



Site Development Plans for *Scooter's Coffee*

Owned/Developed by:
C & E Businesses, LLC / DBA Scooter's Coffee

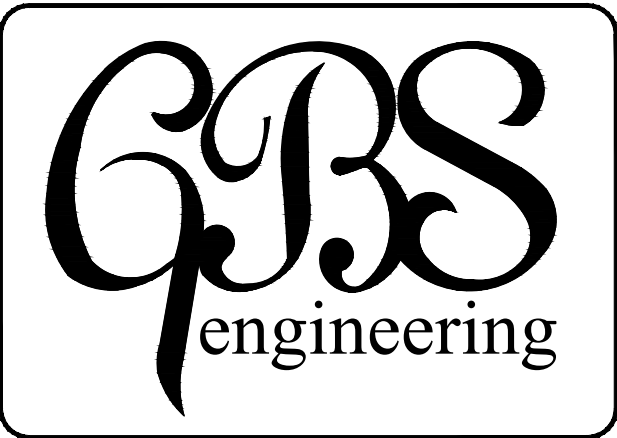
1910 Rudder Lane
Knoxville, Tennessee 37919
(865) 603-8776
Attn: Cole Harris & Emily Harris
Email: coleharris83@gmail.com
Email: emily.w.harris2016@gmail.com

LEGEND	
EXISTING	PROPOSED
WATER'S EDGE	PROPERTY LINE
P.O.B.	INLET PROTECTION
EX CB	CB
EX CI	CI
DM	JB
RCP	CMP
+1013.25	+1013.25
1021	1021
1020	1020
STD DUTY CURB & GUTTER	HEAVY DUTY CURB & GUTTER
EXTRUDED CURB	VERTICAL CURB
EXISTING PAVEMENT TO BE REMOVED	PAINTED NO PARKING AREAS
AUTO ASPHALT PAVEMENT	
STD DUTY TRUCK ASPHALT	HEAVY DUTY TRUCK ASPHALT
CONCRETE	PERMEABLE PAVERS
CLEANOUT	SANITARY MANHOLE
SAN SWR LINES	OIL/WATER SEPARATOR LINES
AIR LINES	RAINWATER LEADERS
CANOPY DRAINS	WATER METER
WATER VALVE	FIRE HYDRANT
WATER LINES	OVERHEAD TELEPHONE
UNDERGROUND TELEPHONE	TELEPHONE BOX
ELECTRIC BOX	
GUY ANCHOR	METAL LIGHT POLE
OVERHEAD ELECTRIC	UNDERGROUND ELECTRIC
GAS VALVE	GAS METER
GAS LINE	AQUATIC USE BUFFER
TOP OF STREAM BANK	

4919 N Broadway
CLT Map 58, Insert N, Group B, Parcel 17, Block 37520
Knoxville, Tennessee, 37918

DRAWING INDEX				REVISIONS
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02		Site Survey	09/04/2018	
03	C1.0	ES & PC Plan - Initial Phase	03/29/2021	
04	C1.1	ES & PC Plan - Final Phase	04/26/2021	▽
05	C2.0	Site Demolition Plan	03/29/2021	
06	C3.0	Overall Site Plan	04/26/2021	▽
07	C3.1	Site Layout Plan	04/26/2021	▽
08	C4.0	Site Grading Plan	04/26/2021	▽
09	C5.0	Site Paving Plan/Utility Plan	04/26/2021	▽
10	C6.0	Site Utility Plan	04/26/2021	▽
11	C7.0	Site Landscape Plan	04/26/2021	▽
12	C8.0	Site Detail Sheet	04/26/2021	▽
13	C8.1	Site Detail Sheet	04/26/2021	▽
14	A2.1	Dimension Plan & Floor Plan	03/29/2021	
15	A3.0	Exterior Elevations	03/29/2021	

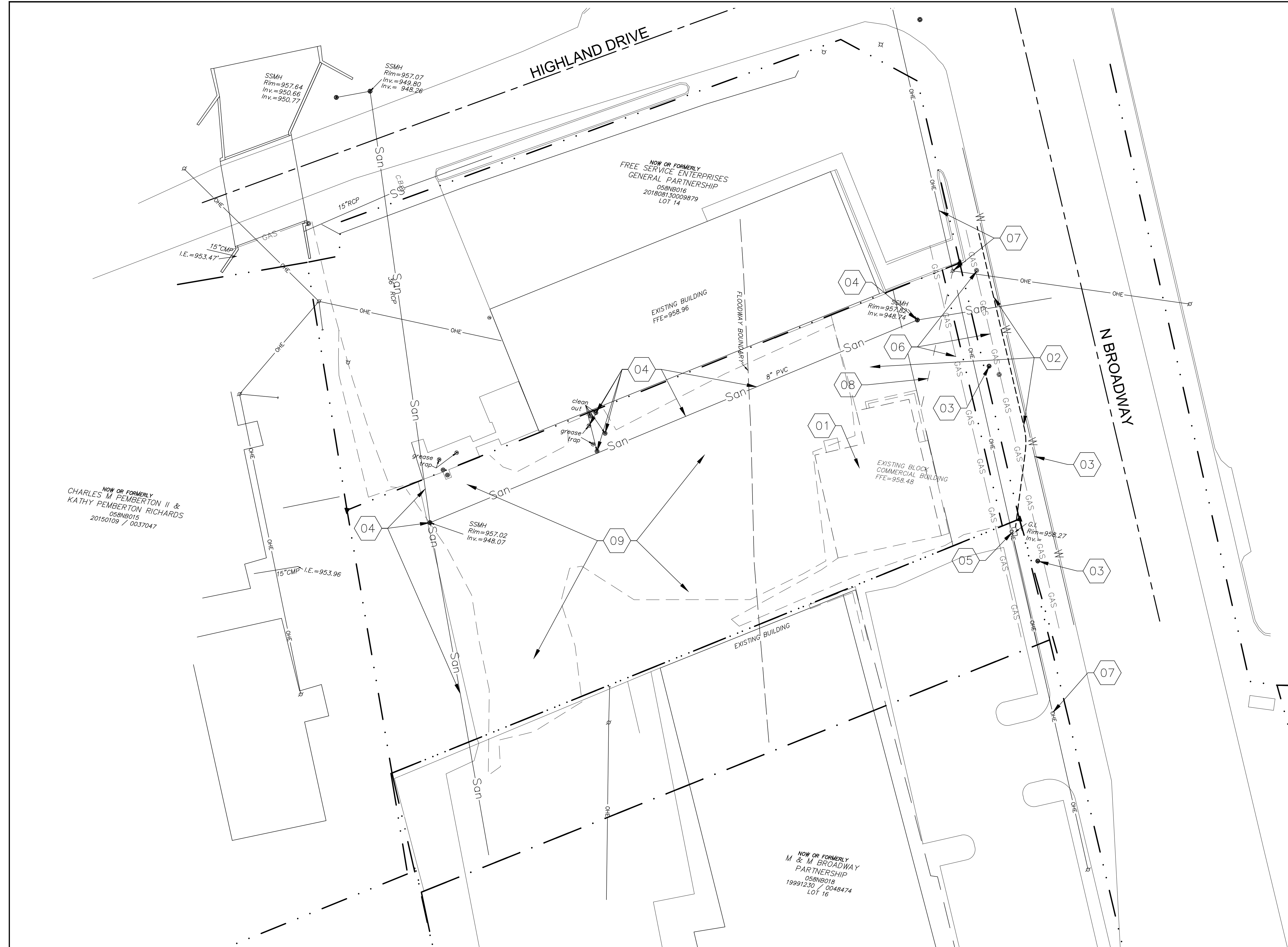
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4/28/2021



1313 Kalmia Road
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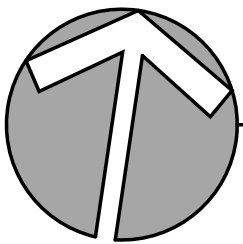


REV.	DESCRIPTION	BY	DATE
A	Revised per City Comments	THF	04/26/2021
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PROJECT NAME: Scooters Coffee		DRAWN BY: THF	SHEET NO:
DRAWING TITLE: Cover Sheet		CHECKED BY: MAB	C0.0
LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel NO.17, City Block 37520		FILE NAME: 2172- C0.0	
Owner: C&E Businesses LLC/dba Scooter's Coffee		JOB NUMBER 2172	
		ISSUE DATE: 03/29/2021	



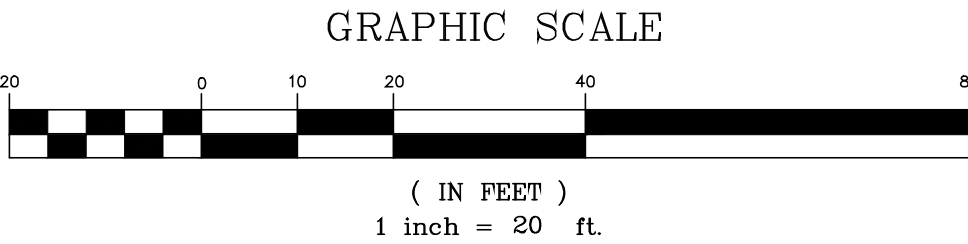
DEMOLITION PLAN CONSTRUCTION NOTES

- 01 CONTRACTOR SHALL REMOVE EXISTING BUILDING. ALL MATERIALS TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
- 02 CONTRACTOR TO SAWCUT AND REMOVE EXISTING PAVEMENT. CAUTION SHALL BE TAKEN WHEN REMOVING EXISTING PAVEMENT TO NOT DAMAGE THE EXISTING PAVEMENT TO REMAIN. ALL EXISTING PAVEMENT REMOVED SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- 03 CONTRACTOR TO PROTECT EXISTING WATER VALVES, WATER METERS, FIRE HYDRANTS AND ALL ASSOCIATED LINES AT ALL TIMES.
- 04 CONTRACTOR TO PROTECT EXISTING SANITARY SEWER STRUCTURES AND ALL ASSOCIATED LINES AT ALL TIMES. RAISE TOPS AS REQUIRED.
- 05 EXISTING STORM PIPES AND STRUCTURES TO REMAIN AND TO BE PROTECTED AT ALL TIMES.
- 06 CONTRACTOR SHALL PROTECT THE EXISTING GAS MAIN, VALVES AND METERS AT ALL TIMES.
- 07 CONTRACTOR SHALL PROTECT OVERHEAD LINES AND POLES AT ALL TIMES.
- 08 CONTRACTOR SHALL REMOVE EXISTING OVERHEAD LINE AND COMMUNICATION LINES AND PROPERLY DISPOSE OF OFF-SITE.
- 09 CONTRACTOR SHALL COORDINATE THE REMOVE OR REUSE OF EXISTING GRAVEL ON SITE.



SITE DEMOLITION PLAN

Scale: 1" = 20'-0"



SEE COVER SHEET FOR LEGEND.

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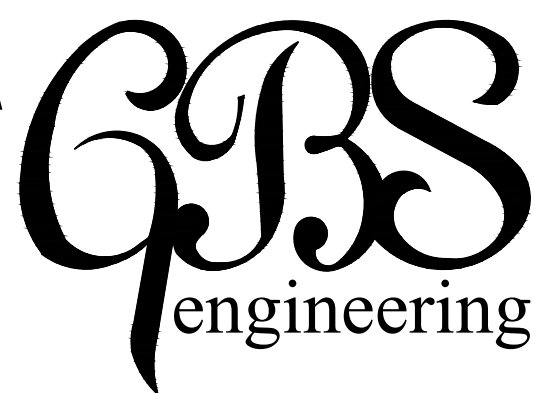


UTILITIES:

WATER AND SEWER
KNOXVILLE UTILITIES BOARD
4428 WESTERN AVE
KNOXVILLE, TN 37921
CUSTOMER SERVICE 865-524-2911

ELECTRIC AND GAS
KNOXVILLE UTILITIES BOARD
4428 WESTERN AVE
KNOXVILLE, TN 37921
CUSTOMER SERVICE 865-524-2911

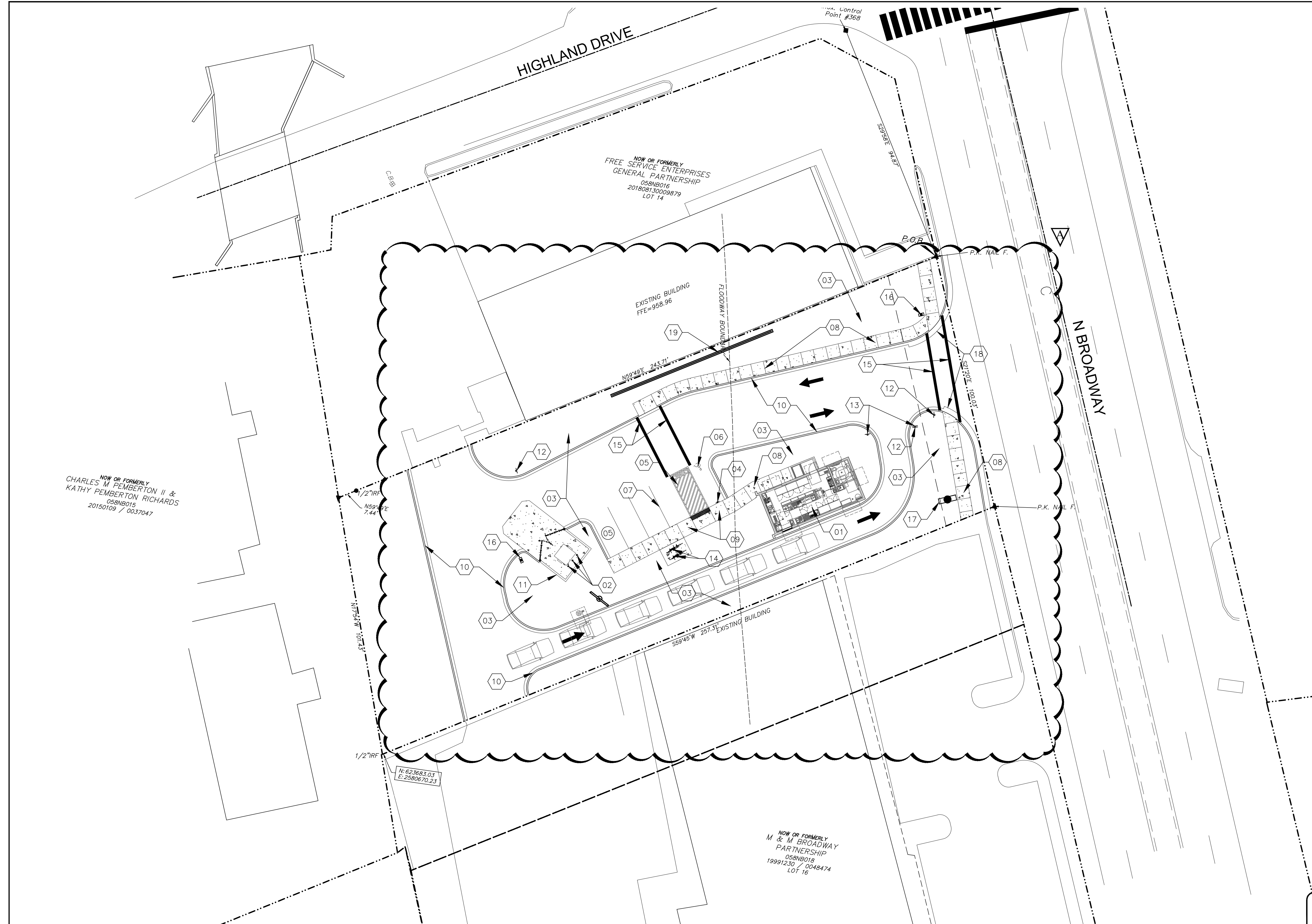
TELEPHONE
ATT/BELLSOUTH
9733 PARKSIDE DRIVE
KNOXVILLE, TN 37922
ROBERT KNIGHT 865-539-5243



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PROJECT NAME: Scooters Coffee		DRAWN BY: THF	SHEET NO: C2.0
DRAWING TITLE: Site Demolition Plan		CHECKED BY: MAB	
LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel NO.17, City Block 37520		FILE NAME: 2172- C2.0	
Owner: C&E Businesses LLC/dba Scooter's Coffee		JOB NUMBER 2172	
		ISSUE DATE: 03/29/2021	



CONSTRUCTION NOTES

- 01 NEW SCOOTERS COFFEE (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
- 02 6" Ø STEEL PIPE BOLLARD FURNISHED, INSTALLED AND PAINTED BY CONTRACTOR (SEE CIVIL DWGS FOR SPECS.).
- 03 LANDSCAPE AREA INSTALLED BY CONTRACTOR.
- 04 "HANDICAP PARKING" SIGNS, MOUNTED ON A POLE, FURNISHED AND INSTALLED BY CONTRACTOR.
- 05 PAINTED TRAFFIC STRIPING 4" WIDE (WHITE) PARALLEL STRIPES AT 16" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.
- 06 PAINTED PAVEMENT SYMBOL AND LETTERING PER D.O.T. SPECIFICATIONS (TYP), FURNISHED AND INSTALLED BY CONTRACTOR.
- 07 PAINTED TRAFFIC STRIPING 4" WIDE (WHITE) PER PARKING SPACE. FURNISHED AND INSTALLED BY CONTRACTOR.
- 08 4" CONCRETE SIDEWALK. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- 09 HANDICAP RAMP, PER DETAILS, FURNISHED AND INSTALLED BY CONTRACTOR.
- 10 STANDARD CONCRETE CURB AND GUTTER. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- 11 TRASH ENCLOSURE. SEE ARCHITECTURAL DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- 12 NEW STOP SIGN (30" x 30"), PER MUTCD REQUIREMENTS, FURNISHED AND INSTALLED BY CONTRACTOR.
- 13 NEW DO NOT ENTER SIGN, FURNISHED AND INSTALLED BY CONTRACTOR.
- 14 NEW BIKE RACKS. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- 15 12" WIDE PAINTED (WHITE) CROSSWALK STRIPING. FURNISHED AND INSTALLED BY CONTRACTOR.
- 16 DRIVE-THRU SIGN. SEE SIGNAGE DRAWINGS FOR MORE DETAIL. INSTALLED BY CONTRACTOR.
- 17 PYLON SIGN. SEE SIGNAGE DRAWINGS FOR MORE DETAIL. INSTALLED BY CONTRACTOR.
- 18 T-DOT 6-30 CURB AND GUTTER. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
- 19 NEW RETAINING WALL AND HANDRAIL. FURNISHED AND INSTALLED BY CONTRACTOR.

SITE INFORMATION

PARKING	REQUIRED	PROVIDED
AUTO PARKING	4	5
HANDICAP PARKING	1	1

SITE AND BUILDING ACCESSIBILITY PER ANSI A117.1
SITE ACREAGE IS 2.40 ACRES ±
EXISTING ZONING IS C-G-2
FACILITY SIZE
BUILDING SQUARE FOOTAGE 638 S.F.
NUMBER OF STORIES 1
BUILDING HEIGHT (TO TOP OF PARAPET) 19'-0"

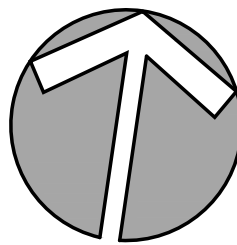
PARKING CALCULATIONS:

CITY OF KNOXVILLE REQUIRES A MINIMUM OF 6 SPACES PER 1000 SF OR A MAXIMUM OF 12 SPACES PER 1000 SF GFA WITH A DRIVE-THROUGH.
MINIMUM SPACES REQUIRED = 4
MAXIMUM SPACES REQUIRED = 8
5 SPACES PROVIDED

HANDICAP SPACES REQUIRED FOR 5 SPACES = 1 REQUIRED
HANDICAP SPACES PROVIDED = 1 SPACES

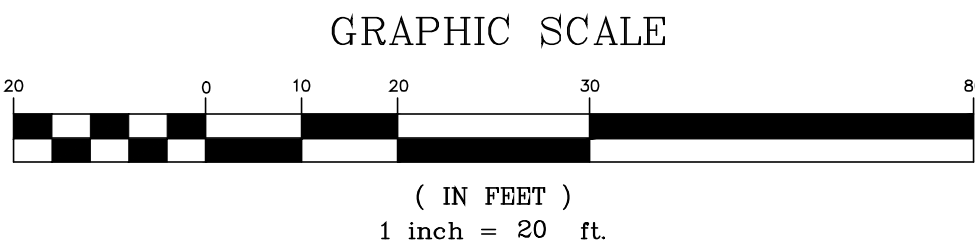
BICYCLE PARKING REQUIREMENTS:
USE TABLE 8 TO DETERMINE MINIMUM NUMBER OF BICYCLE SPACE FROM MINIMUM AMOUNT OF PARKING REQUIRED.
FOR MINIMUM OF 5 SPACES - REQUIRED TO PROVIDE 4 BICYCLE SPACES PROVIDED 4 BICYCLE SPACES.

IMPERVIOUS AREA RATIO
PREDEVELOPMENT - 6,267.32/25,151.57 = 0.2491 OR 24.91 PERCENT
0.144 ACRES IMPERVIOUS
POST DEVELOPMENT - 14,345.07/25,151.57 = 0.5703 OR 57.03 PERCENT
0.329 ACRES IMPERVIOUS



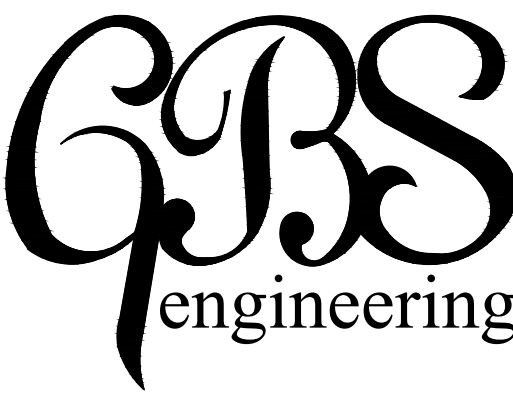
OVERALL SITE PLAN

Scale: 1" = 20'-0"



SEE COVER SHEET FOR LEGEND.

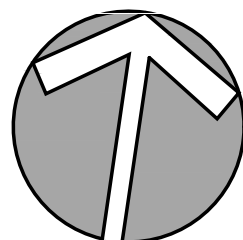
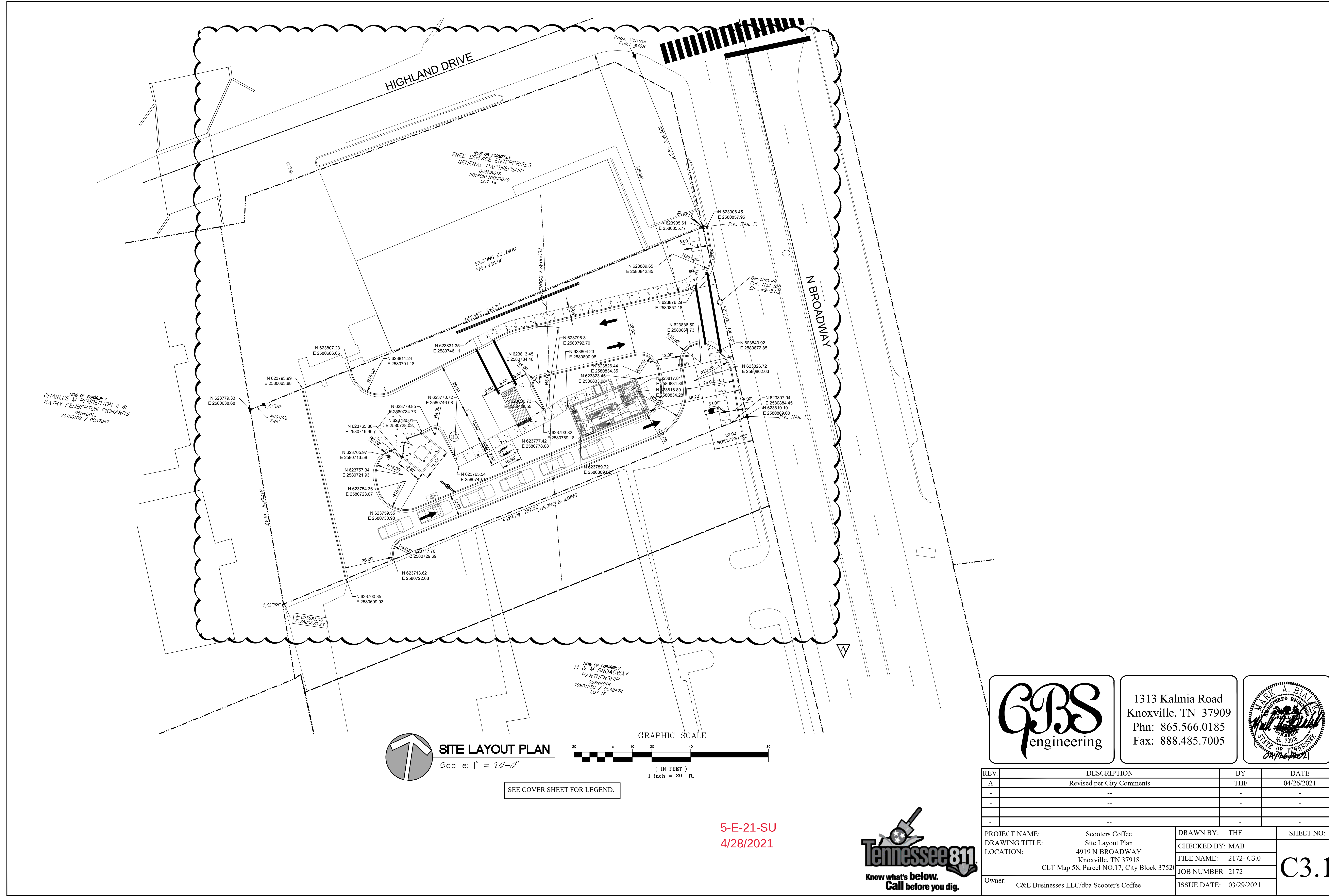
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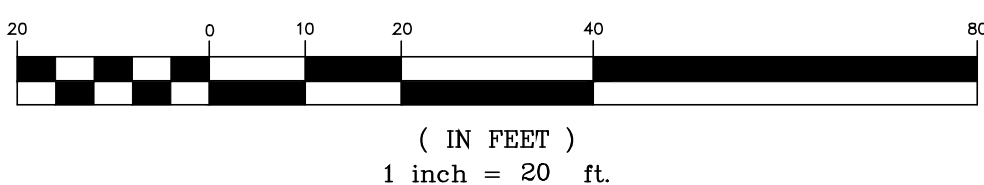


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PROJECT NAME: Scooters Coffee		DRAWN BY: THF	SHEET NO:
DRAWING TITLE: Site Plan		CHECKED BY: MAB	C3.0
LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel NO.17, City Block 37520		FILE NAME: 2172- C3.0	
Owner: C&E Businesses LLC/dba Scooter's Coffee		JOB NUMBER 2172	
		ISSUE DATE: 03/29/2021	



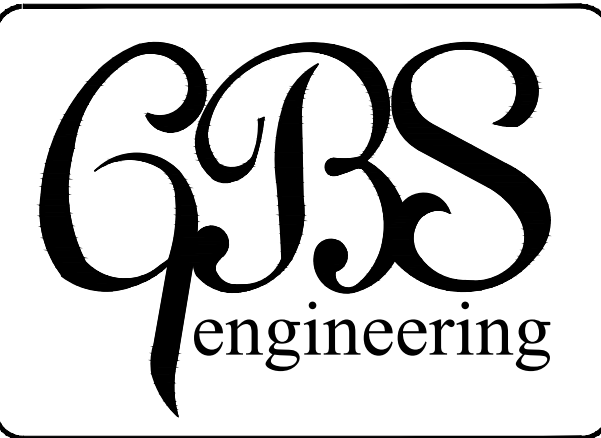
SITE LAYOUT PLAN

Scale: 1" = 20'-0"



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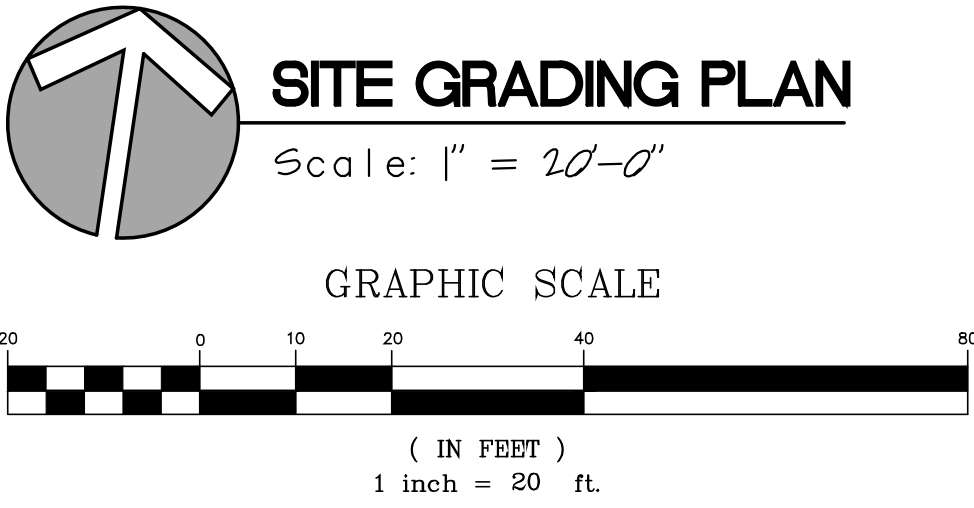
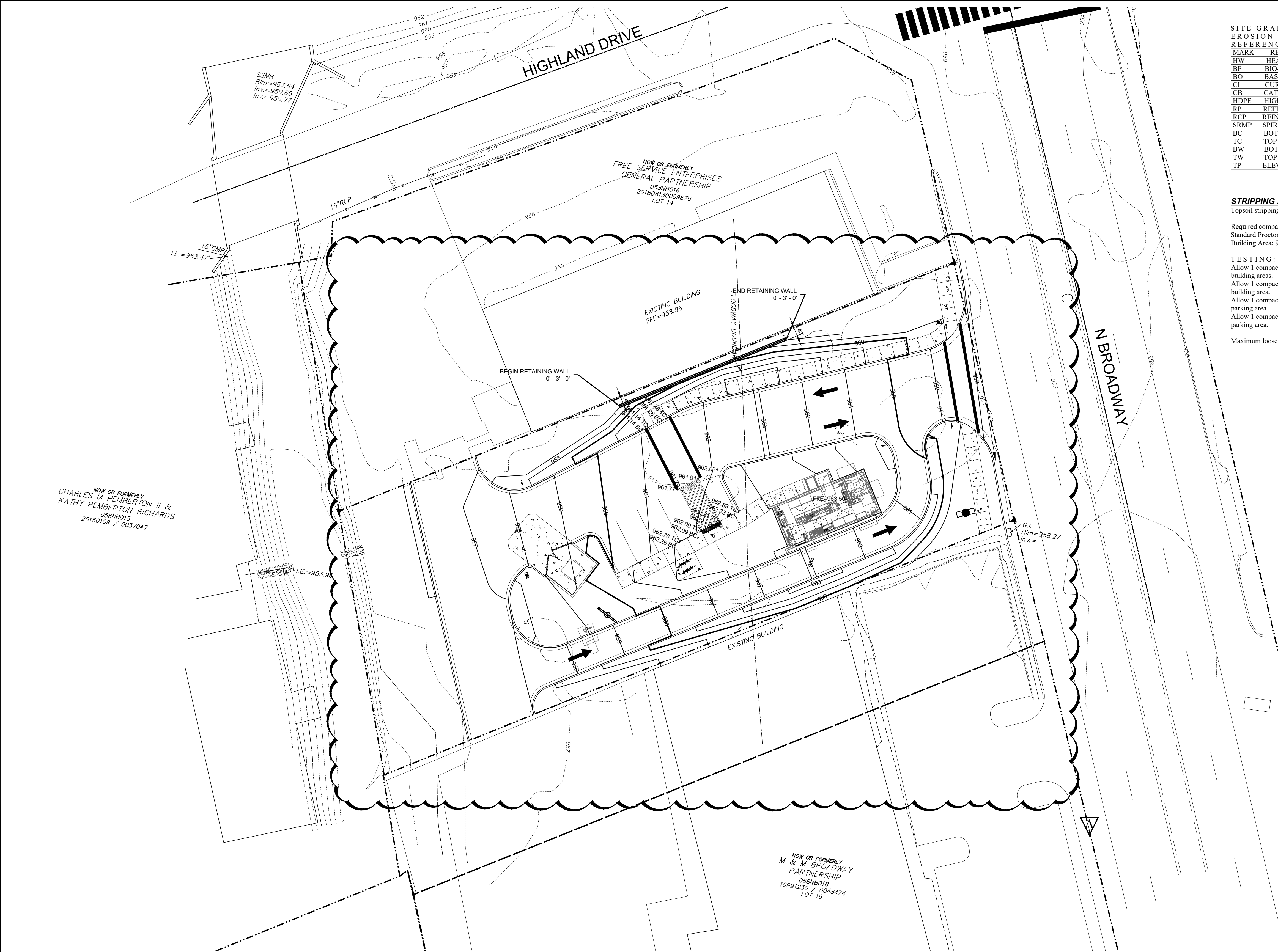
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PROJECT NAME: Scooters Coffee		DRAWN BY: THF	SHEET NO:
DRAWING TITLE: Site Layout Plan		CHECKED BY: MAB	C3.1
LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel NO.17, City Block 37520		FILE NAME: 2172- C3.0	
Owner: C&E Businesses LLC/dba Scooter's Coffee		JOB NUMBER 2172	
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SITE GRADING, DRAINAGE & EROSION CONTROL DETAIL REFERENCE LEGEND

MARK	REFERENCED ITEM
HW	HEADWALL
BF	BIO-FILTER OUTLET STRUCTURE
BO	Basin Outlet Structure
CI	CURB INLET
CB	CATCH BASIN
HDPE	HIGH DENSITY POLYETHYLENE PIPE
RP	REFLECTING POOL STRUCTURE
RCP	REINFORCED CONCRETE PIPE, CLASS III
SRMP	SPIRAL RIBBED METAL PIPE, ALUMINIZED
BC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
TP	ELEVATION OF TOP OF PAVEMENT

STRIPPING AND COMPACTION SCHEDULE
Topsoil stripping depth 2"-3" average. Deeper if required locally.

Required compaction percentages (% max dry density)
Standard Proctor Method ASTM Test # D-698
Building Area: 98 % Parking Area: 98 %

TESTING:
Allow 1 compaction test per ca. 2500 S.F. (Max 50' x 50' area) per lift at building areas.
Allow 1 compaction test per each 10,000 S.F. of cut or natural grade at building area.
Allow 1 compaction test per ca. 5500 S.F. (Max 75' x 75' area) per lift at parking area.
Allow 1 compaction test per each 40,000 S.F. of cut or natural grade at parking area.

Maximum loose lift thickness shall be 8", unless noted otherwise.

EXCAVATION AND GRADING NOTES

CLEARING
Comply with local and state ordinances regarding disposal of debris. Do not burn debris on site without specific written approval of both SITE, Inc. and local authority. Clear and grub for new construction as required.

EXCAVATION PREPARATION
Verify location of existing on-site utilities. Protect and maintain existing utilities as required. Establish and verify existing lines, grade and dimensions shown on the drawing. Report any errors or inconsistencies to SITE, Inc. before commencement of work.

EXISTING TOPO ACCURACY
Exist contours shown are intended to form a general description of surface ground elevations. Topographic information shown herein shall be considered to have not more than the following plus or minus limits of accuracy: 0.10 feet at benchmarks, 0.25 feet at spot grades, 1.0 feet at contour lines.

Contractor is cautioned that straight line interpolation between contours may not exactly reflect existing conditions. Areas of relatively quick changes in contours should not be allowed to unduly influence interpretation of contours.

Report any errors or inconsistencies to GBS Engineering before commencement of work. Any error not so reported cannot be considered for adjustment in contract price.

STRIPPING AND SPREADING TOPSOIL
Topsoil shall be stripped and temporarily stock piled for later reuse. If no stock pile area is noted on grading plan, stock pile shall be in such place to provide for ready access to necessary areas of site by other trades throughout progress of work. Particular attention shall be paid to finely textured topsoil that will be reused by landscape contractor. General topsoil respreading will be by grading contractor to a minimum depth of 6" at any point except slope of 2-1/2 to 1 or steeper where topsoil depth shall be 2" min. At any point not receiving sod.

PROOF-ROLLING
All areas to receive new structural fill or other new construction shall be proof rolled with a fully loaded tandem dump truck in presence of soils testing agent before commencing any construction activity. All areas to be compacted shall receive 8 passes with compaction roller. Soil engineer shall notify GBS Engineering that all areas have passed proof roll inspection prior to commencement cut & fill of grading. Do not commence grading prior to such notification.

UNDERCUT-BACKFILL
Undercut shall mean excavation or other removal of unsuitable material below elevation of proposed final subgrade. In no case shall the term undercut be used to describe material occurring above final subgrade elevation. Extent of undercut of unsuitable materials, if any must be recommended by the soil engineer for the owner's approval. Soil engineer shall not have unilateral authority to direct undercut activities without approval of the owner's representative. Soil engineer's written field notes will be required to substantiate amounts of undercut. Backfill shall be of approved material only. Money for required testing shall be included in quoted prices concerning undercut and backfill.

Where terms of bidding call for an unclassified contract no payments for undercut/backfill will be considered. Such quotes shall be included in the contractor's base bid. Undercut and backfill shall not constitute an extra to the contract in unclassified contracts.

STRUCTURAL FILL
Structural fill shall be compacted as specified in excavation and grading schedule within -1 to +3% of optimum moisture content. Off site borrow areas shall be approved by GBS Engineering. Place fill and backfill in layers as specified in excavation and grading notes. Use no deleterious material, organic, or rock larger than 6". In-situ soils may require additional water or may require additional drying to reach optimum moisture content for compaction.

GRADING TOLERANCE
Grading contractor shall bring subgrade to within an average of 1/10 of one foot of required elevation to obtain finished grade indicated on drawings except at locations where spot elevations are shown and where floor elevations are shown which shall be within 1/10 of 1 foot of required elevations. Final subgrade shall be spot checked by a licensed surveyor with not less than 1 shot per 1.5 Acres and at each finished floor elevation and a drawing prepared and forwarded to GBS Engineering for approval prior to commencing fine grade or paving or building construction.

Contractor shall be responsible for minor adjustments in grades as directed by GBS Engineering. Such changes shall be limited to 1500 cubic yards total. No additional cost will be allowed for this work.

TESTING
Contractor shall include price of all required testing as set forth herein to be performed by an independent qualified geotechnical testing agent suitable to GBS Engineering. Test reports must use graphic location map at 1" = 200' scale for location of density tests. Original copies of all tests shall be forwarded directly to GBS Engineering from testing agent. All tests shall specifically state that the test either passes or fails to meet specifications. Contractor shall include in his base bid 5 (five) soil compaction tests after completion of the work, located per GBS Engineering.

WATER CONTROL
The contractor shall furnish all labor, materials and equipment necessary to keep the work free of water either from surface sources or from underground sources or both. Selection of equipment and methods shall be the sole responsibility of the contractor. The contractor shall be and is responsible for all damage incurred in handling water conditions. Additionally, the contractor shall provide means necessary to avoid direct run-off from this project onto adjacent property.

GRASSING AND SODDING
Grassing and mulching of all disturbed areas not paved or built upon shall be the responsibility of the grading contractor unless noted otherwise. Hardened soil shall be loosened to a depth of 6" and topsoil spread as noted before seeding.

Grass and sodding shall be as specified on the drawings.

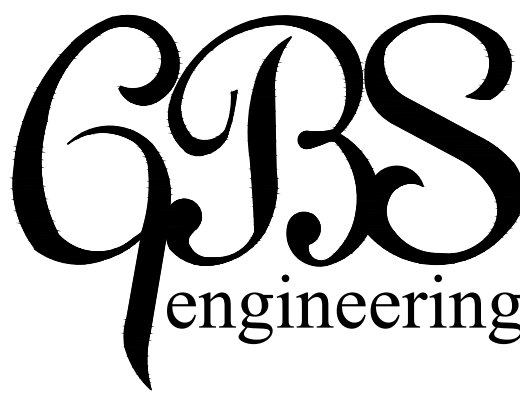
EROSION CONTROL
Contractor shall refer to Storm Water Pollution Prevention Plan for Erosion Control measures and details.

SAFETY SCREENS
Safety screens having a maximum opening of 4" shall be provided for any pipe or opening to prevent children or large animals from crawling into the structures. Screens shall be welded 3/8" bars @ 6" O.C. Each way.

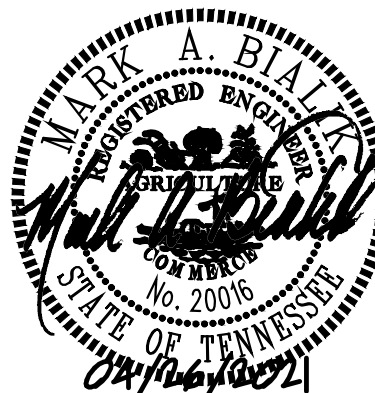
PERMITS
Contractor shall pay all grading permit fees and post grading bond, if required.



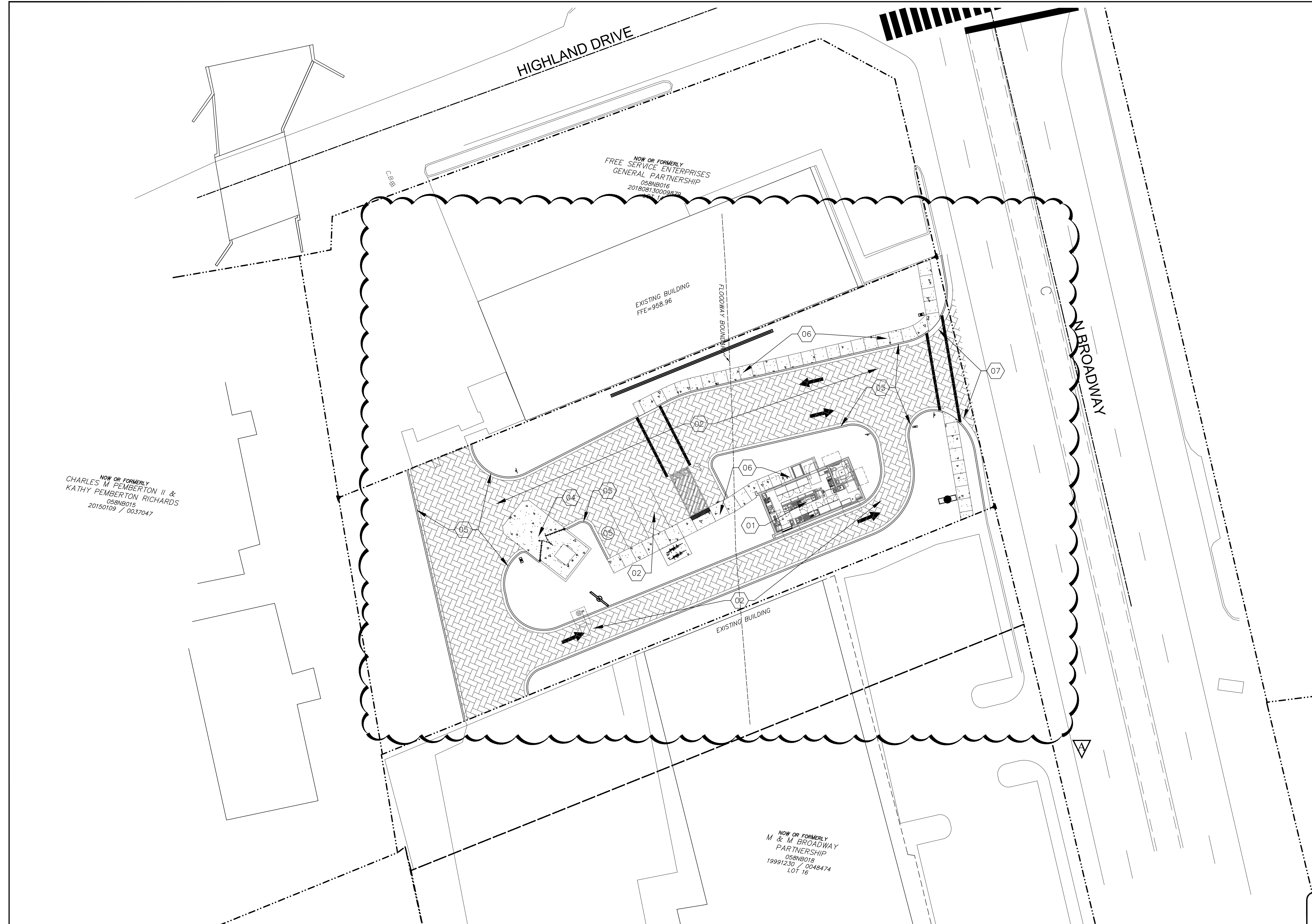
SEE COVER SHEET FOR LEGEND.



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PROJECT NAME: Scooters Coffee		DRAWN BY: THF	SHEET NO:
DRAWING TITLE: Site Grading Plan		CHECKED BY: MAB	C4.0
LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel NO.17, City Block 37520		FILE NAME: 2172- C4.0	
Owner: C&E Businesses LLC/dba Scooter's Coffee		JOB NUMBER 2172	
		ISSUE DATE: 03/29/2021	



LEGEND			
	EXTRUDED CURB		CONCRETE
	CURB AND GUTTER		STANDARD-DUTY ASPHALT PAVING
	PROPERTY LINE		HEAVY-DUTY ASPHALT PAVING
	PROPOSED PARKING STALLS		PERMEABLE BRICK PAVERS

GENERAL PAVING NOTES

01. ALL MANHOLES LIDS MUST BE SET FLUSH WITH ADJACENT PAVERS.
02. SUB GRADE MUST BE COMPACTED TO 98% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 2.0 % OF OPTIMUM.
03. STONE BASE MUST BE COMPACTED TO 98 % STANDARD PROCTOR WITH A WATER CONTENT WITHIN A RANGE FROM -2 % TO +3 % OF OPTIMUM.

CONSTRUCTION NOTES

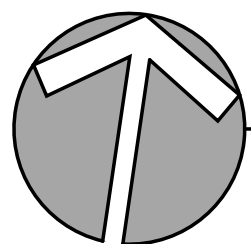
01. NEW SCOOTERS COFFEE (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
02. PERMEABLE PAVERS. SEE DETAILS FOR SPECIFICATIONS.
03. 8" DIAMETER MONITORING WELL. SEE DRAWING C8.1 FOR DETAIL. PROVIDED AND INSTALLED BY CONTRACTOR.
04. CONCRETE PAVEMENT SECTION. SEE SECTIONS FOR SPECIFICATIONS.
05. STANDARD CONCRETE CURB AND GUTTER. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
06. 4" CONCRETE SIDEWALK, SEE SECTIONS FOR SPECIFICATIONS.
07. T-DOT 6-30 CURB AND GUTTER. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.

NOW OR FORMERLY
CHARLES W. PEMBERTON II &
KATHY PEMBERTON RICHARDS
058NB015
20150109 / 0037047

NOW OR FORMERLY
FREE SERVICE ENTERPRISES
GENERAL PARTNERSHIP
058NB016
201808130009822

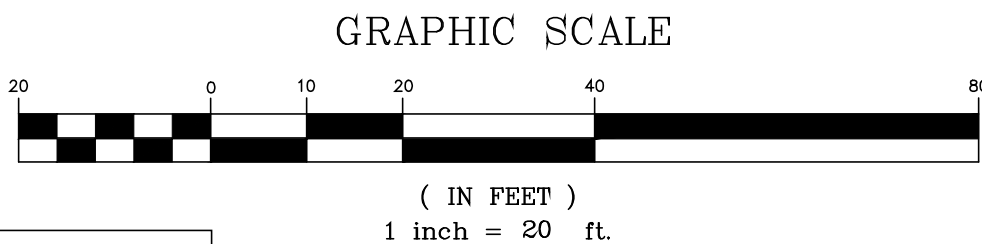
EXISTING BUILDING
FTE=958.96

NOW OR FORMERLY
M & M BROADWAY
PARTNERSHIP
058NB018
19991230 / 0048474
LOT 16



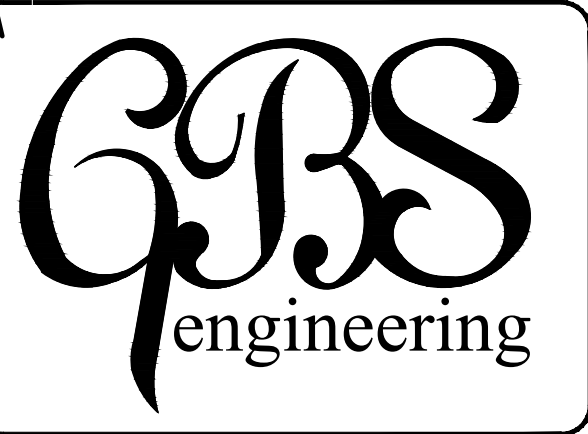
SITE PAVING PLAN

Scale: 1" = 20'-0"

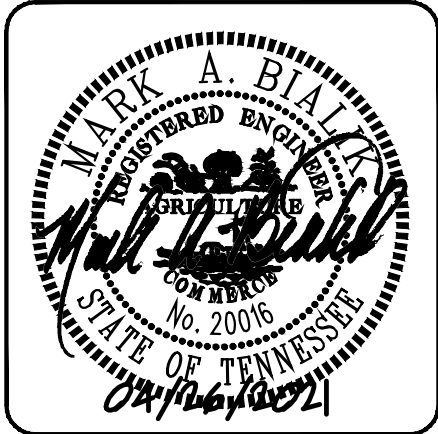


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Phn: 865.566.0185
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
A	Revised per City Comments	THF	04/26/2021
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PROJECT NAME: Scooters Coffee		DRAWN BY: THF	SHEET NO:
DRAWING TITLE: Site Paving Plan		CHECKED BY: MAB	C5.0
LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel NO.17, City Block 37520		FILE NAME: 2172- C5.0	
Owner: C&E Businesses LLC/dba Scooter's Coffee		JOB NUMBER 2172	
		ISSUE DATE: 03/29/2021	

PLANT SCHEDULE					
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE AT PLANTING	QUANTITY	Ht. @ MATURITY
	RED MAPLE	ACER RUBRUM	2" CALIPER	2	40'-70'
	WILLOW OAK	QUERCUS PHellos	2.5" CALIPER	1	50'
	EASTERN REDBUD	CERCIS CANADENSIS	6"	2	15'
	RIVER BIRCH	BETULA NIGRA	3 TREE CLUSTERS OF 2" CALIPER, 8 & 8	3	30' - 50'
	SOFT TOUCH HOLLY	ILEX CRENATA 'SOFT TOUCH'	3 GALLON	10	2'-5'
	CHINESE PRINCE FLOWER	LOXOPETALUM CHINESE	3 GALLON	3	4'-5'
	LITTLELEAF BOXWOOD	BUXUS MICROPHYLLA	2 GALLON	6	4'
	INDIAN HAWTHORN	RHAMNOLEPIS INDICA	2 GALLON	6	3'-6'
	PINE WINE WEIGELA	WEIGELA FLORA 'BRAMWELL'	3 GALLON	10	2'-5'
	LITTLE LIME HYDRANGEA	HYDRANGEA PANICULATA 'LITTLE LIME'	3 GALLON	15	3'-5'

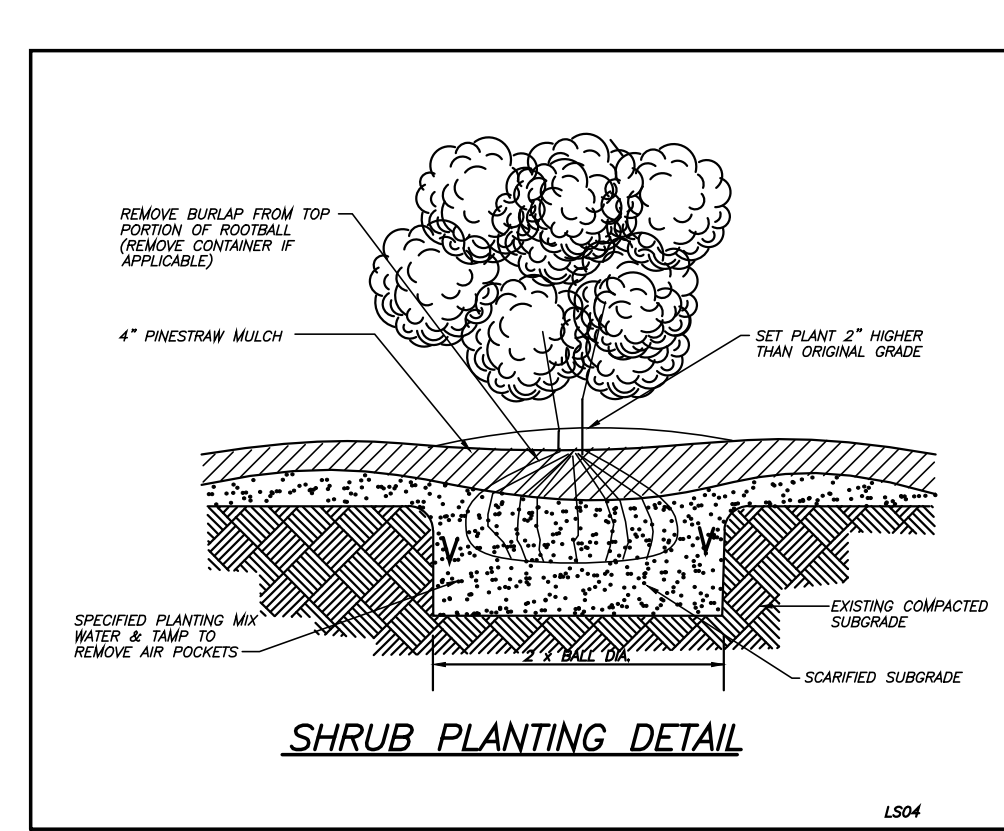
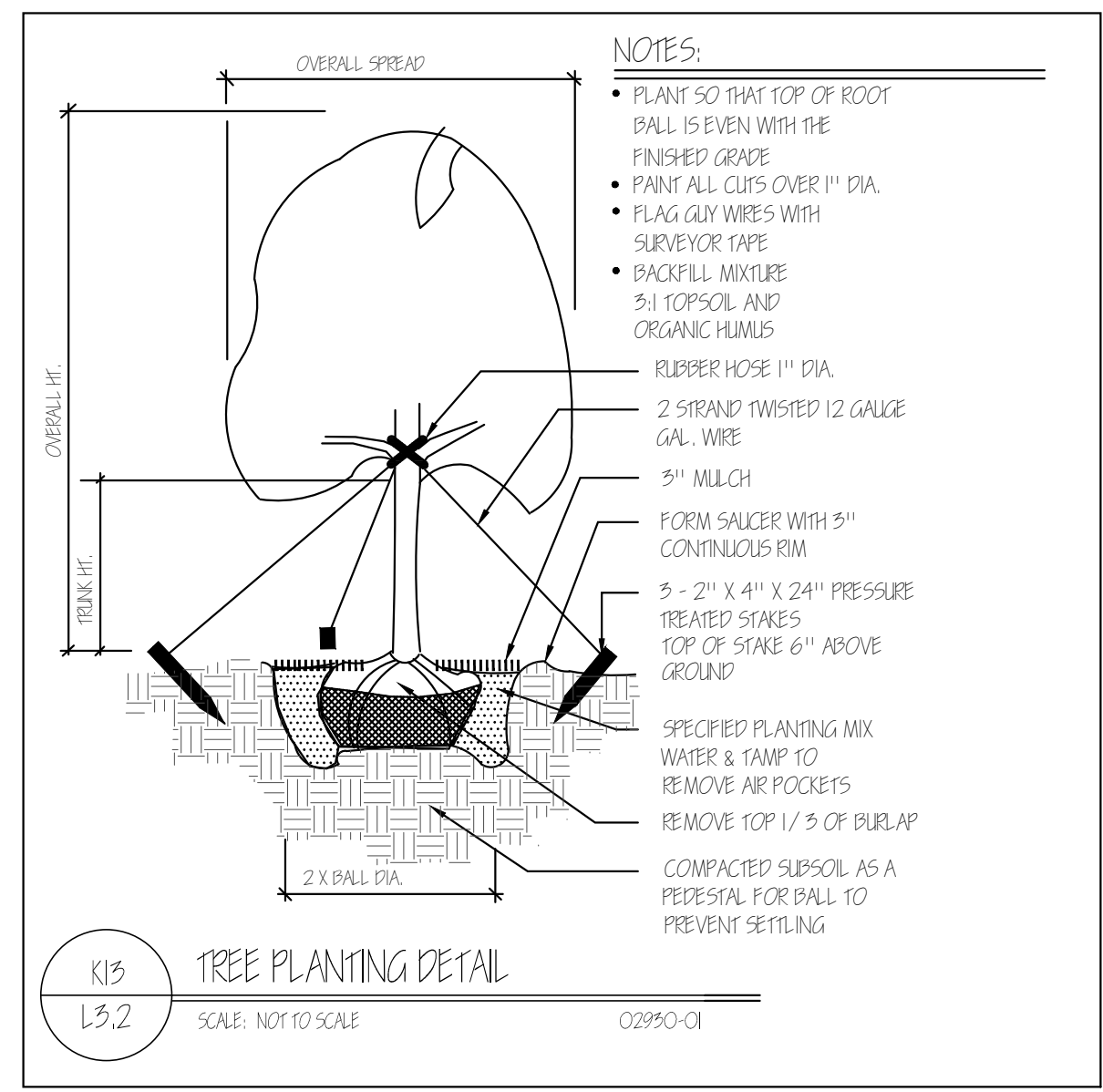
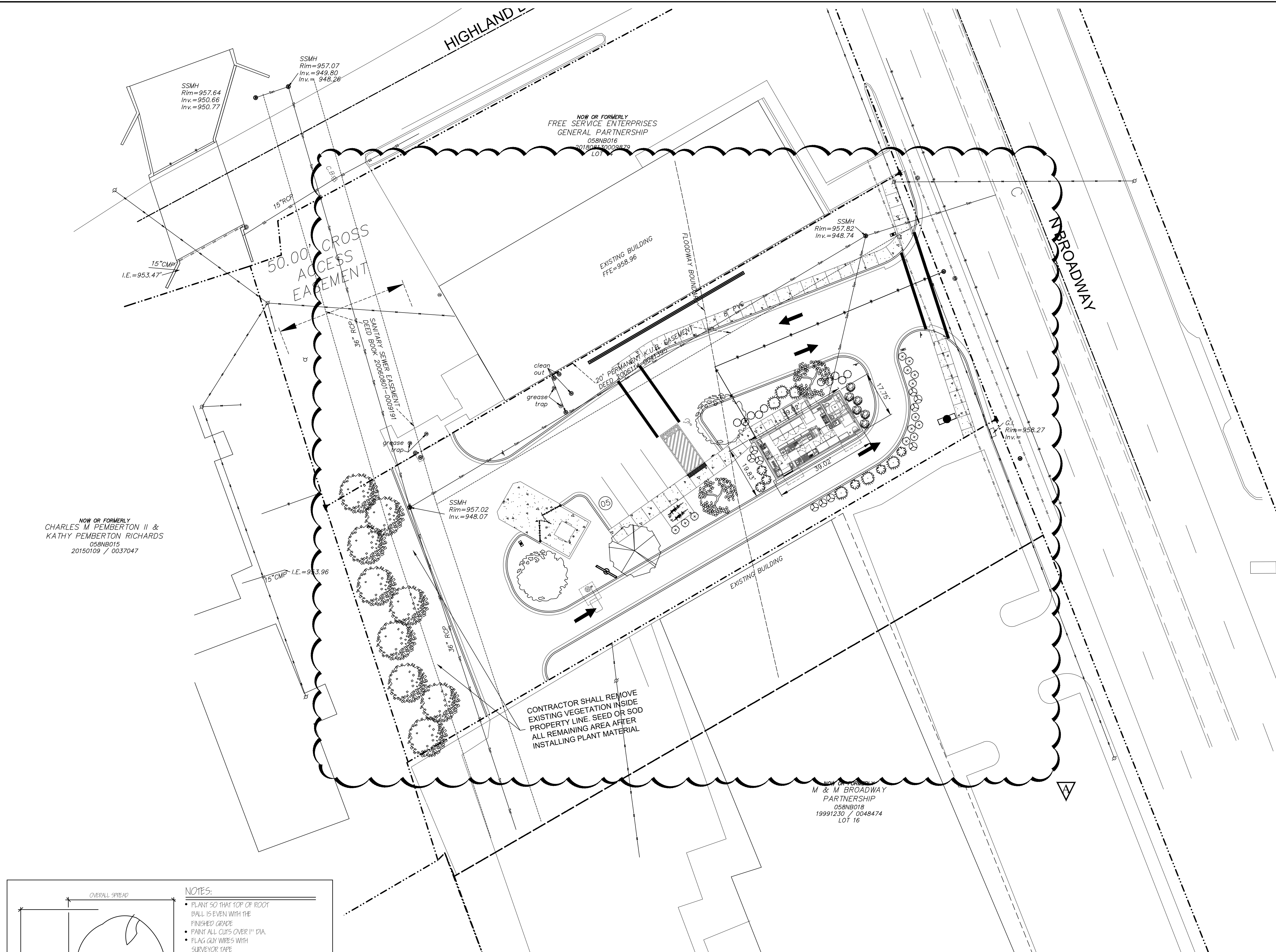
- LANDSCAPE NOTES:
- EXAMINE SITE UPON WHICH WORK IS TO BE PERFORMED. PROVIDE PERCOLATION TESTS, PH TESTS AND OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR THE PLANTS. IF PERCOLATION TEST OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, RECTIFY UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES SITE CONDITIONS HAVE BEEN ACCEPTED BY CONTRACTOR "AS IS."
 - OVERHEAD AND UNDERGROUND UTILITIES EXIST ON SITE. VERIFY LOCATIONS AND DEPTHS BEFORE COMMENCING WITH PLANTING WORK. THERE ARE NO KNOWN UTILITY/TREE CONFLICTS.
 - EXCAVATE SOIL (4" DEPTH) AND REMOVE ALL PLANT MATERIAL IN DESIGNATED PLANTING AREAS. IMPORT (4" DEPTH) STERILE TOPSOIL AND MIX WITH AN EQUAL PART ORGANIC HUMUS. ALL PLANTING AREAS SHALL HAVE WEED MATTING/BARRIER.
 - ASSURE THAT ALL BEDS DRAIN AWAY FROM ALL STRUCTURES.
 - PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1, "AMERICAN STANDARDS FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ADD PRE-EMERGENT HERBICIDE UNDERNEATH MULCH IN LANDSCAPE BEDS.
 - TOP DRESS BEDS WITH 3" (INCHES) PINE STRAW. PROVIDE 3" (INCHES) DEEP LAYER.
 - PLANT GROUND COVERS THROUGH MULCH.
 - REMOVE ALL STRINGS AND OTHER TIES FROM PLANT MATERIAL.
 - REMOVE UPPER 1/3 OF BURLAP FROM ALL PLANT ROOT BALLS.
 - DO NOT PIERCE TREE ROOT BALLS WITH SUPPORT STAKES.
 - ADD FERTILIZER AS REQUIRED FOR OPTIMUM PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE.
 - THERE ARE NO KNOWN CONFLICTS BETWEEN EXISTING OR PROPOSED UTILITIES AND THE PROPOSED PLANTINGS.
 - NO DETENTION OR RETENTION WATER BASINS ARE REQUIRED.
 - ALL PLANTS SHALL BE FREE OF DISEASE, AND SHALL HAVE A HEALTHY APPEARANCE AT PLANTING.
 - ALL PLANT GROWTH IN LANDSCAPED AREAS SHALL BE CONTROLLED BY PRUNING, TRIMMING, OR OTHER SUITABLE METHODS SO THAT PLANT MATERIALS DO NOT INTERFERE WITH UTILITIES, RESTRICT PEDESTRIAN OR VEHICULAR ACCESS, OR OTHERWISE CONSTITUTE A TRAFFIC HAZARD.
 - ALL LANDSCAPED AREAS SHALL BE MAINTAINED IN RELATIVELY WEED-FREE CONDITION AND CLEAR OF UNDERGROWTH.
 - ALL PLANTINGS SHALL BE FERTILIZED AND IRRIGATED AT INTERVALS AS ARE NECESSARY TO PROMOTE OPTIMUM GROWTH.
 - ALL TREES, SHRUBS, GROUND COVER, AND OTHER PLANT MATERIAL SHALL BE REPLACED IF THEY DIE OR BECOME UNHEALTHY DUE TO ACCIDENTS, DRAINAGE PROBLEMS, DISEASE, OR OTHER CAUSES.
 - ALL REMAINING AREA WITHOUT PLANT MATERIAL SHALL RECEIVE A LAYER OF TOPSOIL AND BE SEEDDED OR MULCHED.

SITE LANDSCAPING REQUIRED BY CODE AND BASED ON LINEAR FEET OF BUILDING FACADE FACING STREET OR PARKING LOT
 1 SHRUB EVERY 3' MINIMUM OF 50% EVERGREEN
 1 EVERGREEN FOR EVERY 25'- 1 SHADE TREE FOR 50'
 FEET OF LINEAR FACADE PROVIDED = 17.17 + 19.25 + 38.42 + 38.42 = 113.26
 113.26 / 3 = 38 SHRUBS REQUIRED
 113.26 / 50 = 3 SHADE TREES REQUIRED

TOTAL LANDSCAPING REQUIRED
 3 SHADE TREES
 38 SHRUBS

1313 Kalmia Road
 Knoxville, TN 37909
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A	Revised per City Comments	THF	04/26/2021
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PROJECT NAME: Scooters Coffee		DRAWN BY: THF	SHEET NO:
DRAWING TITLE: Site Landscape Plan		CHECKED BY: MAB	C7.0
LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel NO.17, City Block 37520		FILE NAME: 2172- C7.0	
Owner: C&E Businesses LLC/dba Scooter's Coffee		JOB NUMBER 2172	
		ISSUE DATE: 03/29/2021	



SITE LANDSCAPE PLAN

Scale: 1" = 20'-0"

SITE ACREAGE = .58 ACRES

SEE COVER SHEET FOR LEGEND.

GRAPHIC SCALE

(IN FEET)

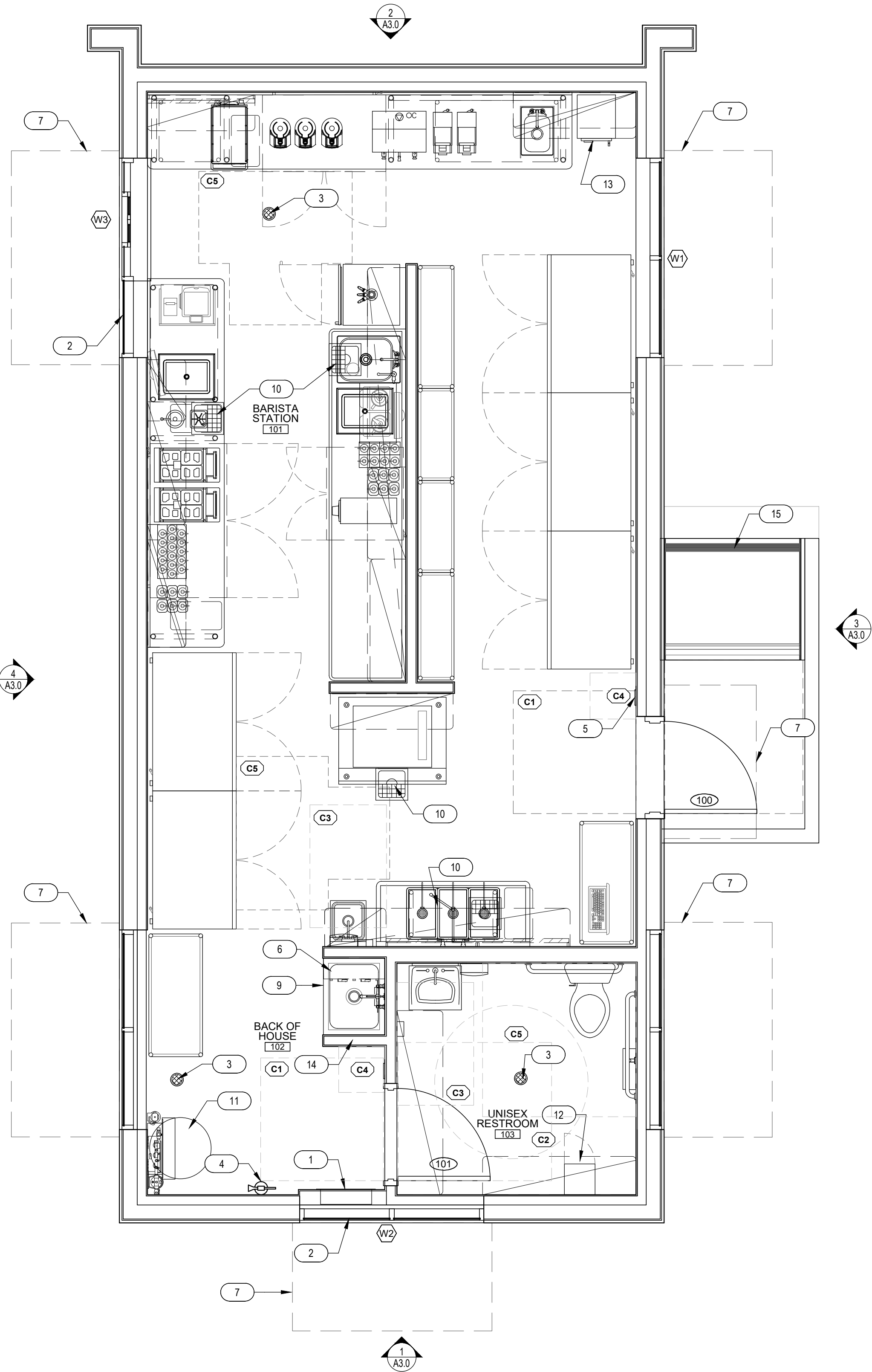
1 inch = 20 ft.

5-E-21-SU
 4/28/2021

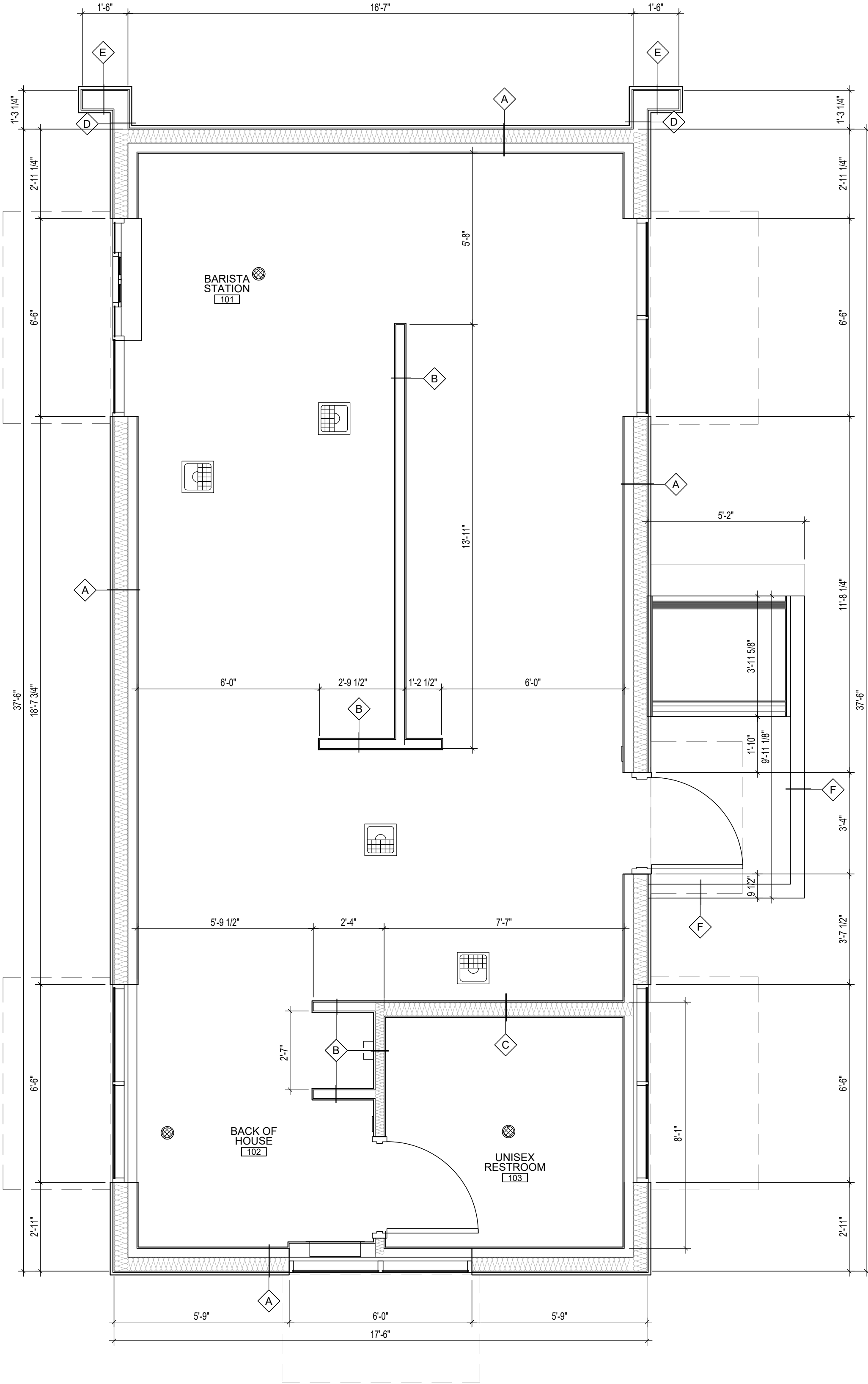


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5-E-21-SU
4/28/2021



2 FLOOR PLAN
SCALE: 3/8" = 1'-0"



1 DIMENSION PLAN
SCALE: 3/8" = 1'-0"



DOOR LEGEND	
	DOOR TAG. REFER TO SCHEDULE ON SHEET A5.2
WINDOW LEGEND	
	WINDOW TAG. REFER TO DETAILS ON SHEET A5.1

GENERAL NOTES

- PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILINGS AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND ANY ITEMS WHICH MAY REQUIRE ACCESS NOT OTHERWISE PROVIDED.
- GENERAL CONTRACTOR WILL FURNISH AND INSTALL 5LB MULTIPURPOSE DRY CHEMICAL (2A/10BC) RATED FIRE EXTINGUISHERS WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 75'-0" FOR PLACEMENT.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE, AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
- SEE ROOM FINISH SCHEDULE FOR ALL ROOM FINISHES, SHEET A2.2.
- SEE KITCHEN DRAWINGS FOR EQUIPMENT INFORMATION, SHEET K1.0
- EXTEND WALLS TO BOTTOM OF GRID AND ADD 2"IP STRIP.
- GENERAL CONTRACTOR TO CAULK AND SEAL ALL EXPANSION AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE - SEE JOINT SEALERS SPECIFICATIONS.
- ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARM PULLS AND OTHER ITEMS TO BE LOCATED AS CLOSE AS POSSIBLE TO THE ADJACENT DOOR FRAME.
- AT MOP SINK AND SINKS, PROVIDE 120 CLEANING SOLUTION DISPENSER ON HOSE BIBB SIDE. THERE SHALL BE A MAXIMUM 1/2" OFFSET AT ALL THRESHOLDS AND AT ANY CHANGE OF FLOORING MATERIALS. OFFSETS GREATER THAN 1/4" REQUIRE A MAXIMUM BEVELED SLOPE OF 1 UNIT VERTICAL TO 2 UNITS HORIZONTAL.
- ALL DOORS ARE 4" OFF ADJACENT WALLS UNO.
- ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACE, AND THE MAX. RUNNING AND CROSS SLOPE OF ALL LANDINGS WILL BE 2%.
- PROVIDE THERMOMETER ACCURATE TO 2 DEGREES FAHRENHEIT IN REFRIGERATORS IF ONE IS NOT INCLUDED WITH FIXTURE.
- ALL HAND SINKS MUST BE PROVIDED WITH A HAND WASHING SIGN, PAPER TOWEL DISPENSER AND HAND SOAP DISPENSER.

WALL LEGEND

FRAMING / DIMENSIONING NOTE:
ALL DIMENSIONS ARE TO FACE OF STUD, TYP.

- EXTERIOR WALL:
BELOW 36" A.F.F. - HARDIE BOARD OVER FURRING STRIPS @ 24" O.C. ON 5 1/2" THICK POURED IN PLACE CONCRETE WALL.
ABOVE 36" A.F.F. - HARDIE BOARD OVER WEATHER RESISTANT BARRIER (WRB) OVER SHEATHING OVER 2x6" WOOD STUDS @ 16" O.C., PROVIDE BATT INSULATION (ENTIRE HEIGHT) 2x4" WOOD STUDS @ 16" O.C. WITH 12" CEMENT BOARD AT BASE W/ 1/2" PLYWOOD ABOVE AND FRP PANEL TO 10'-6" A.F.F..
- INTERIOR PARTITION WALL:
2x4" WOOD STUDS @ 16" O.C., 12" CEMENT BOARD AT BASE W/ 1/2" PLYWOOD ABOVE AND FRP PANEL FINISH TO 10'-6" A.F.F. BOTH SIDES. PROVIDE R-13 ACOUSTICAL BATT INSULATION AT RESTROOM.
- PLUMBING PARTITION:
2x6" WOOD STUDS @ 16" O.C. 12" CEMENT BOARD AT BASE W/ 1/2" MOISTURE RESISTANT GYP BD ON RESTROOM SIDE AND 12" CEMENT BOARD AT BASE W/ 1/2" PLYWOOD FOR BACK OF HOUSE WITH FRP PANEL TO 10'-6" A.F.F. BOTH SIDES. PROVIDE R-13 ACOUSTICAL BATT INSULATION IN PARTITION.
- EXTERIOR WING WALL:
HARDIE BOARD OVER WEATHER RESISTANT BARRIER (WRB) OVER SHEATHING OVER 2x6" WOOD STUDS @ 16" O.C., SHEATHING AND BREAK METAL ONE SIDE.
- EXTERIOR WING WALL:
2x8" WOOD STUDS @ 16" O.C. OVER WEATHER RESISTANT BARRIER (WRB) OVER SHEATHING AND BREAK METAL BOTH SIDES.
- 36" HIGH EXTERIOR WING WALL:
5 1/2" THICK POURED IN PLACE CONCRETE WALL.

NOTE: FLOOR SINKS DIMENSION ARE NOT DEAD SET, THEY WILL NEED TO BE LOCATED +6" OR MORE. GC WILL NEED TO COORDINATE WITH COUNTERTOP FAB FOR PROPER LOCATION OF COUNTERTOP LEGS WITH FLOOR SINK LOCATION.

KEYNOTES - FLOOR PLAN

- NEW ELECTRICAL PANEL, SEE ELECTRICAL DRAWINGS
- GRAPHICS ON WINDOW BY OWNER
- FLOOR DRAIN, SEE PLUMBING DRAWINGS
- 2A-10BC MINIMUM RATED FIRE EXTINGUISHER
- PROVIDE TACTILE EXIT SIGN AT EXIT DISCHARGE
- WATER HEATER ABOVE, SEE PLUMBING DRAWINGS
- LINE OF CANOPY ABOVE BY OTHERS
- ACCESSIBLE RESTROOM SIGN
- MOP SINK, SEE PLUMBING DRAWINGS
- FLOOR SINK, SEE PLUMBING DRAWINGS
- R.O. SYSTEM, SEE PLUMBING DRAWINGS
- 6 DOOR EMPLOYEE LOCKERS ANCHORED TO WALL BY GC
- FLOOR SAFE BY OWNER, BOLTED TO FLOOR BY G.C.
- PARTIAL HEIGHT WALL.
- PEDESTRIAN FLOOD GATE WITH ALUMINUM WIPER WALL, EQ. TO FLOOD BREAK

CLEARANCE KEYNOTE

- DOOR WITH A CLOSER AND A LATCH
- CIRCULAR TURNABOUT
- CLEAR FLOOR SPACE
- TACTILE SIGNS
- T-TURN



PROJECT ADDRESS:
4919 N. BROADWAY
KNOXVILLE, TN 37918

REVISIONS:

TITLE:
DIMENSION
PLAN & FLOOR
PLAN

DATE:
DATE

PROJECT NO.
PROJ. NO.

- ☒ DESIGN DEVELOPMENT
☐ PERMIT SUBMITTAL
☐ BID PACKAGE
☐ CONSTRUCTION ISSUE

SHEET NO.

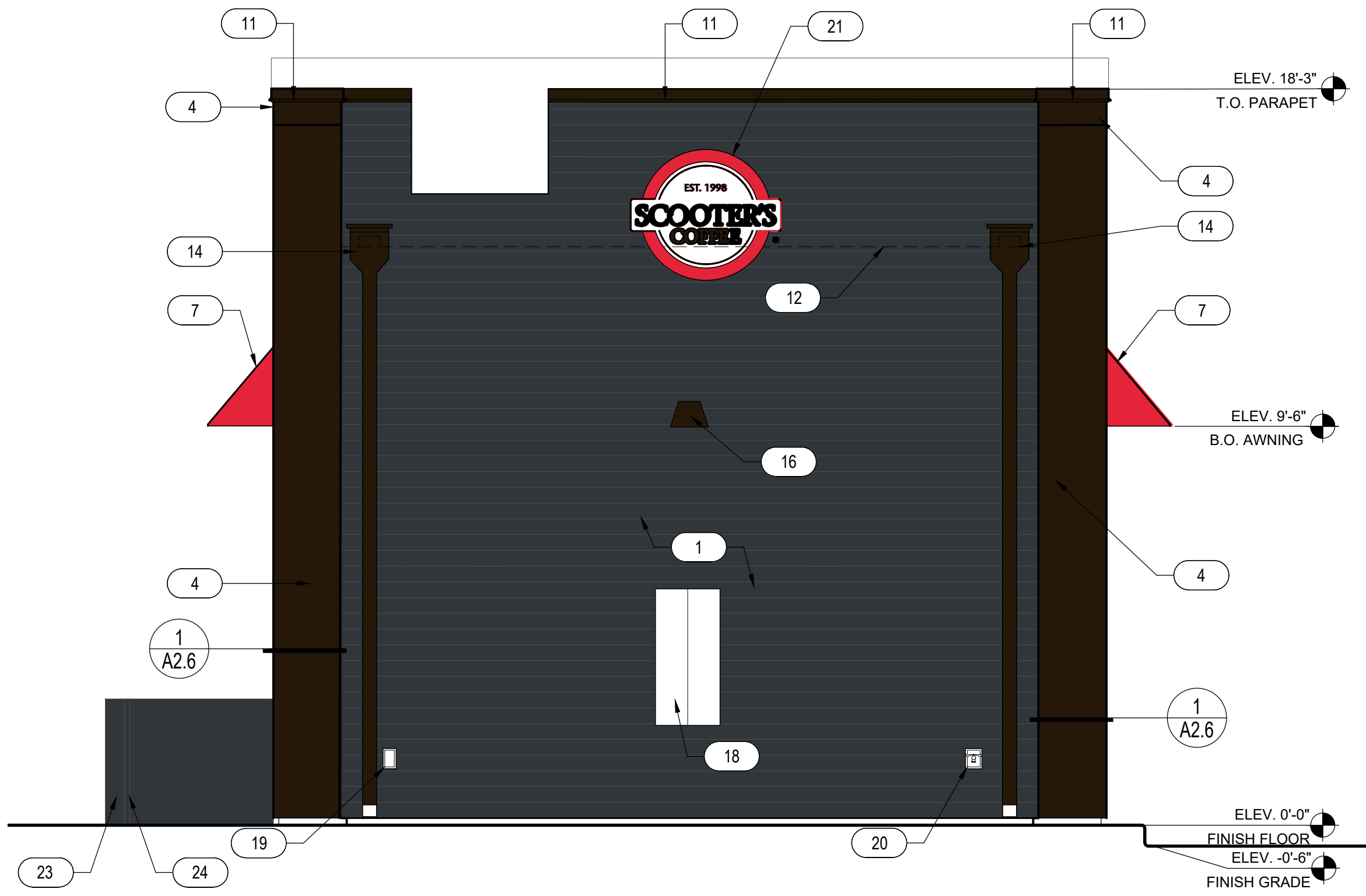
A2.1

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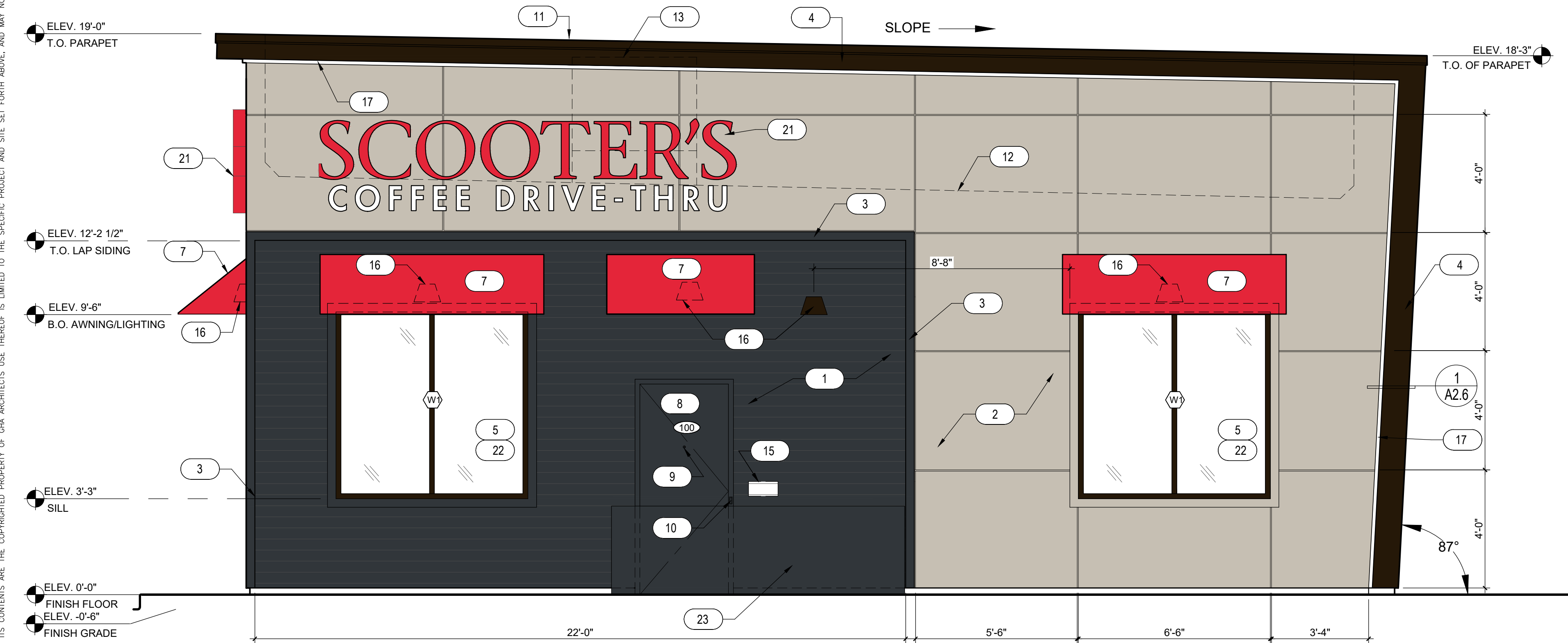
4 DRIVE-THRU EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



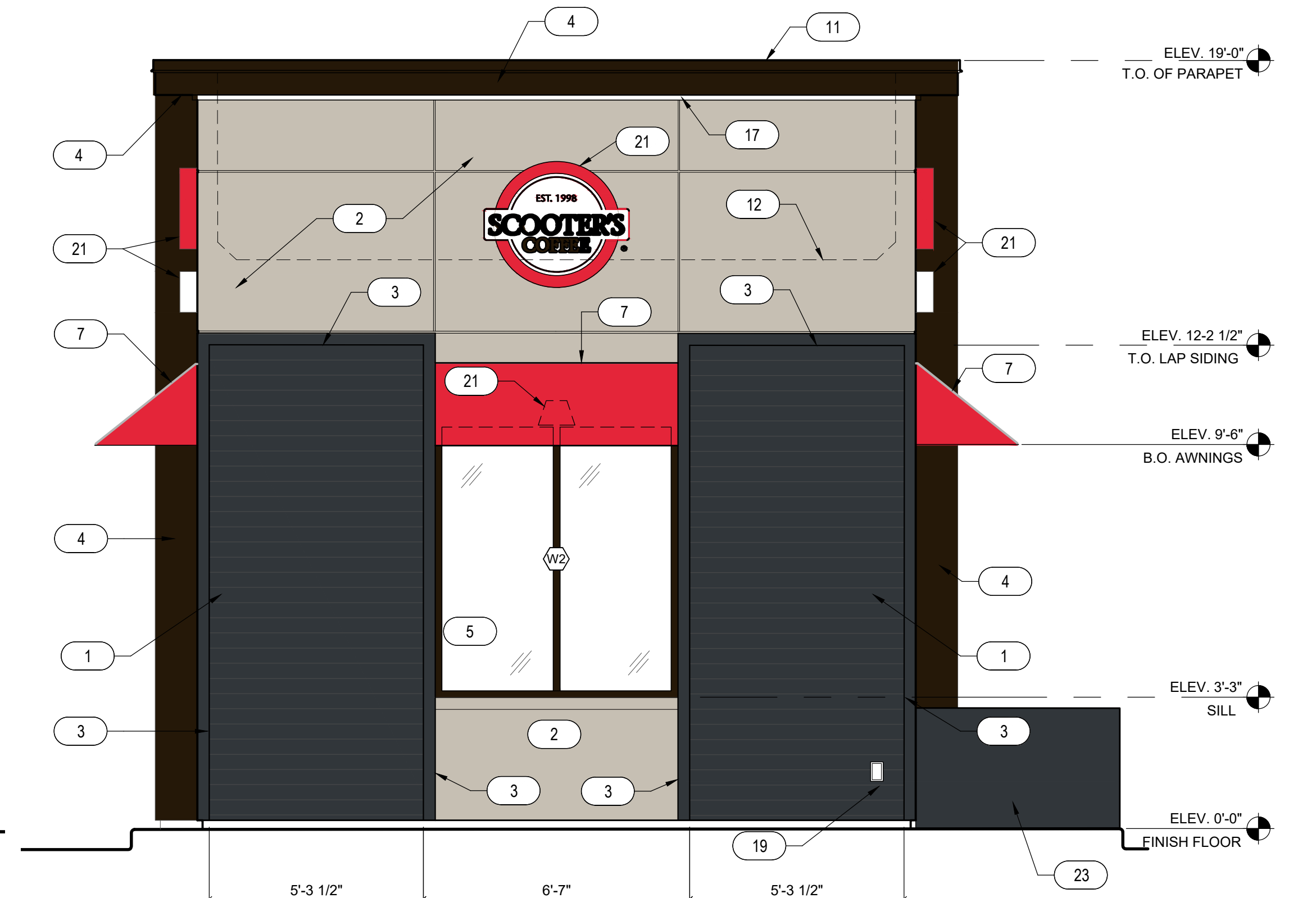
2 REAR EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



3 ENTRANCE EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"



1 FRONT DRIVE-THRU EXTERIOR ELEVATIONS

SCALE: 3/8" = 1'-0"

KEYNOTES

1. HARDIE PLANK HZ10 LAP SIDING CEDARMILL 6-1/4", SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. HARDIE REVEAL PANEL SYSTEM WZ10 - SMOOTH FINISH, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" HARDIE TRIM, SEE HARDIE DETAIL SHEET A6.5 - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUICKSERVE 48X48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. PEEP HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL 8/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT
22. SPANDREL GLASS
23. 5 1/2" POURED IN PLACE CONCRETE WING WALL
24. ALUMINUM WIPER WALL FOR PEDESTRIAN FLOOD GATE