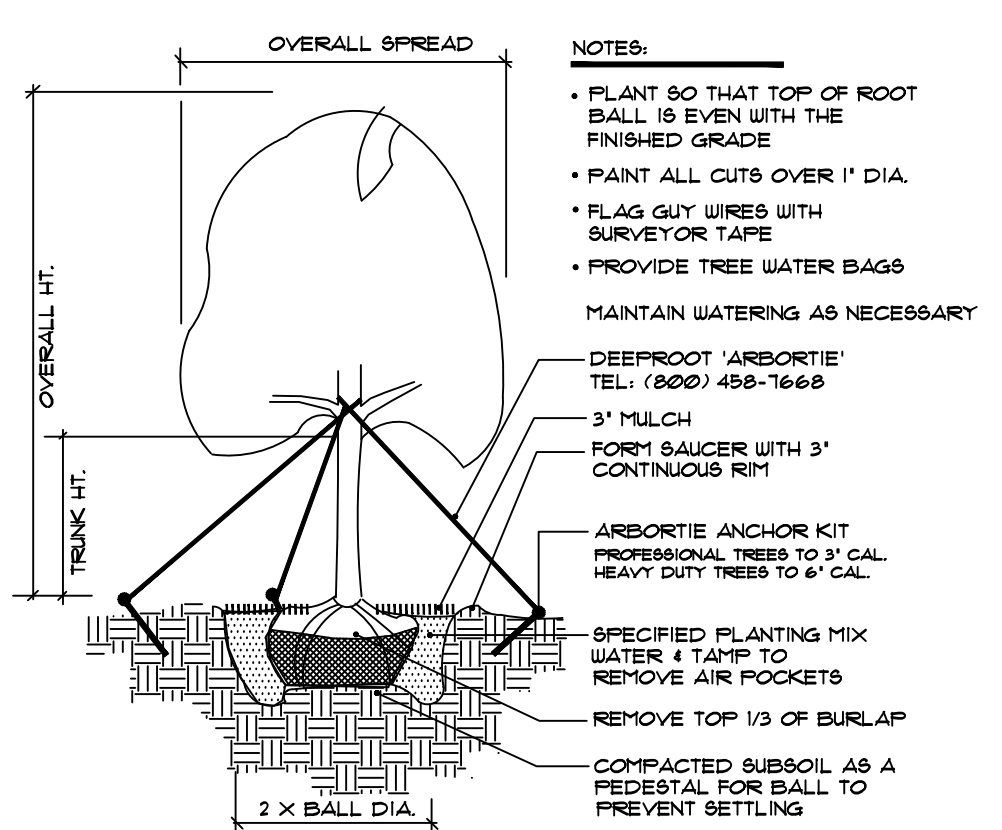
• CITY OF KNOXVILLE PARKING LOT LANDSCAPING.

ITEM	REQUIRED	PROPOSED
INTERIOR PARKING LOT LANDSCAPE	8 SHADE TREES	10 SHADE TREES
1 SHADE TREE PER SINGLE PARKING LOT ISLAND	4 SHADE TREES	4 SHADE TREES
2 SHADE TREES PER DOUBLE PARKING LOT ISLAND		

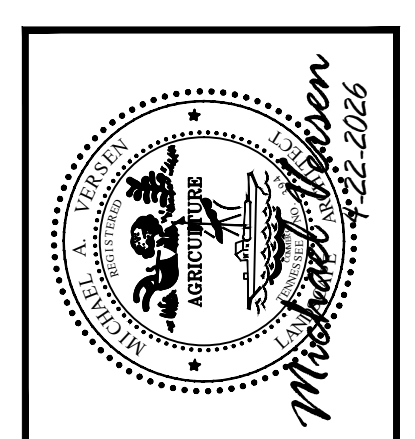
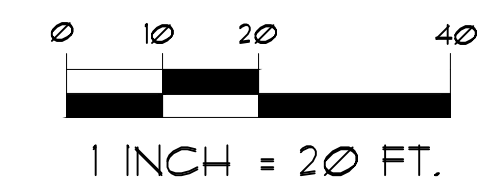
SEC. 14-37 (KNOXVILLE CODE)  
 MAINTENANCE AND REPLACEMENT OF TREES  
 ALL TREES RETAINED OR PROVIDED TO MEET THE REQUIREMENTS OF THIS ARTICLE SHALL BE PROPERLY MAINTAINED TO ENSURE THEIR SURVIVAL FOR A PERIOD OF AT LEAST EIGHTEEN (18) MONTHS FROM THE DATE OF COMPLETE CONSTRUCTION FINAL PLAT APPROVAL OR PLANTING. ANY TREE WHICH FAILS TO SURVIVE EIGHTEEN (18) MONTHS SHALL BE REPLACED WITHIN (12) MONTHS OF LOSS.

**PLANT SCHEDULE**

QTY	COMMON / BOTANICAL NAME	SIZE	CAL
<b>DECIDUOUS TREES</b>			
6	BOSQUE ELM / <i>Ulmus parvifolia</i> UFMTF Bosque'	10-12H x 6' SP	2'cal
6	LONDON PLANE TREE / <i>Platanus x acerifolia</i>	10-12H x 6' SP	2'cal
<b>ADDITIONAL ITEMS MATERIAL</b>			
AS PER PLAN	HARDWOOD MULCH - trees		
AS PER PLAN	TOP SOIL - PLANTING AREAS (18" all planting islands / 4" all lawn areas)		
AS PER PLAN	SEED Lebanon 'Winning Colors' and Transition Blend 50/50 mix or approved equal		



PREPARED SOIL BASE AND SEED ALL TREE PLANTING ISLANDS AND ADJACENT DISTURBED AREAS.



**MICHAEL VERSEN & ASSOCIATES**  
 LANDSCAPE ARCHITECTURE, LAND PLANNING  
 295 N. WELLSBARGER RD., SUITE 201, KNOXVILLE, TN 37919  
 (865) 598-1331

**LANDSCAPE PLAN**

**WEST END CHURCH OF CHRIST**  
 City, State

JOB NO. 226006  
 DRAWN: MAV  
 DATE: MAR 19, 2026  
 REVISIONS: APR 22, 2026

