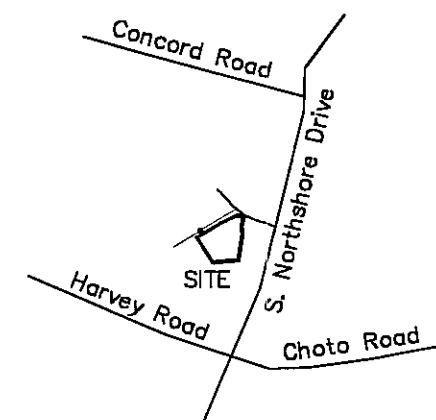
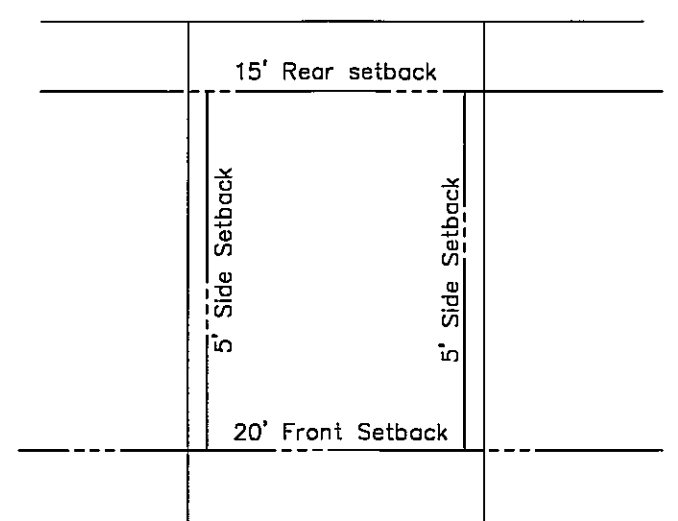


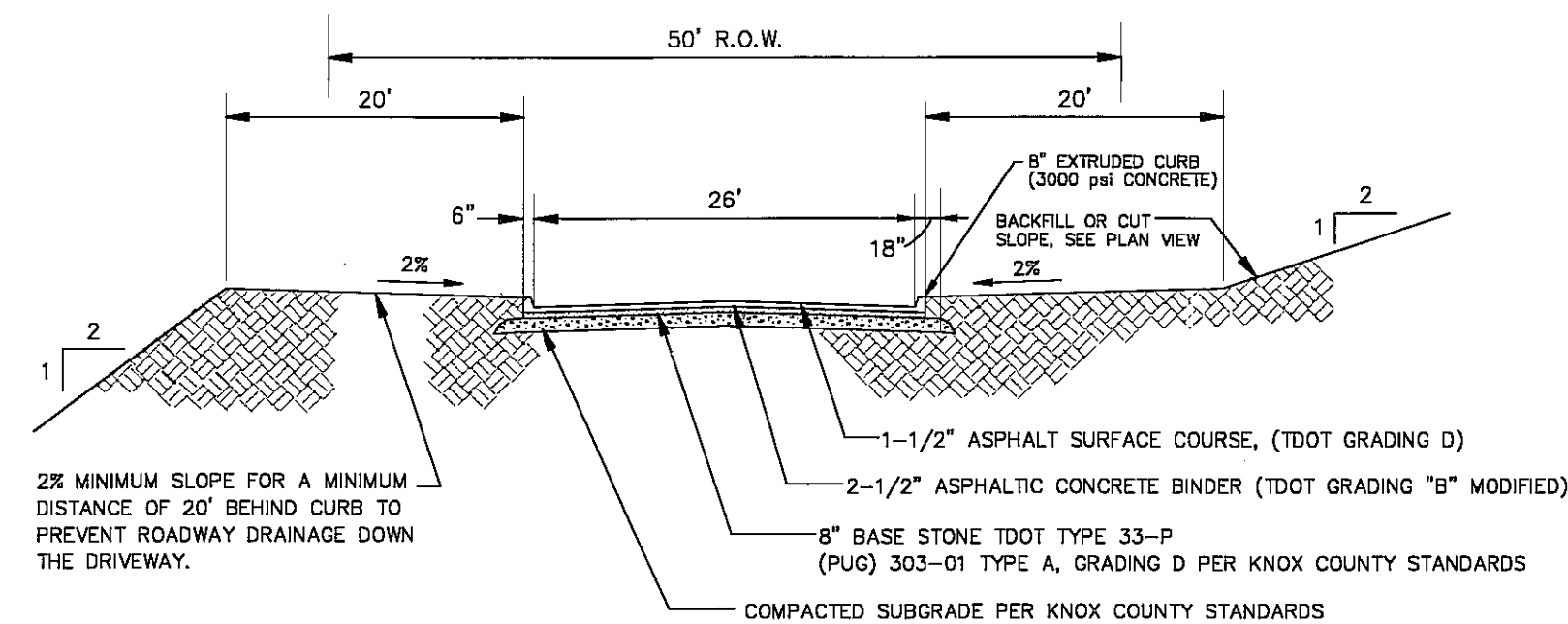


LOCATION MAP
NOT TO SCALE

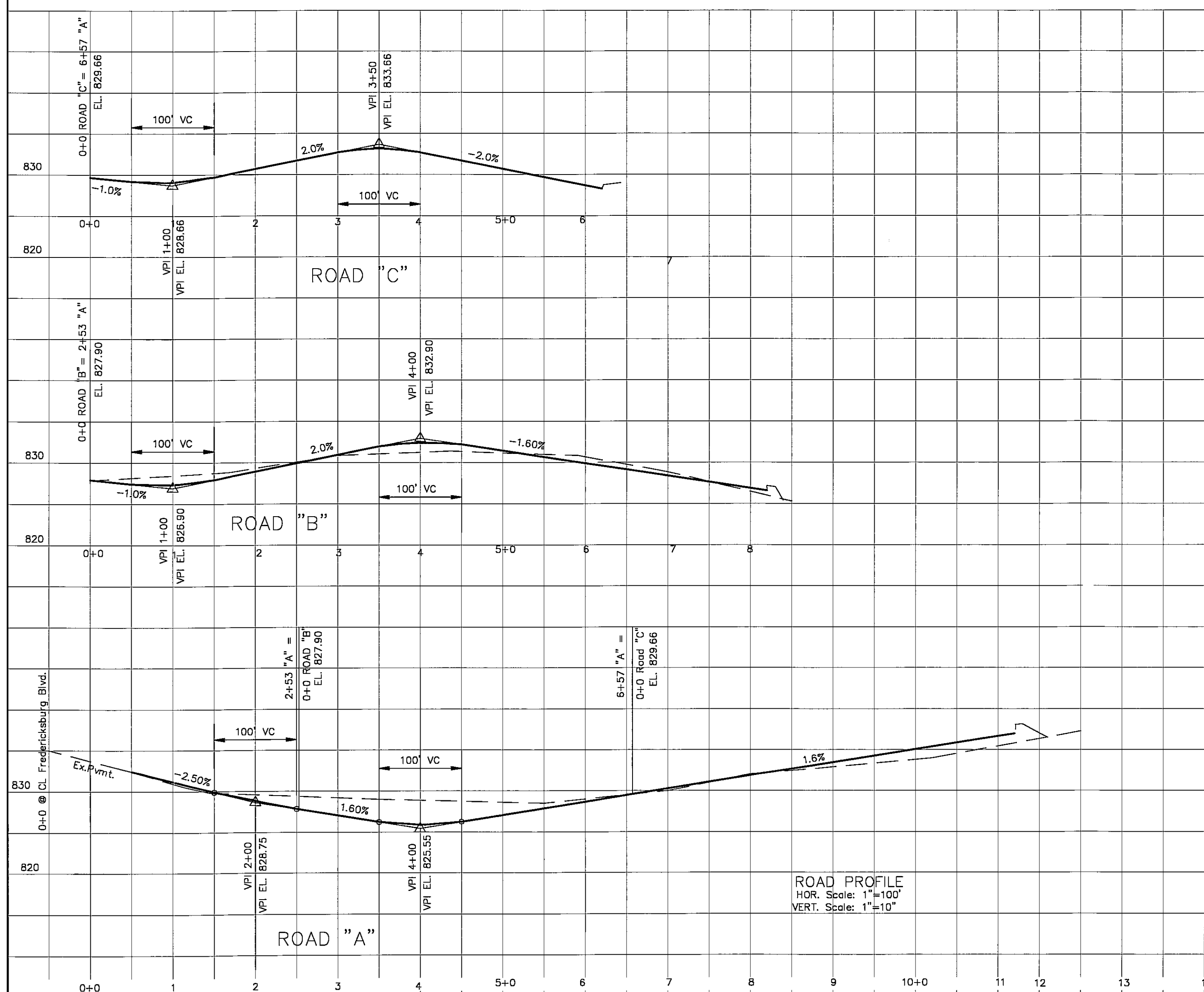
NOTE: All setbacks are controlled
by proposed 20' peripheral
setback where applicable.



TYPICAL LOT LAYOUT
NTS

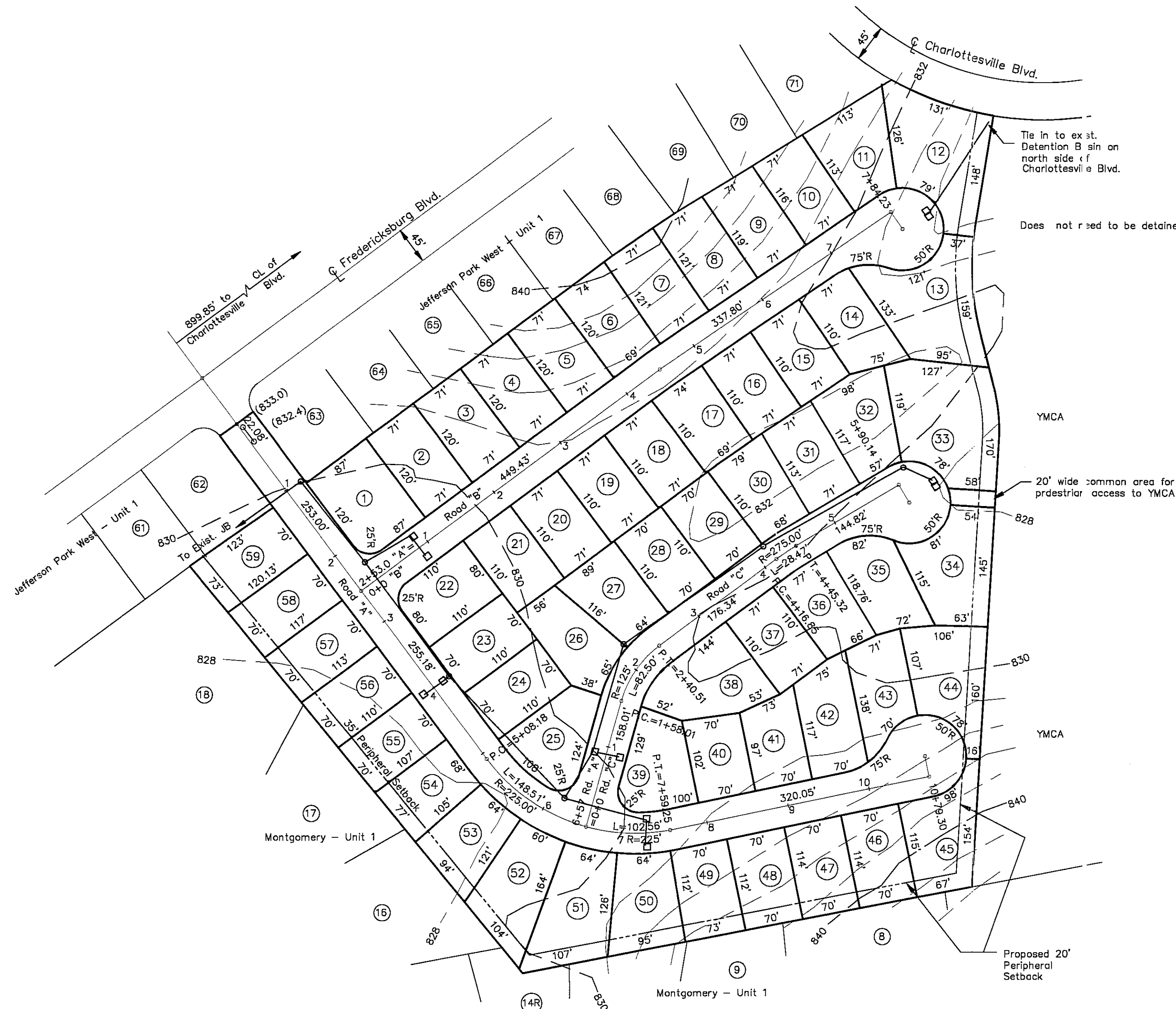


TYPICAL ROADWAY CROSS-SECTION
NTS



NOTES:

1. CLT MAP 162, PART OF PARCEL 57.06.
2. NO. OF LOTS - 59.
3. AREA SUBDIVIDED - 15.49 ACRES.
4. THIS PROPERTY IS ZONED PR.
5. ALL LOTS ON THIS PLAT WILL HAVE ACCESS FROM INTERNAL STREET SYSTEM ONLY.
6. 10' UTILITY & DRAINAGE EASEMENT INSIDE ROAD FRONTAGE AND S/D PERIMETER LOT LINES, 5' EACH SIDE OF ALL INTERIOR LOT LINES.



CERTIFICATION OF CONCEPT PLAN

I hereby certify that I am a Surveyor, licensed to do surveying under the laws of the State of Tennessee. I further certify these plans and accompanying drawings, documents and statements conform to all applicable provisions of the Knoxville-Knox County Subdivision Regulations except as has been itemized and described in a report filed with the Metropolitan Planning Commission.

TN RLS #1306

CONCEPT PLAN & SITE PLAN JEFFERSON PARK WEST UNIT 5

CLT MAP 162, PART OF PARCEL 57.06

DISTRICT 6 - KNOX CO., TENN.

SCALE: 1"=100' MARCH 25, 2013

SURVEYOR:
JIM SULLIVAN
2543 CREEKSTONE CIRCLE
MARYVILLE, TN. 37804
PH. 406-7324

OWNER:
MESANA INVESTMENTS, LLC
P.O. BOX 11315
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