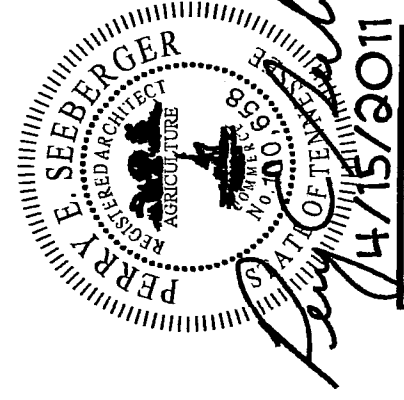




EXTERIOR ELEVATIONS

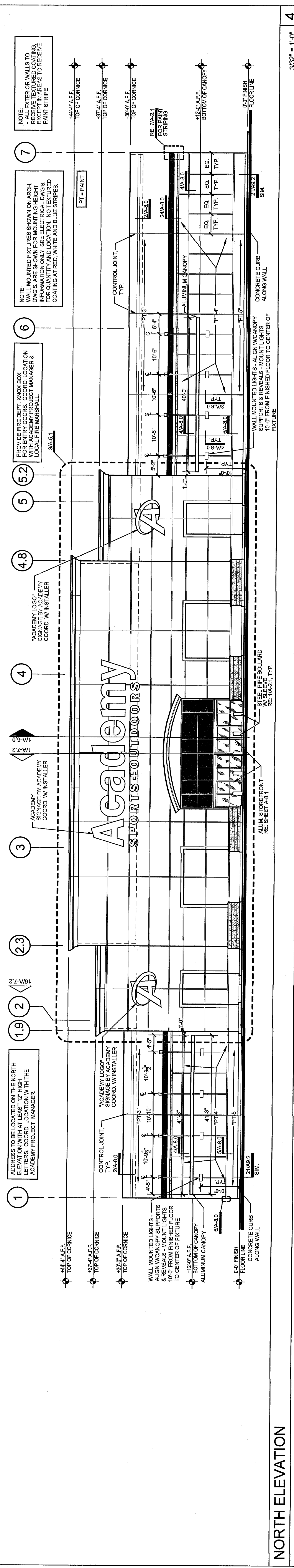
7/6K REVERSE PROTOTYPE STORE

Academy
SPORTS+OUTDOORS
KNOXVILLE, TENNESSEE

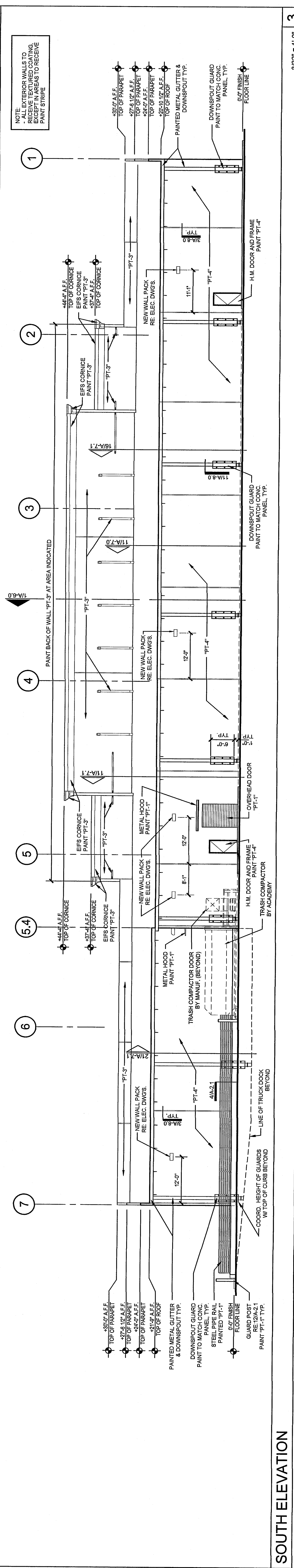
DATE	ISSUE
04/11/11	ISSUE FOR PERMIT
04/11/11	ISSUE FOR PERMIT

JOB NO.: 210028
DRAWN BY:
CHECKED BY:

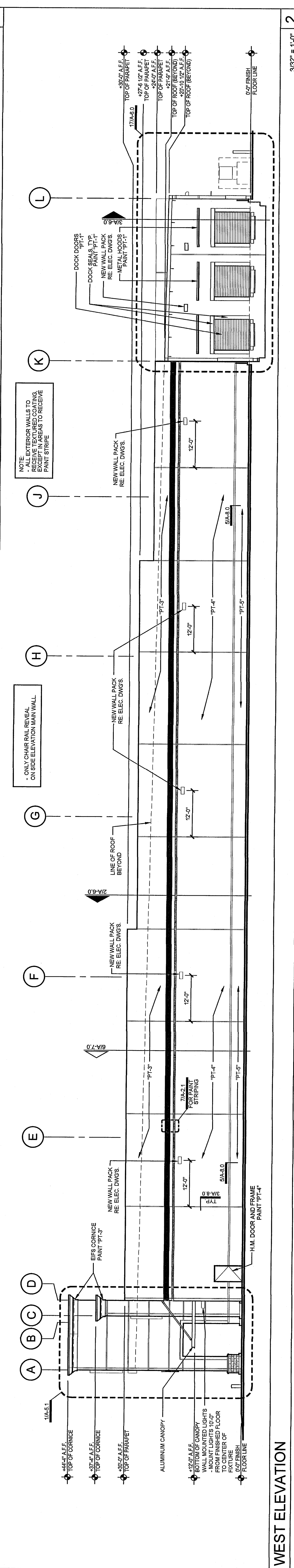
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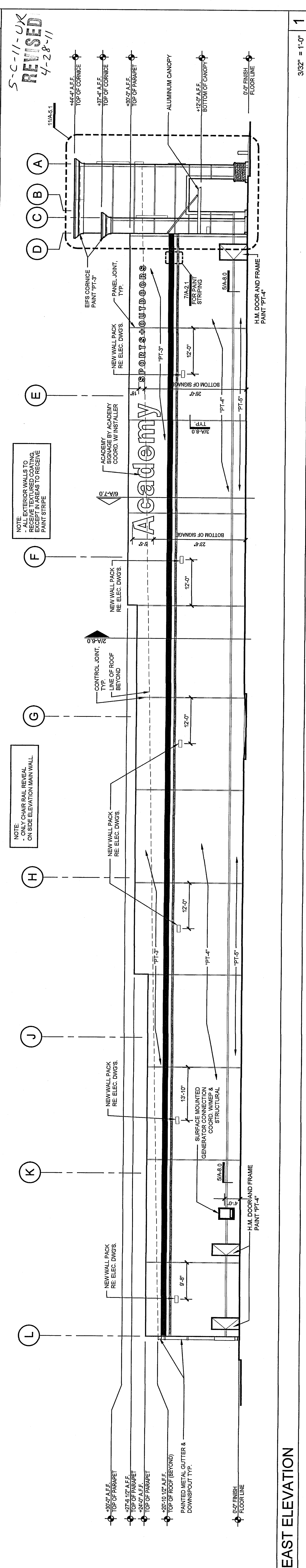
NORTH ELEVATION



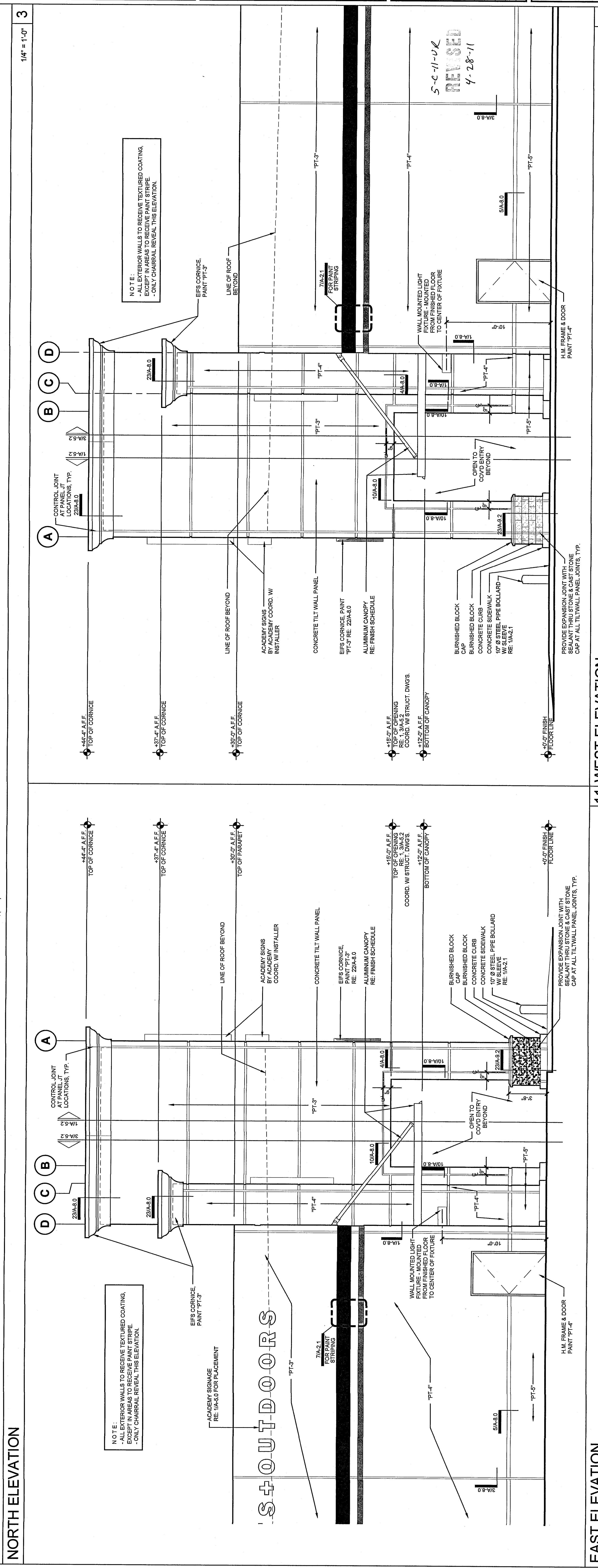
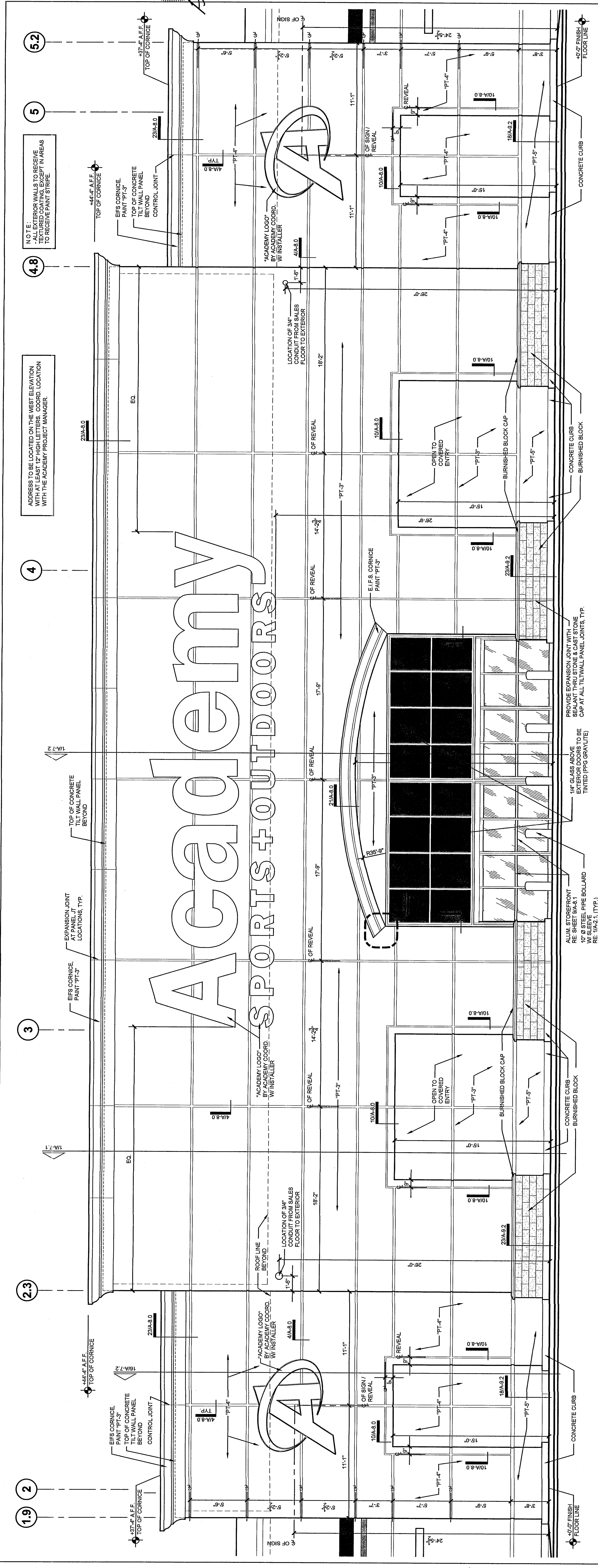
SOUTH ELEVATION



WEST ELEVATION



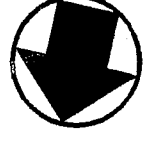
EAST ELEVATION





Now what's below

Call before you dig



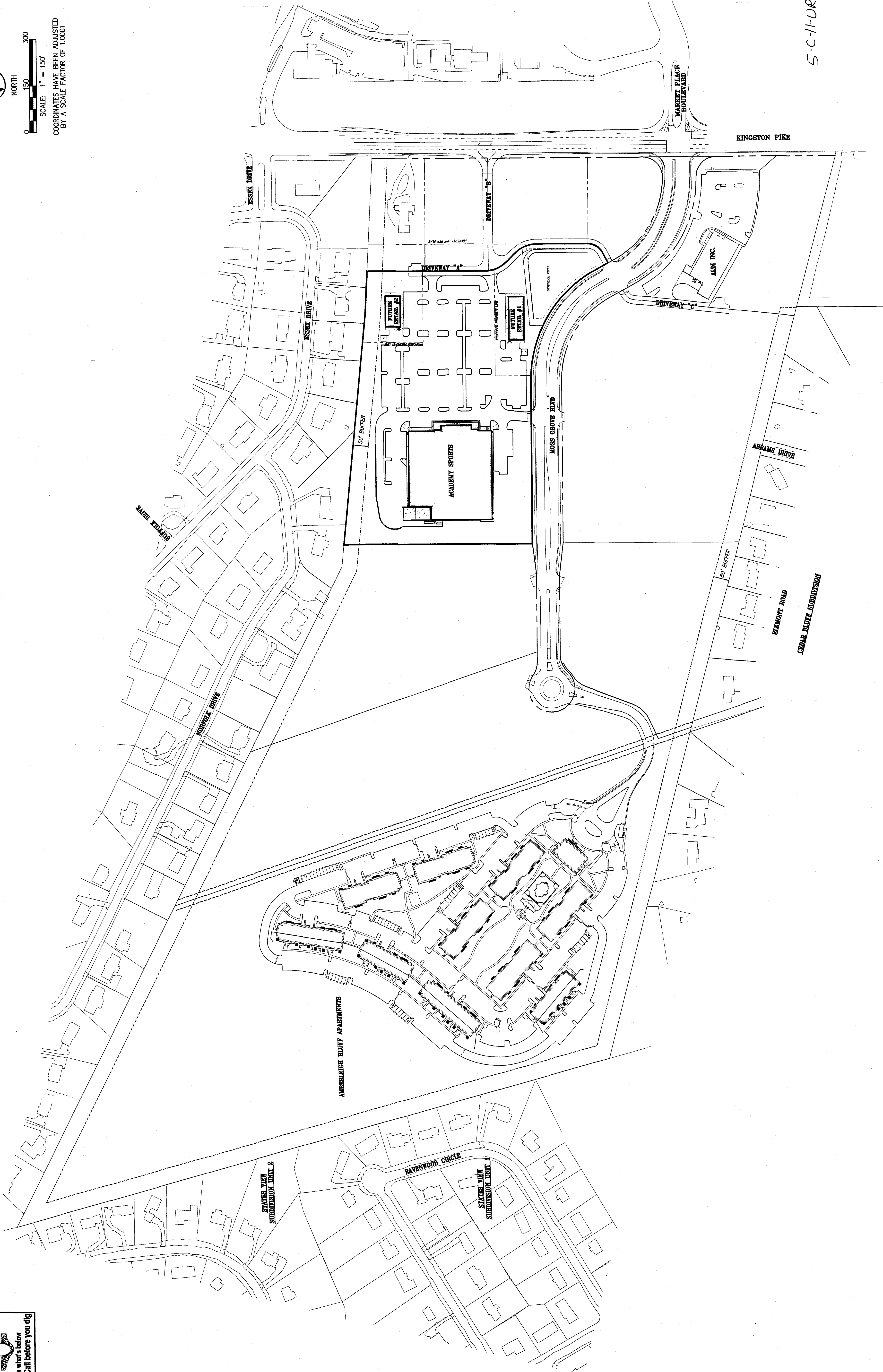
TN STATE PLAN
(NAD 83, NAVD 88)

NORTH

Age Group	Number of people
0-14	100
15-24	120
25-34	140
35-44	160
45-54	180
55-64	200
65-74	220
75-84	240
85+	280

SCALE: 1" = 150'

COORDINATES HAVE BEEN ADJUSTED
BY A SCALE FACTOR OF 1.0001



5-C-11-UR

LEGEND

EXISTING RIGHT-OF-WAY
PROPERTY LINE PER PLAT
PROPOSED PROPERTY LINE
PROJECT BOUNDARY

VICINITY MAP

GENERAL NOTES:

1. THE EXTERIOR BOUNDARY, "NO PLANNETRIC DATA, SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED 01-26-2011 INSTRUMENT 120071210048727. INTERIOR PROPERTY LINES SHOWN A R R PLAT OF RECORD REFERENCE 2010069010491.
2. PROPERTY CONCERNED, REF. EXTS. PARCELS 2708, 2709, 2710 & 2711 AS SHOWN ON THE TAX MAP, ARE TAXED AS "COMMERCIAL".
3. AREA OF PARCELS PER PLAT OF RECORD:
2708 = 13.5 AC.
2709 = 1.13 AC.
2710 = 1.30 AC.
2711 = 2.07 AC.
AREA OF PROPOSED PARCELS PER USE ON REVIEW:
2708 = 1.51 AC.
2709 = 1.51 AC.
2710 = 1.71 AC.
2711 = 2.21 AC.
4. PROPERTY OWNER:
KINGSTON PARK, LLC
6151 FOWERS PARKWAY, SUITE 600
FARMERS BRANCH, TEXAS 75440
TEL. NO. (770) 953-1780
FAX NO. (770) 998-9103

[illegible]

Cannon & Cannon, Inc.
Consulting Engineers • Field Surveyors
8350 Kingston Pike
Knoxville, Tennessee 37919
Telephone: (615) 670-5555 • Fax: (615) 670-8866
www.cannon-cannon.com

CLIENT: HUGHES COMMERCIAL PROPERTIES, INC.
P.O. BOX 10440
GREENVILLE, SC 29603
TEL. NO. (864) 233-0079

PROJECT: ACADEMY SPORTS
KINGS' ON PIKE
KNOXVILLE, TENNESSEE 37919

USE ON REVIEW
OVERALL SITE LAYOUT

C) PROJECT NO. 00937-0000

PRELIMINARY
FOR REVIEW
ONLY

UR1.01

KINGSTON PIKE

TENNESSEE RETAIL STORES LLC
DEED #201010060021743

KINGSTON PIKE, LLC.
DEED #200712210048725

KINGSTON PIKE, LLC.
DEED #200712210048725

KINGSTON PIKE, LLC.
DEED #200712210048725

- LEGEND**
- PROPOSED ASPHALT PAVEMENT
 - PROPOSED CONCRETE PAVEMENT
 - PROPOSED CONCRETE SIDEWALK
 - EXISTING BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED PARKING SPACES
 - PROPOSED ACCESSIBLE SPACE

EROSION CONTROL:

- EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH TDEC AND THE CITY OF KNOXVILLE - DEPARTMENT OF ENGINEERING REQUIREMENTS.
- AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE PROPERTY, UNTIL PAVING & LANDSCAPING OPERATIONS ARE COMPLETED.

UTILITY SERVICES:

- UTILITY SERVICES ARE TO BE PROVIDED BY THE FOLLOWING:
- WATER - FIRST UTILITY DISTRICT
 - SEWER - FIRST UTILITY DISTRICT
 - ELECTRIC - KNOXVILLE UTILITIES BOARD
 - GAS - KNOXVILLE UTILITIES BOARD
 - COMMUNICATIONS - AT&T, COMCAST, KNOLOGY

PARKING:

ACADEMY SPORTS	
REQUIRED:	
4.5 SPACES PER 1000 SQ. FT. (PER ACADEMY REQUIREMENTS)	
4.5 SPACES PER 1000 SQ. FT. PER MPC REQUIREMENTS	
75,000/1000 X 4.5 =	338 PARKING SPACES
301-400 STANDARD SPACES REQ. 6	
ACCESSIBLE AND 2 VAN ACCESSIBLE	
ACCESSIBLE SPACES REQUIRED =	8 ACCESSIBLE SPACES
PROVIDED:	
TOTAL STANDARD SPACES PROVIDED =	376 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED =	8 SPACES
ACADEMY SPORTS SPACES TOTAL =	384 SPACES
FUTURE RETAIL #1	
REQUIRED:	
4.5 SPACES PER 1000 SQ. FT. OF	
GROSS LEASABLE AREA(7,000 SQ FT)	
7,000/1000 X 4.5 =	32 PARKING SPACES
26-50 STANDARD SPACES REQ. 1	
ACCESSIBLE AND 1 VAN ACCESSIBLE	
ACCESSIBLE SPACES REQUIRED =	2 ACCESSIBLE SPACES
PROVIDED:	
TOTAL STANDARD SPACES PROVIDED =	33 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED =	2 SPACES
PROPOSED RETAIL #1 SPACES TOTAL =	35 SPACES
FUTURE RETAIL #2	
REQUIRED:	
4.5 SPACES PER 1000 SQ. FT. OF	
GROSS LEASABLE AREA(5,000 SQ FT)	
5,000/1000 X 4.5 =	23 PARKING SPACES
0-25 STANDARD SPACES REQ. 1	
VAN ACCESSIBLE SPACE	
ACCESSIBLE SPACES REQUIRED =	1 ACCESSIBLE SPACE
PROVIDED:	
TOTAL STANDARD SPACES PROVIDED =	25 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED =	27 SPACES
PROPOSED RETAIL #2 SPACES TOTAL =	27 SPACES
PARKING SUMMARY	
REQUIRED:	
ACADEMY SPORTS	330
RETAIL #1	30
RETAIL #2	2
TOTAL:	362
PROVIDED:	
ACADEMY SPORTS	376
RETAIL #1	33
RETAIL #2	25
TOTAL:	434

MOSS GROVE BLVD

RETENTION BASIN

FUTURE RETAIL #1
7,000 SQ. FT.
32 SPACES REQ.

FUTURE RETAIL #2
5,000 SQ. FT.
23 SPACES REQ.

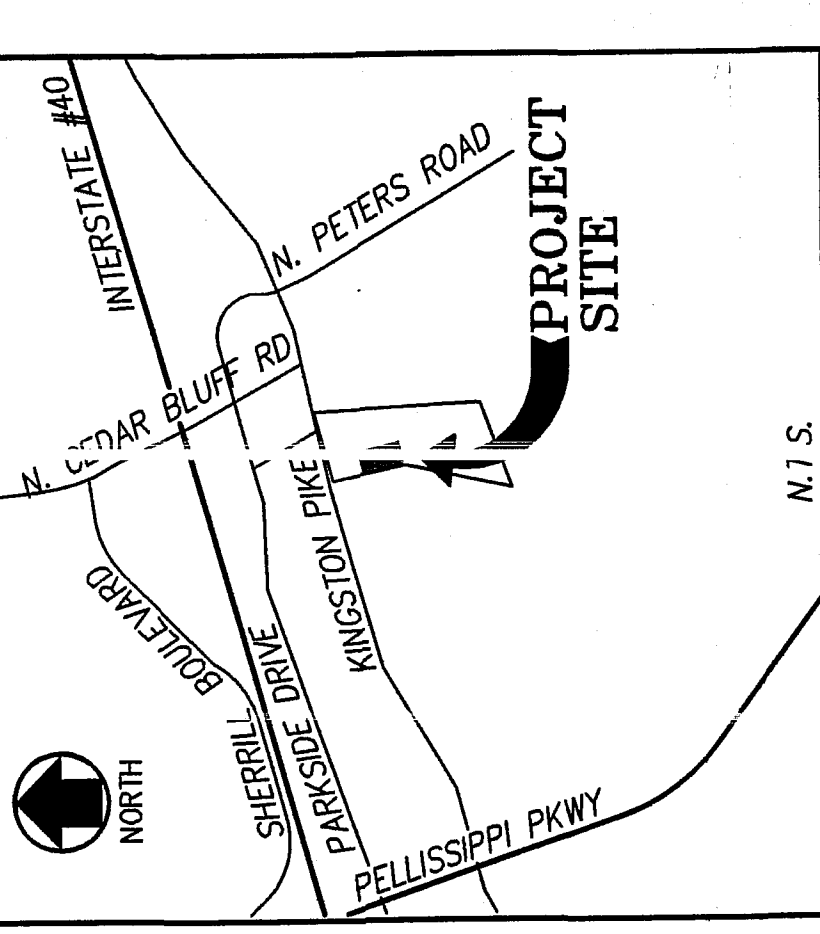
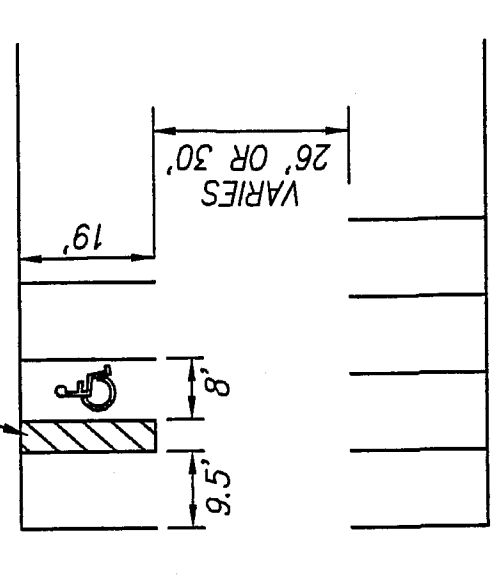
PROPOSED ACADEMY SPORTS
75,000 SQ. FT.
338 SPACES REQ. (4.5/1000 SF)
384 SPACES PROVIDED (5.1/1000 SF)

KINGSTON PIKE, LLC.
DEED #200712210048725

5-C-11-02
REISED
4-28-11

TYPICAL PARKING DETAIL

M.T.S.



GENERAL NOTES:

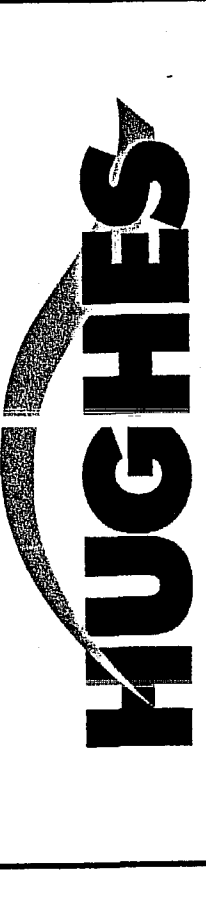
- THE BOUNDARY AND PLANNING DATA SHOWN WAS PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE DATA.
- PROPERTY OWNER: KINGSTON PIKE, LLC
6151 POWERS FERRY ROAD, SUITE 690
ATLANTA, GA 30339-2959
TEL NO. (770) 953-1780
FAX NO. (770) 988-8103
- PERMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED.
- PROPERTY OWNER: KINGSTON PIKE, LLC
6151 POWERS FERRY ROAD, SUITE 690
ATLANTA, GA 30339-2959
TEL NO. (770) 953-1780
FAX NO. (770) 988-8103
- RETENTION AND WATER QUALITY TO BE EVALUATED AS PART OF FINAL DRAINAGE DESIGN.
- THE PERMETER 50 FOOT BUFFER IS TO BE UNDISTURBED UNLESS BY AGREEMENT BETWEEN THE PROPERTY OWNER AND ADJOINING RESIDENTIAL OWNERS WITH THE APPROVAL OF MPC, A BERM OR FENCE OR ADDITIONAL VEGETATION IS PLACED IN THE UNDISTURBED AREA.

LANDSCAPING:

- ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH SECTION 63-40, "LANDSCAPING" OF THE KNOXVILLE, KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS.
- REFERENCING SECTION 14-37 OF THE ORDINANCE, ALL TREES SHALL BE MAINTAINED TO ASSURE SURVIVAL A MINIMUM OF 18 MONTHS AFTER COMPLETION OF CONSTRUCTION.
- PROPOSED LANDSCAPING WITHIN AND ADJACENT TO THE PROPOSED BOULEVARD SHALL MAINTAIN THE TRAFFIC LINE OF SIGHT AND VISIBILITY.

CERTIFICATION OF CONCEPT PLAN
I hereby certify that I am an engineer, licensed to do engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations and as such, I am a duly Licensed Professional Engineer and am duly registered with the Metropolitan Planning Commission.

Tennessee Certificate No. 2255242
Engineer



COMMERCIAL PROPERTIES INCORPORATED

REVISED PER MPC COMMENTS	4-27-2011
REVISED PER MPC COMMENTS	4-15-2011
REVISIONS	DATE



Cannon & Cannon, Inc.
Consulting Engineers • Field Surveyors
1550 Kingston Pike
Knoxville, Tennessee 37921
Telephone: (865) 570-8555 • Fax: (865) 670-8866
www.cannon-cannon.com

CLIENT: HUGHES COMMERCIAL PROPERTIES, INC.
P.O. BOX 10440
GREENVILLE, SC 29603
TEL. NO. (864) 233-0079

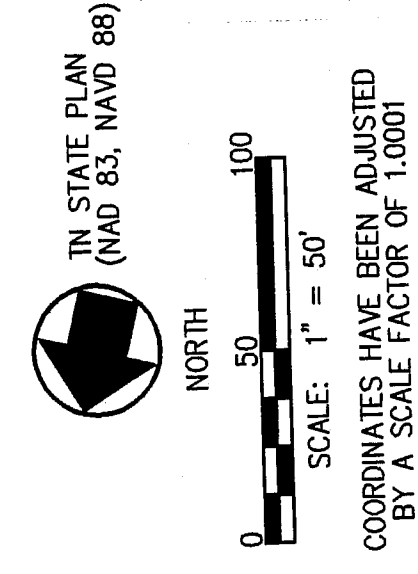
PROJECT: ACADEMY SPORTS
KINGSTON PIKE
KNOXVILLE, TENNESSEE 37919

USE ON REVIEW
SITE LAYOUT AND PAVING PLAN

PRELIMINARY
FOR REVIEW
ONLY

LCI PROJECT NO.	08937-0000
DATE	MARCH 28, 2011
FILE	BRS
DATE	JTP

UR1.02

**EROSION CONTROL:**

1. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH TDEC AND THE CITY OF KNOXVILLE - DEPARTMENT OF ENGINEERING REQUIREMENTS.

2. AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE PROPERTY, UNTIL PAVING & LANDSCAPING OPERATIONS ARE COMPLETED.

UTILITY SERVICES:

UTILITY SERVICES ARE TO BE PROVIDED BY THE FOLLOWING:

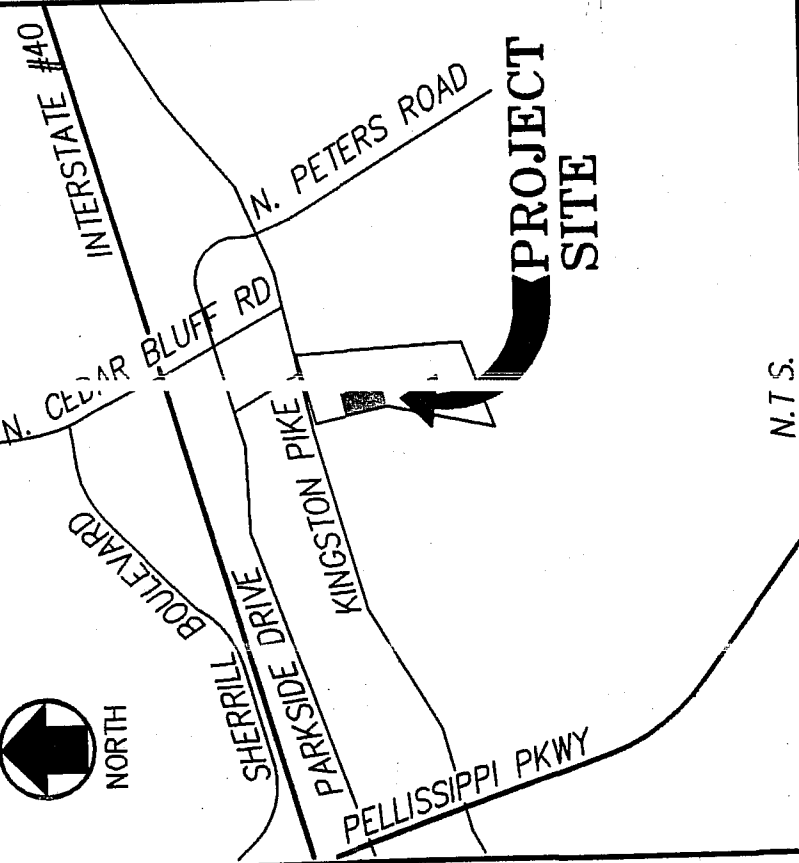
- WATER - FIRST UTILITY DISTRICT
SEWER - FIRST UTILITY DISTRICT
ELECTRIC - KNOXVILLE UTILITIES BOARD
GAS - KNOXVILLE UTILITIES BOARD
TELEPHONE - AT&T, COMCAST, KNOXLOGY

LEGEND

- PROPOSED CONTOUR
--- 960 ---
--- 960 ---
PROPERTY LINE
--- x 85.00 ---
PROPOSED SPOT ELEVATION

VICINITY MAP

N.T.S.

PROJECT SITE**GENERAL NOTES:**

1. THE BOUNDARY AND PLANNING DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED 01-26-2011. PLAT OF RECORD REFERENCE #20100819.
2. PROPERTY CONCERNED REFLECTS PARCELS 27.08 AS SHOWN ON KNOX COUNTY CLT TAX MAP FOR ZONING FOR THE PROPERTY IS PC-(K) "PLANNED COMMERCIAL".
3. AREA OF PROPOSED DEVELOPMENT = 12.56 ACRES.
4. PERMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED.
5. PROPERTY OWNER: KNOXSTON PINE, LLC 6151 POWERS FERRY ROAD, SUITE 600 ATLANTA, GA 30339-2959 TEL NO. (770) 953-1780 FAX NO. (770) 953-8103
6. PAVEMENT VOLUME PROVIDED IN PREVIOUSLY APPROVED DRAINAGE PLAN. WATER QUALITY DESIGN WILL BE IN ACCORDANCE WITH CITY OF KNOXVILLE STANDARDS.
7. 50 FEET TO BE UNDISTURBED (UNLESS BY AGREEMENT BETWEEN THE PROPERTY OWNER AND ADJOINING RESIDENTIAL OWNERS WITH THE APPROVAL OF MPC, A BERM OR FENCE OR ADDITIONAL VEGETATION IS PLACED IN THE UNDISTURBED AREA.

LANDSCAPING:

1. ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH SECTION 14-3.7 OF THE ORDINANCE, "LANDSCAPING OF THE KNOXVILLE KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS".
2. REFERENCING SECTION 14-3.7 OF THE ORDINANCE, ALL TREES SHALL BE MAINTAINED TO ASSURE SURVIVAL A MINIMUM OF 18 MONTHS AFTER COMPLETION OF CONSTRUCTION.
3. PROPOSED LANDSCAPING WITHIN AND ADJACENT TO THE PROPOSED BOULEVARD SHALL MAINTAIN THE TRAFFIC LINE OF SIGHT AND VISIBILITY.



REVISIONS

DATE

**Cannon & Cannon, Inc.**

Consulting Engineers & Field Surveyors
1850 Eagan Pike
Knoxville, Tennessee 37919
Telephone: (615) 679-8555 • Fax: (615) 679-8666
www.cannon-cannon.com

CLIENT:

HUGHES COMMERCIAL PROPERTIES, INC.
P.O. BOX 10440
GREENVILLE, SC 29603
TEL. NO. (864) 233-0079

PROJECT:

ACADEMY SPORTS
KINGSTON PIKE
KNOXVILLE, TENNESSEE 37919

USE ON REVIEW
SITE GRADING PLAN

PRELIMINARY
FOR REVIEW

ONLY

UR1.03

5-C-11-UR

SEE NOTE #7
50' BUFFERSEE NOTE #7
50' BUFFER

KINGSTON PIKE

GROSS GROVE BLVD

RETENTION BASIN

2%

DRIVEWAY "A"

DRIVEWAY "B"

DEFENTION BASIN

PROPOSED ACADEMY SPORTS
FFE ±946.3

PROPOSED RETAINING WALL

SEE NOTE #7
50' BUFFERSEE NOTE #7
50' BUFFER

PLANT SCHEDULE

Key	Quantity	Botanical Name	Common Name	Size	Notes
SHADE TREES					
AR	32	Acer glabrum 'Coburn Glory'	Coburn Glory Red Maple	1.5" cal.	5' CI - Central leader, M & matched
LT	32	Ulmus americana 'M. J. Mathews'	Mathews Elm	1.5" cal.	5' CI - Central leader, M & matched
OP	21	Quercus shumardii	Shumard Oak	1.5" cal.	5' CI - Central leader, M & matched
QS	25	Quercus shumardii	Shumard Oak	1.5" cal.	5' CI - Central leader, M & matched
EVERGREEN TREES					
NR	35	Ilex x 'Nella R. Stevens'	Nella Stevens Holly	8" hgt. min.	FTG. Matched, M & well branched
HR	688	Juniperus horizontalis 'D. Blandford'	D. Blandford Juniper	8" hgt. min.	FTG. Matched, M & well branched
XCL	22	Xanthoxylum grandifolium	Grandifolium Cypress	8" hgt. min.	FTG. Matched, M & well branched
SHRUBS					
IC	121	Ilex cornuta 'Califolia'	Califolia Holly	5 gal.	4" o.c. M & dense
PL	47	Prunella laurocerasus 'Schubertiana'	Schubert Laurel	5 gal.	15" o.c. M & dense
GROUNDCOVERS & PERENNIALS					
LMB	688	Hebe x 'Happy Returns'	Happy Returns Hebe	1" d.	18" o.c.
LMB	624	Urtica dioica 'Big Blue'	Big Blue Urtica	1" d.	18" o.c.

* Contractor to provide quantity for match.

Site Landscape Requirements

- (1) Yards, open space and drainage areas. Landscaped or maintained in preexisting vegetation with one (1) tree for each five thousand (5,000) square feet of yard or open space.
- (2) Peripheral boundary adjacent to residential zone. A fifteen-foot-wide landscaped strip shall be maintained adjacent to residential zoning. Landscaped areas adjacent to residential zoning shall consist of evergreen plantings set ten (10) feet apart for trees and five (5) feet apart for shrubs. These plantings shall obtain a minimum height of eight (8) feet within a period of one (1) year.
- (3) Parking areas.
a. Five hundred (500) square feet of landscaping for every twenty thousand (20,000) square feet or fraction thereof of paved parking area.
b. One (1) tree that will obtain a minimum height of forty (40) feet at maturity for each five thousand (5,000) square feet of parking area.
- (4) Loading and service areas. Loading and service areas adjacent to the periphery boundary shall be screened with evergreen planting that will obtain a minimum height of eight (8) feet within a one-year period.

Academy Sports Landscape Requirements

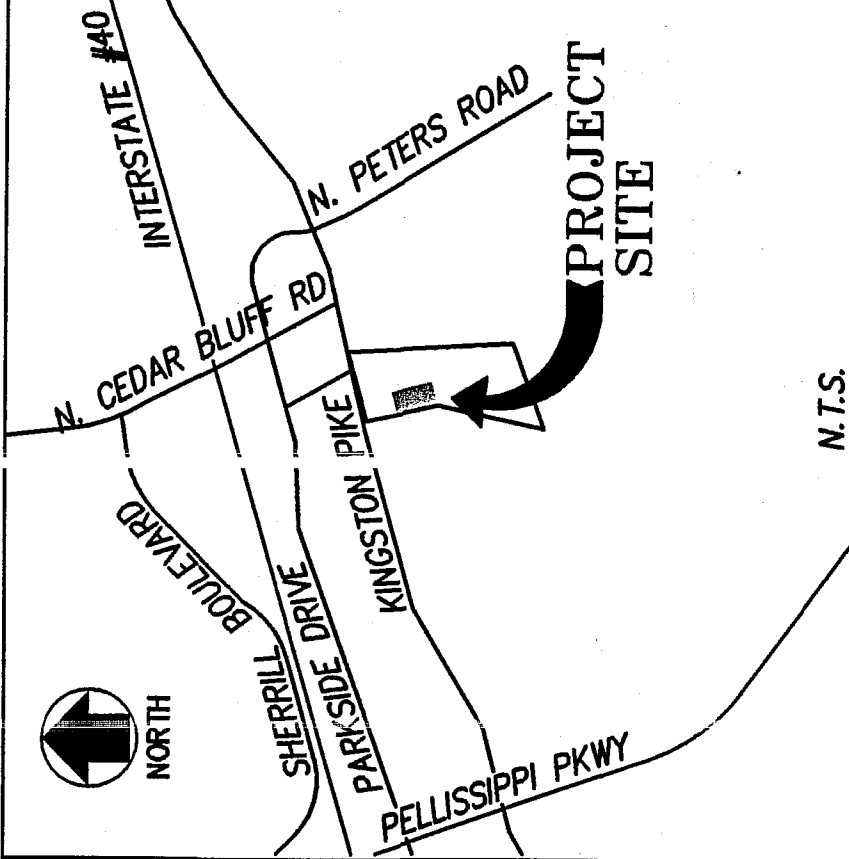
- (1) Yards, open space and drainage areas.
Required: 203,260 SF / 5,000 SF = 41 trees
Provided: 41 trees
- (2) Peripheral boundary adjacent to residential zone.
Required: evergreen plantings set ten (10) feet apart for trees and five (5) feet apart for shrubs.
Provided: See Plans
- (3) Parking areas.
Required: 177,097 SF / 20,000 x 500 = 4,427 SF of landscaping
36 trees
Provided: 4,494 SF of landscaping
36 trees
- (4) Loading and service areas.
Required: Screen with evergreen planting
Provided: See Plans

Retail 1 Landscape Requirements

- (3) Parking areas.
Required: 14,897 SF / 20,000 x 500 = 373 SF of landscaping
3 trees
Provided: 14,897 SF / 5,000 = 3 trees

Retail 2 Landscape Requirements

- (3) Parking areas.
Required: 11,454 SF / 20,000 x 500 = 287 SF of landscaping
2 trees
Provided: 11,454 SF / 5,000 = 2 trees
- (3) Parking areas.
Required: 290 SF of landscaping
2 trees



VICINITY MAP

GENERAL NOTES:

- THE BOUNDARY AND PLAT METRIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED 01-26-2011. PLAT OF R. CORD REFERENCE #20100819 ON KNOX COUNTY CLT. T. X MAP 132. ZONING OR THE PROPERTY IS PC-(16) "COMMERCIAL".
- AREA OF PROPOSED DEVELOPMENT = 12.5+ ACRES.
- PERMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED.
- PROPERTY OWNER: KINGSTON PKE, LLC 6151 POWERS FERRY ROAD, SUITE 690 ATLANTA, GA 30339-2919 TEL. NO. (770) 953-1728 FAX NO. (770) 988-8100
- RETENTION AND WATER QUALITY TO BE EVALUATED AS PART OF FINAL DRAINAGE DESIGN.
- 50 FEET TO BE UNDISTURBED (UNLESS BY AGREEMENT BETWEEN THE PROPERTY OWNER AND ADJOINING RESIDENTIAL OWNERS WITH THE APPROVAL OF MPC, A BERM OR FENCE OR ADDITIONAL VEGETATION IS PLACED IN THE UNDISTURBED AREA).

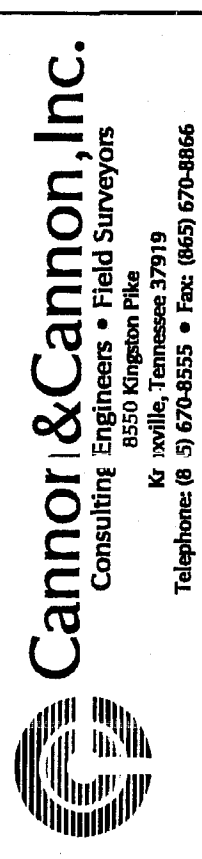
LANDSCAPING:

- ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH SECTION 63-40, "LANDSCAPING," OF THE KNOXVILLE, KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS.
- REFERENCING SECTION 14-37 OF THE ORDINANCE, ALL TREES SHALL BE MAINTAINED TO ASSURE SURVIVAL A MINIMUM OF 13 MONTHS AFTER COMPLETION OF CONSTRUCTION.
- PROPOSED LANDSCAPING 1" THIN AND ADJACENT TO THE PROPOSED BOULEVARD SHALL MAINTAIN THE TRAFFIC LINE OF SIGHT AND VISIBILITY.
- CERTIFICATION OF CONSTRUCTION: I hereby certify that I am an engineer, licensed to do engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been limited and described in a report filed with Metropolitan Planning Commission.

Tennessee Certificate No. _____ Engineer _____



Info@hedstromdesign.com
www.hedstromdesign.com
130 W. Jackson Ave. #104
Knoxville, Tennessee 37919
865.325.0762
865.325.0064 fax

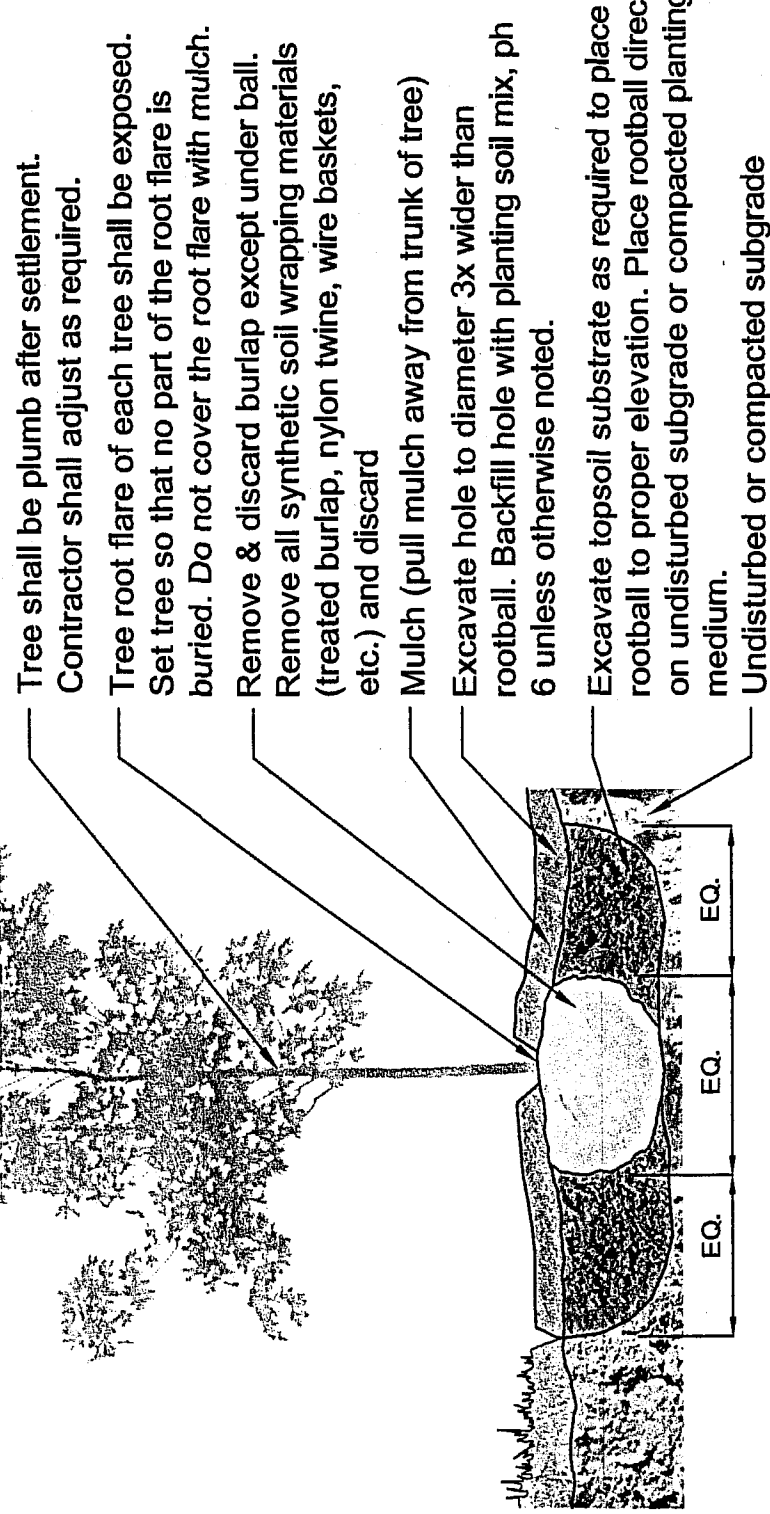


CLIENT: HUGHES COMMERCIAL PROPERTIES, INC.
P.O. BOX 10440
GREENVILLE, SC 29603
TEL. NO. (864) 235-0079

PROJECT: ACADEMY / SPORTS
KINGSTON PIKE
KNOXVILLE, TENNESSEE 37919

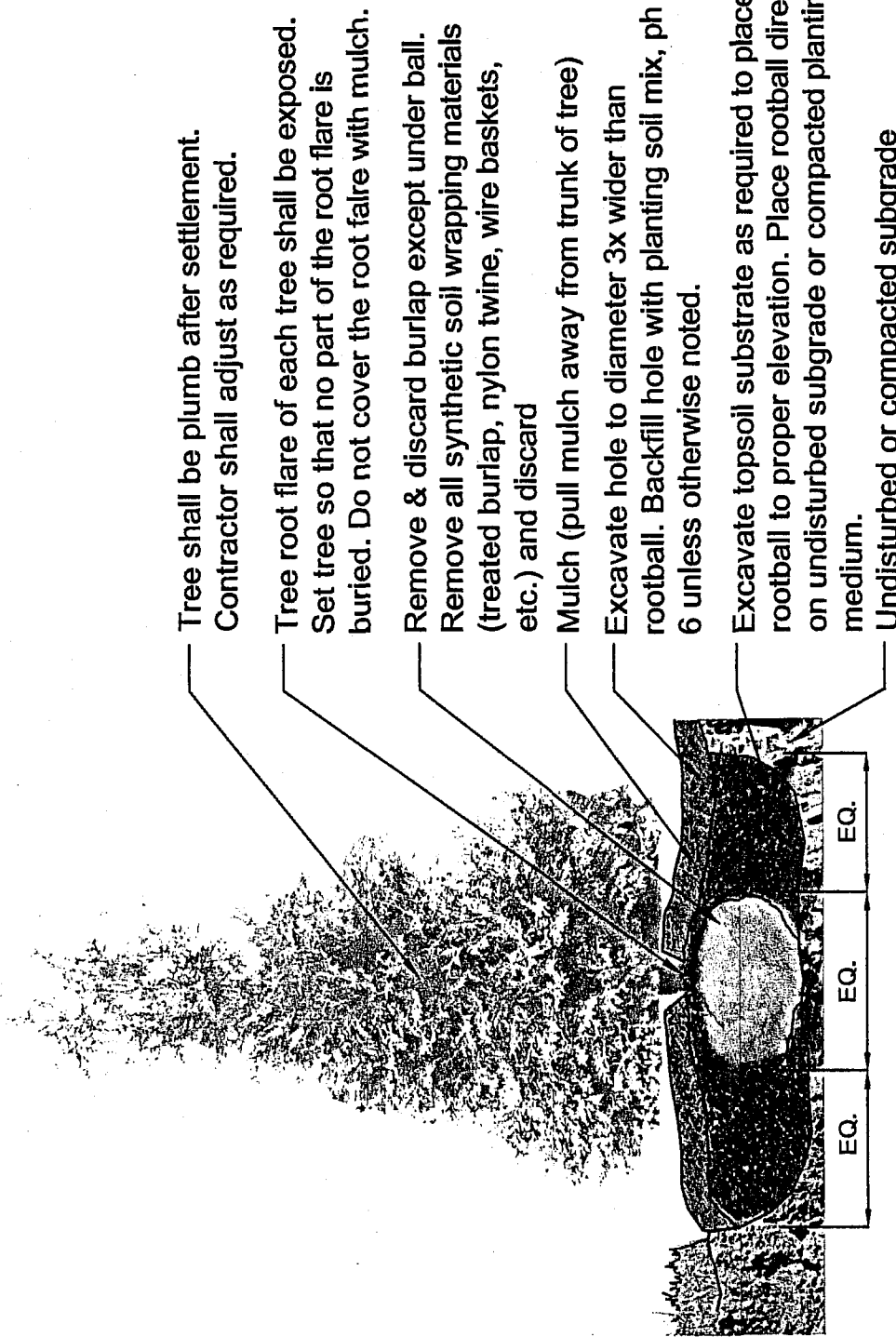
USE ON REVIEW
LANDSCAPE PLAN

OC PROJECT NO. 00837-0000
DATE: APRIL 27, 2011
FILE NO. 5
SIP
BY: J. W. C. O.D.
Q.C.
L100



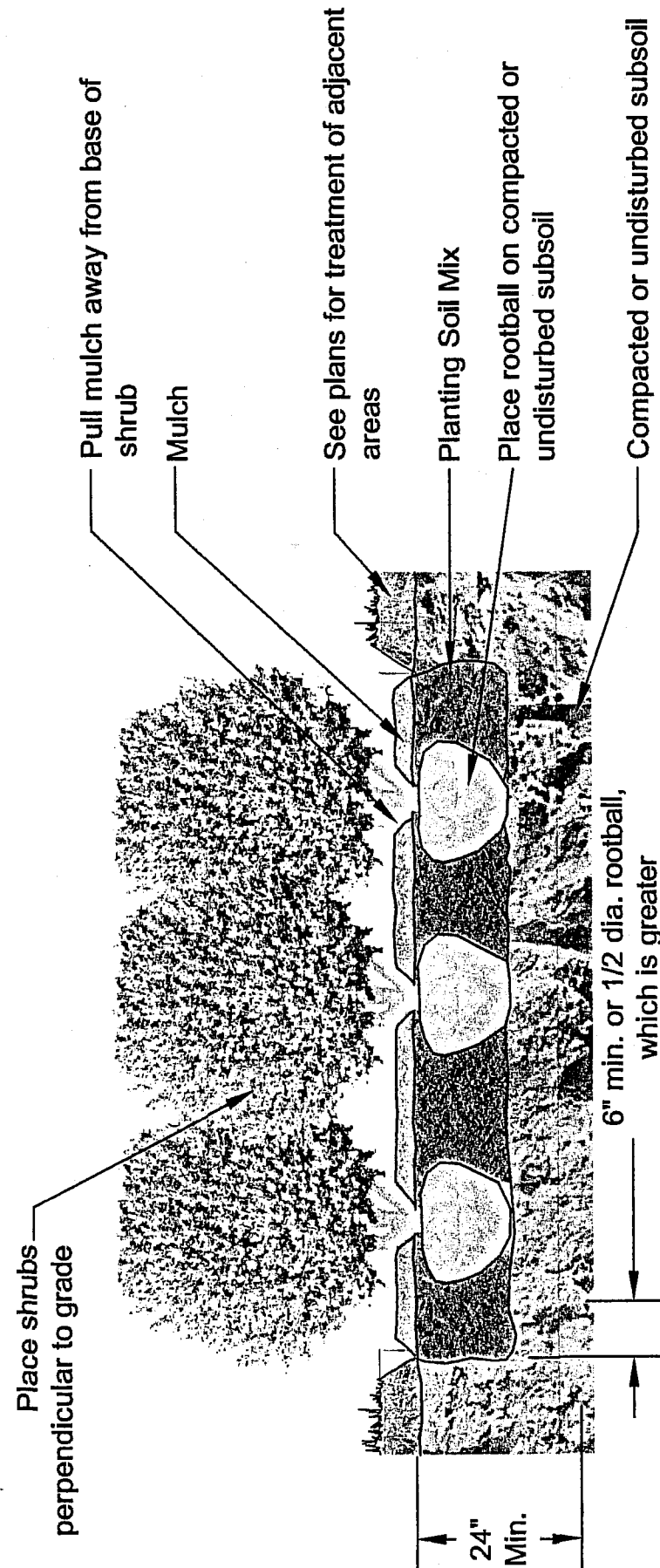
1 DECIDUOUS TREE PLANTING DETAIL

SCALE: NTS



2 EVERGREEN TREE PLANTING DETAIL

Scale: NTS

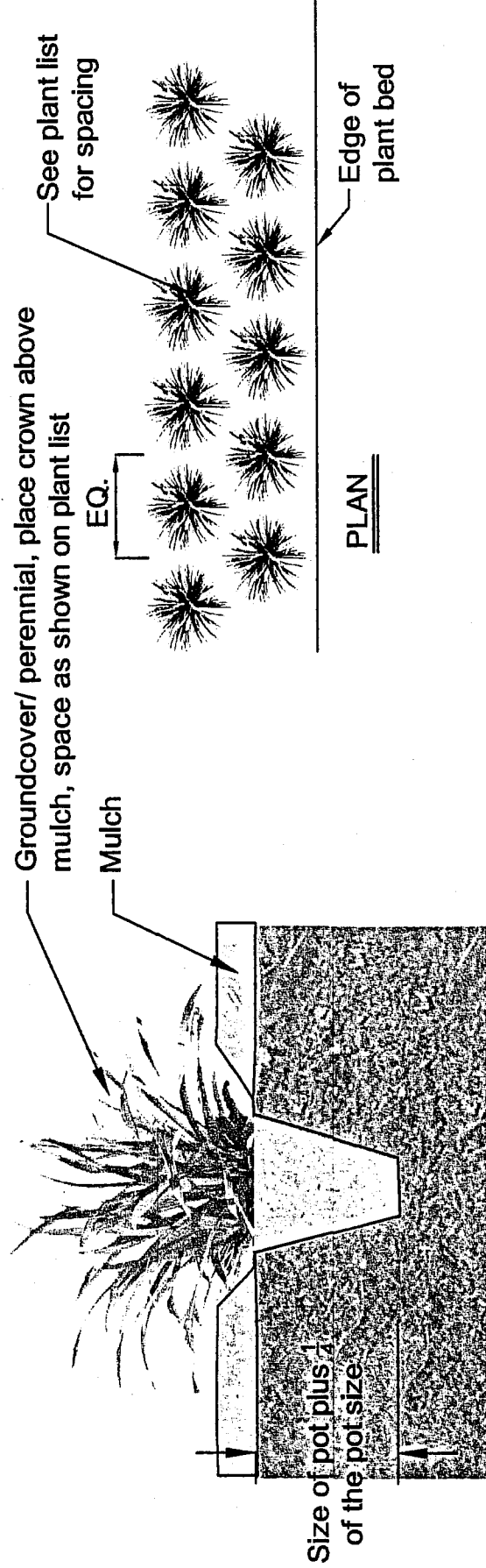


3 SHRUB PLANTING DETAIL

SCALE: NTS

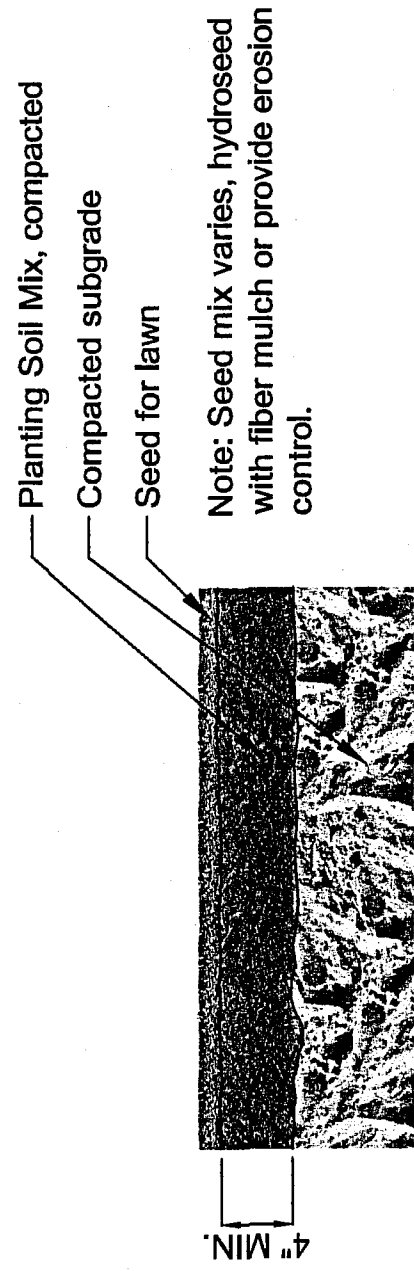
TREE & SHRUB PLANTING NOTES

1. All trees & shrubs shall be flooded twice during first 24 hours after planting.
2. Pull mulch away from the root flare of trees and from the base of all shrubs.



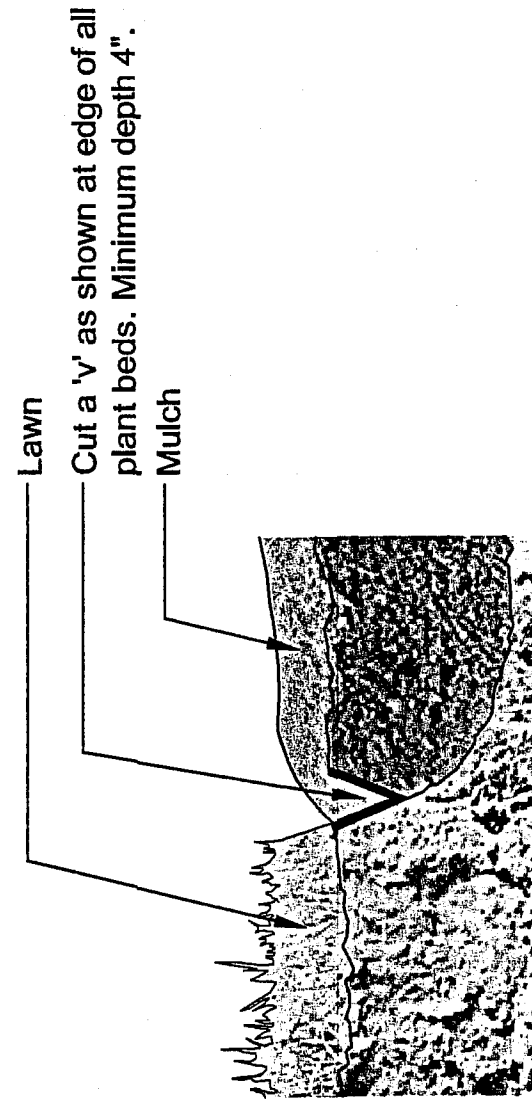
4 GROUNDCOVER/ PERENNIAL PLANTING DETAIL

SCALE: NTS



5 SEED DETAIL

SCALE: NTS



6 BED EDGE DETAIL

SCALE: NTS

LANDSCAPE NOTES:

1. Contract shall be familiar with Academy Sports landscape and irrigation design guidelines before any work on the project begins.
2. No planting shall occur until soil sample results have been received and percolation test have been performed in all planting areas and soils are properly amended. See the Existing Soil Sample Instructions on this sheet and the Percolation Test Instructions on this sheet.
3. All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality.
4. All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
5. The Contractor shall supply all new plant material in quantities sufficient to complete the planting shown on the drawings.
6. The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's Representative.
7. No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree root flare. See tree planting detail.
8. Stake location of all proposed trees and planting areas for approval by the Owner's Representative prior to the commencement of planting.
9. All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded as shown in the Seed Detail, # 5 on this sheet.
10. All plant beds are to receive three inches (3") of double shredded hardwood mulch.
11. Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's Representative.
12. All areas to be seeded shall receive soil preparation as specified prior to seeding or sodding, unless otherwise noted on plan.
13. Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
14. Contractor to complete work within schedule established by Owner.
15. Contractor to provide one year warranty for all material from date of substantial completion.
16. Contractor to provide interim maintenance (watering, pruning, fertilizing, weeding, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative.
17. See civil drawings for further information regarding:
 - Erosion and sediment control.
 - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
 - Limits of construction.
 - Locations of existing and proposed utilities or easements.
18. Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
19. Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3" around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
20. Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Owner's Representative prior to any changes.

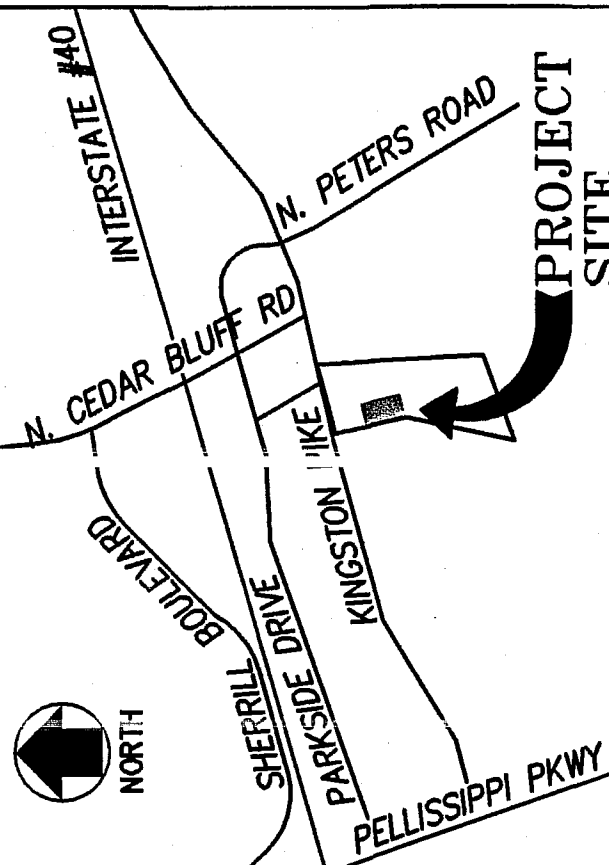
INSTRUCTIONS FOR PERCOLATION TEST:

1. Dig a hole 18-24" deep & a minimum of 6" wide.
2. Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet over night and test the following day.
3. Refill hole to within a couple inches of the top.
4. To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark soil on side of hole with nail or stick. Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
5. Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.
6. If soil does not percolate, notify the Owner's Representative immediately.

5 - C-11-UR
4-28-11
REVISED

EXISTING SOIL SAMPLING INSTRUCTIONS:

1. Using a spade, dig a v-shape hole to a 6" depth; then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
2. A well mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
3. Mark the plan to show soil sample locations.
4. Perform all test as indicated in section 1.04 of the Planting Soils Specification.
5. Send samples to A & L Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38133, 800-264-4522, www.al-labs.com.
6. Results to be copied to the Owner's Representative.



VICINITY MAP

N.T.S.

GENERAL NOTES:

1. THE BOUNDARY AND PLAT METRIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED 01-25-2011. PLAT OF RECORD REFERENCE #20100819
2. PROPERTY CONCERNED REFLECTS PARCEL 27.08 AS SHOWN ON KNOX COUNTY CLT 74 K MAP 132. ZONING FOR THE PROPERTY IS PG-1(K) "P-ANNEX COMMERCIAL".
3. AREA OF PROPOSED DEVELOPMENT = 12.5+ ACRES.
4. PERMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED.
5. PROPERTY OWNER: KINGSFORD PINE, LLC 615 DOWNS FERRY, BOX 1, SUITE 680 ATLANTA, GA 30359-2639 TEL. NO. (770) 953-1781 FAX NO. (770) 953-1782
6. REVISIONS TO THE PLANTING PLAN SHALL BE EVALUATED AS PART OF FINAL DRAINAGE DESIGN.
7. 50 FEET TO BE UNDISTURBED (UNLESS BY AGREEMENT BETWEEN THE PROPERTY OWNER AND CANNON & CANNON, INC. A BURN OR FENCE OR ADDITIONAL VEGETATION IS PLACED IN THE UNDISTURBED AREA).

LANDSCAPING:

1. ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH SECTION 63-40, "LANDSCAPING," OF THE KNOXVILLE, KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS.
2. REFERENCE SECTION 14-17 OF THE ORDINANCE. ALL TREES SHALL BE MAINTAINED TO ASSURE SURVIVAL A MINIMUM OF 18 MONTHS AFTER COMPLETION OF CONSTRUCTION.
3. PROPOSED LANDSCAPING (THIN AND ADJACENT TO THE PROPOSED BOULEVARD) SHALL MAINTAIN THE TRAFFIC LINE OF SIGHT AND VISIBILITY.
4. CERTIFICATION OF COMPLETION: I, hereby certify that I am an engineer, licensed to do engineering under the laws of the State of Tennessee. I further certify that the plan and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations, except as has been itemized and described in a report filed with Metropolitan Planning Commission.

Tennessee Certificate No. _____ Engineer _____



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HUGHES COMMERCIAL PROPERTIES, INC.
P.O. BOX 10440
GREENVILLE, SC 29603
TEL. NO. 864 233-0079

ACADEMY SPORTS
KINGSFORD PIKE
KNOXVILLE, TENNESSEE 37919

USE ON REVIEW
PLANTING DETAILS & NOTES



L101

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Fil	Lumens	ULF	Watts
⋮	A	4	GSL-AM-1000-MH-480-AS-SS	LARGE ARCHITECTURAL AREA FIXTURE, VERTICAL LAMP, SQUARE DISTRIBUTION	1000W MH CLEAR BT-56	GSL-XX-1000-MH-XX-AS-SS 80 hrs	110000	0.72	1000
⋮	B	12	GSL-AM-1000-MH-480-AS-SS	LARGE ARCHITECTURAL AREA FIXTURE, VERTICAL LAMP, SQUARE DISTRIBUTION	1000W MH CLEAR BT-56	GSL-XX-1000-MH-XX-AS-SS 80 hrs	110000	0.72	2000
⊙	G	6	GSL-AM-1000-MH-480-3P-FC-18	LARGE ARCHITECTURAL AREA FIXTURE, VERTICAL LAMP, TYPE III DISTRIBUTION	1000W MH CLEAR BT-37	GSL-XX-1000-MH-XX-AS-SS 80 hrs	107600	0.72	1000
■	H	10	VVM-400-MP-XX-48	ARCHITECTURAL WALL LUMINAIRE SMALL, TYPE IV DISTRIBUTION	150W PULSE START CLEAR EBT-32 HORIZONTAL BURN	VMS-400-MP-MH-48 hrs	40000	0.72	402
□	I	9	VMS-175-MH-XX-38	ARCHITECTURAL WALL LUMINAIRE SMALL, TYPE IV DISTRIBUTION	175W MH CLEAR EBT-17	VMS-175-MH-XX-38 hrs	14000	0.72	175
■	J	2	VMS-150-MP-XX-48	ARCHITECTURAL WALL LUMINAIRE SMALL, TYPE IV DISTRIBUTION	150W PULSE START CLEAR EBT-32 HORIZONTAL BURN	VMS-150-MP-XX-48 hrs	14000	0.72	185

RETENTION BASIN

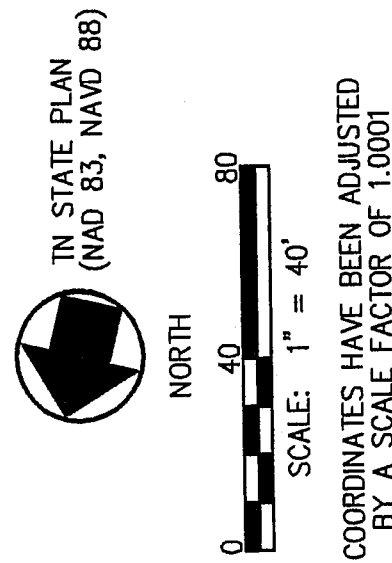
MOSS GROVE BLVD

PROPOSED ACADEMY SPORTS

DRIVEWAY "A"

LEGEND

---	EXST. WATER LINE
---	EXST. WATER LINE
---	EXST. GAS LINE
---	EXST. UNDERGROUND TELEPHONE
---	EXST. UNDERGROUND ELECTRIC
---	EXST. FIRE HYDRANT
---	EXST. WATER METER
---	EXST. UTILITY POLE
---	EXST. FENCE
---	PROPOSED ELECTRIC LINE
---	PROPERTY/R.O.W. LINE
---	PROPOSED LIGHTING FIXTURES



VICINITY MAP

NOTES:

1. PARKING LOT LIGHTING FIXTURE SHALL BE HOLOPHANE SOMERSET SH-REBOX TYPE FIXTURES.
2. POLES SHALL BE MADE #PSSR AS SHOWN.
3. ALL LIGHTING CONDUITS TO HAVE (2) #6 CU CONDUCTORS AND (1) #6 CU GROUND.
4. LIGHTING CONDUIT SHALL BE 2" SCH. 40 PVC, AT A MINIMUM DEPTH OF 24" WITH NATURAL EARTH BACKFILL. SWEEPS SHALL HAVE MINIMUM 24" RADIUS BENDS.
5. ALL CONDUITS TO CONTAIN 150 LB. TEST (OR GREATER) NYLON STRING.
6. ALL INSTALLATIONS TO CONFORM TO NEC, NESC, CITY OF KNOXVILLE, AND KNOXVILLE UTILITIES BOARD REGULATIONS.
7. CONTACT OWNER'S REPRESENTATIVE FIVE (5) WEEKS PRIOR TO DESIRED DELIVERY DATE.
8. CONTRACTOR TO PROVIDE THE REQUIRED WIRING, POLE BASE, INSTALLATION AND CONNECTIONS FOR THE PARKING LOT LIGHTING. CONNECTION TO EXISTING TRANSFORMER SHALL BE ON LOAD SIDE OF METERING CTS. CONDUIT SHALL BE INSTALLED BY OTHERS.

HUGHES

COMMERCIAL PROPERTIES INCORPORATED

REVISIONS	DATE
Δ REVISED PER MPC COMMENTS	4-15-2011



Cannon & Cannon Inc.

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www.cannon-cannon.com

CLIENT: HUGHES COMMERCIAL PROPERTIES, INC.
P.O. BOX 10440
GREENVILLE, SC 29603
TEL. NO. (864) 233-0079

PROJECT: ACADEMY SPORTS
KINGS ON FIRE
KNOXVILLE, TENNESSEE 37919

USE 0.4 REVIEW
SITE LIGHTING PLAN

PRELIMINARY
FOR REVIEW
ONLY

UR2.01

5-C-11-UR
REVISED
4-15-11

STATISTICS					
Description	Symbol	Avg	Max	Min	Avg/Min
1. BUFFER ZONE	+	1.2c	5.0c	0.1c	12.0:1
2. LEFT SIDE	+	7.0c	11.4c	2.4c	2.9:1
3. MAIN DRIVE	+	6.5c	14.1c	4.4c	1.5:1
4. MAIN PARKING LOT	+	6.1c	13.1c	2.1c	2.9:1
5. RIGHT SIDE	+	5.7c	14.1c	1.2c	4.8:1
6. WEST PROPERTY LINE	+	0.5c	0.7c	0.1c	5.0:1

- LEGEND**
- EXIST. WATER LINE
 - EXIST. WATER LINE
 - EXIST. GAS LINE
 - EXIST. UNDERGROUND TELEPHONE
 - EXIST. UNDERGROUND ELECTRIC
 - EXIST. FIRE HYDRANT
 - EXIST. WATER METER
 - EXIST. UTILITY POLE
 - EXIST. FENCE
 - PROPOSED ELECTRIC LINE
 - PROPERTY/R.O.W. LINE
 - PROPOSED LIGHTING FIXTURES

TN STATE PLAN
(NAD 83, NAD 88)

NORTH

SCALE: 1" = 40'

COORDINATES HAVE BEEN ADJUSTED
BY A SCALE FACTOR OF 1.0001

VICINITY MAP

NOTES:

1. REFER TO SHEET SL1.0 FOR GENERAL LIGHTING NOTES.

HUGHES

COMMERCIAL PROPERTIES INCORPORATED

REVISOR PER MPC COMMENTS

4-15-2011

DATE

REVISIONS

Cannoil & Cannon, Inc.

Consulting Engineers & Field Surveyors

1 Knoxville, Tennessee 37919

Telephone: (615) 520-0000

FAX: (615) 520-0001

CLIENT:

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GREENVILLE, TN 37603

TEL. NO. (864) 235-0079

PROJECT:

ACADEMY SPORTS

KING, TON PINE

KNOXVILLE, TENNESSEE 37919

USE (N REVIEW

SITE LIGHTING PLAN

PROJECT NO. 00337-0000

DATE: APRIL 15, 2011

BY: JLC

FOR: JLC

FOR: JLC

FOR: JLC

FOR: JLC

FOR: JLC

FOR: JLC

FOR: JLC

FOR: JLC

UR2.02

5-C-11-0-2
REVISED
4-15-11

MOSS GROVE BLVD

RETENTION BASIN

PROPOSED ACADEMY SPORTS

DRIVEWAY "A"

