

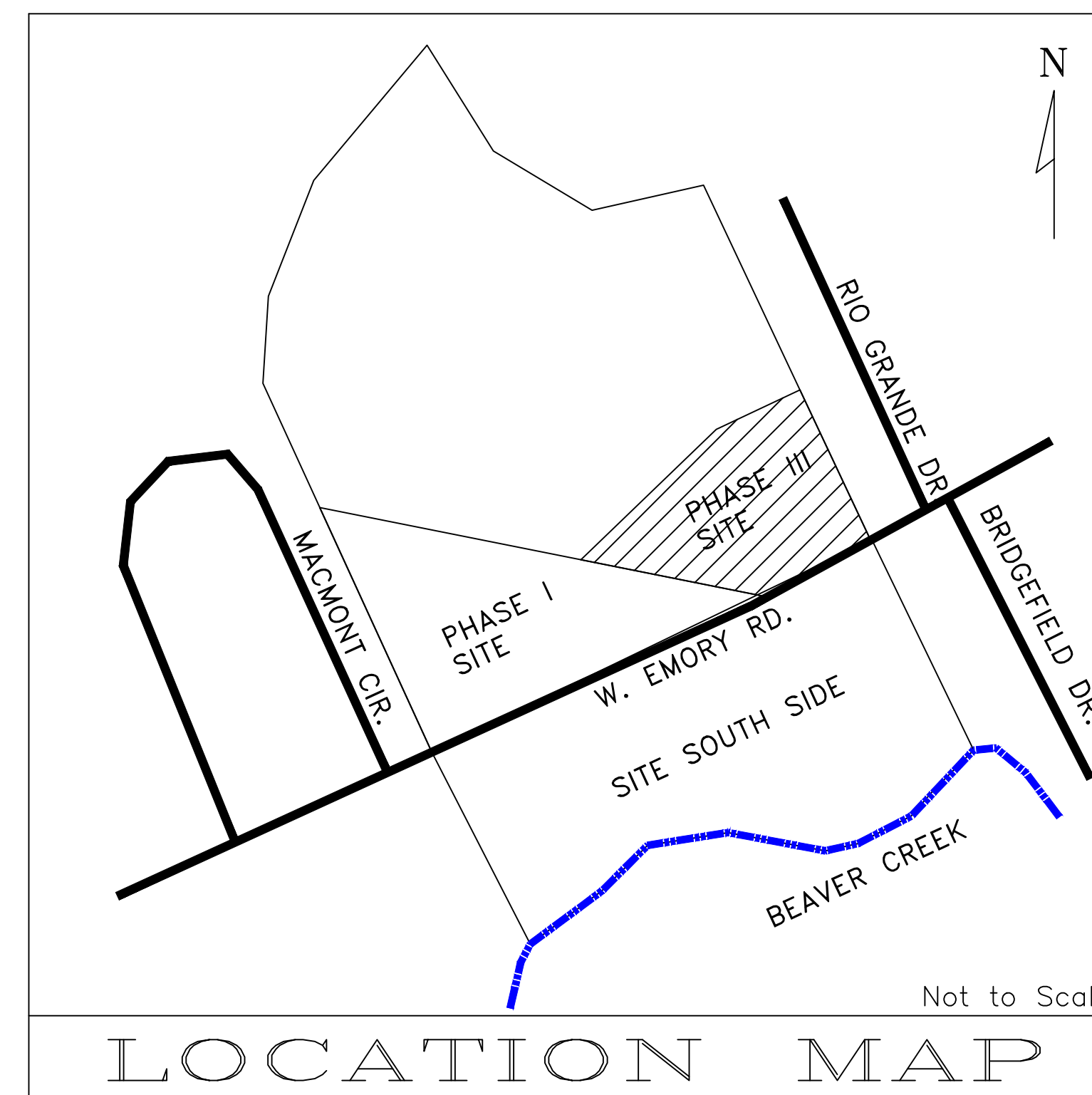
CONCEPT AND DESIGN PLAN
FOR

BELLTOWN DEVELOPMENT PHASE III
ON W. EMORY

CLT MAP 066, PART OF PARCEL 121
DISTRICT-6, KNOX COUNTY, TENNESSEE

INDEX OF PLANS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	CONCEPT & DESIGN PLAN
3	ROAD PROFILES, FREEDOM BELL AVE. FROM STA. 13+00 TO 32+50 & L, M & O



SOUTHLAND ENGINEERING CONSULTANTS, LLC
GENERAL CIVIL & LAND SURVEYORS
4909 BALL ROAD
KNOXVILLE, TENNESSEE 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699
E-MAIL: wrgh@seco.com
www.southlandengineeringusa.com

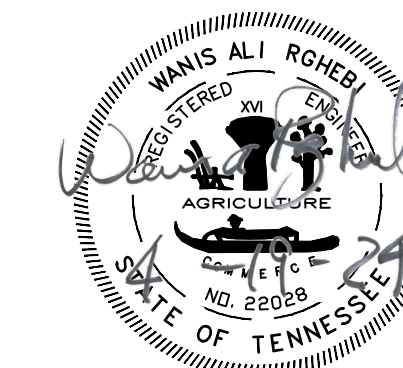
This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Map, and found that the above described is not located in a special flood hazard area as shown on the Federal Insurance Map Panel 47093C0115F, Knox County Community Number 175433 effective date May 2, 2007.
Date: *Wanda Ghil*

Signature: *4-19-24*

OWNER:

BELLTOWN LLC
4907 BALL ROAD
KNOXVILLE, TENNESSEE 37931
PHONE (865) 694-8582
FAX: (865) 693-9699
EMAIL: josh@rhsco.com

SITE ADDRESS:
0 FREEDOM BELL AVE.
POWELL, TENNESSEE 37849

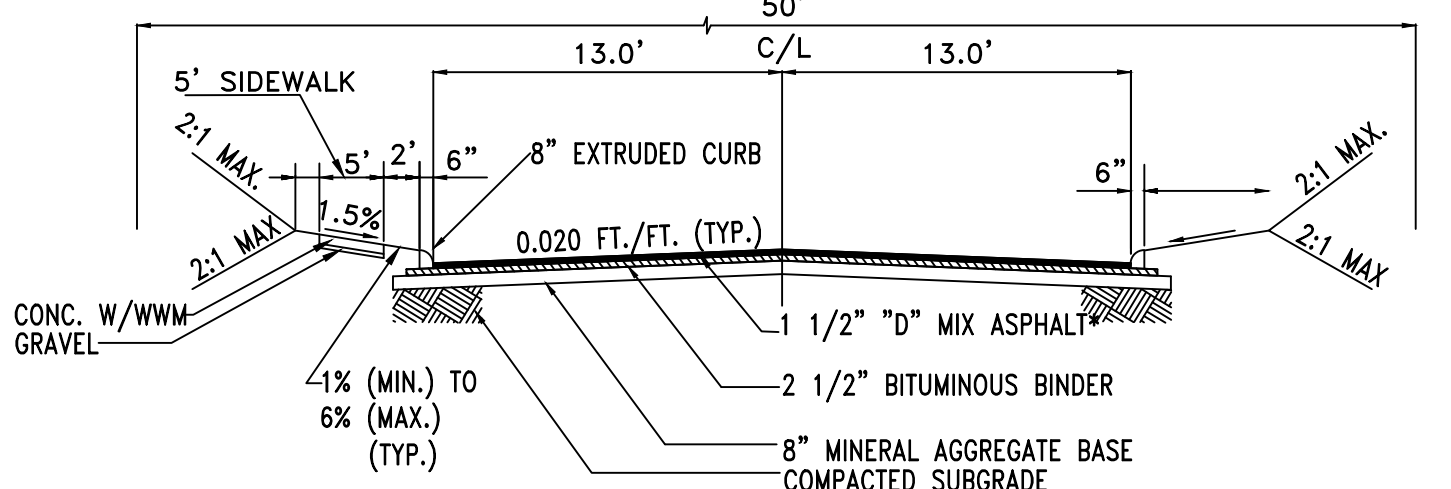


REV. 4-19-24 5-SD-24-C
MARCH 2024

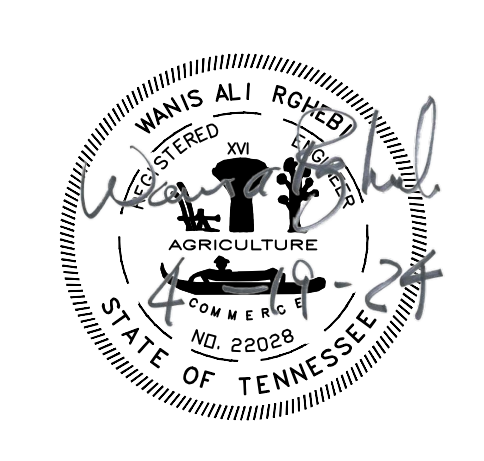
NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK
OR CONSTRUCTION CONTRACTOR MUST
CONTACT:
TENNESSEE ONE-CALL
1-800-251-1111
RECORD AND SAVE YOUR
CONFIRMATION NUMBER.



- NOTES:
1. ALL DIMENSIONS AND ACRES ARE SCALED AND SUBJECT TO CHANGE ON THE FINAL PLAN.
 2. A 10' DRAINAGE UTILITY AND CONSTRUCTION EASEMENT EXISTS INSIDE ALL EXTERIOR LOT LINES AND ROAD LINES, 5' EACH SIDE OF EXTERIOR LOT LINES.
 3. A 15' UTILITY EASEMENT EXISTS TO EACH SIDE OF CENTERLINE OF SANITARY SEWER AS INSTALLED.
 4. THIS PROPERTY CONTAINS APPROXIMATELY 23.26 ACRES AND IS SUBDIVIDED INTO 68 SINGLE FAMILY LOTS, THREE COMMON AREAS AND PUBLIC RIGHT-OF-WAYS.
 5. ROAD PROFILES ARE FROM KGIS TPO.
 6. CONTOUR PROFILES FROM KNOXVILLE, KNOX COUNTY KGIS AND ROAD PROFILES ARE BASED ON KGIS.
 7. UTILITIES: WATER: HALLS DALE POWELL UTILITY DISTRICT; SEWER: HALLS DALE POWELL UTILITY DISTRICT; ELECTRIC: KNOXVILLE UTILITIES BOARD; GAS: KNOXVILLE UTILITIES BOARD.
 8. TELEPHONE: FRONTIER.
 9. THIS SUBDIVISION WILL HAVE A HOME OWNERS ASSOCIATION.
 10. BUILDING SETBACK LINES WILL BE AS FOLLOWS:
FRONT: 20'
SIDE: 5'
REAR: 15' UNLESS CONTROLLED BY 25' PERIPHERAL SET BACK ALONG OUTSIDE PROPERTY, 15' ALONG W. EMORY RD.
 11. THERE WILL BE A GREEN WAY SIDEWALK ALONG W. EMORY ROAD THIS WILL BE PART OF W. EMORY ROAD IMPROVEMENT DESIGN.
 12. "ALTERED DESIGN STANDARDS"
a. INTERSECTION GEAR ON FREEDOM BELL AVE AT ROAD "L" FROM 10% TO 12% BECAUSE OF TOPOGRAPHY.
b. INTERSECTION GEAR ON FREEDOM BELL AVE AT ROAD "M" FROM 10% TO 10% BECAUSE OF TOPOGRAPHY.
c. INTERSECTION GEAR ON FREEDOM BELL AVE AT ROAD "N" FROM 10% TO 10% BECAUSE OF TOPOGRAPHY.
d. INTERSECTION GEAR ON ROAD "O" AT ROAD "N" FROM 10% TO 10% AND FROM 10% TO 10% BECAUSE OF TOPOGRAPHY.
 13. FREEDOM BELL AVE REQUEST REDUCTION IN HORIZONTAL CURVE AT STA. 21+78 TO 21+68 FROM 25% TO 15%.
 14. ALL ROADS IN THIS SUBDIVISION ARE PUBLIC ROADS WITH 50' RIGHT OF WAY AND 20' WIDE PAVEMENT.
 15. WHERE ACCESS IS LIMITED TO OTHER ROAD SYSTEM ONLY.
 16. ALL FIRE HYDRANTS WILL BE LOCATED IN THE WATER PLAN.
 17. BOUNDARY IS BASED ON FIELD SURVEY.
 18. IF ANY FOUNDATION IS DESIRED WITHIN 5' OF THE TOP HATCHED LINE OF ANY DEPRESSION, A GEO-TECHNICAL INVESTIGATION MUST BE APPROVED BY KNOX COUNTY DEPT. OF ENGINEERING & PUBLIC WORKS AT A MINIMUM, LOTS 15 AND LOTS 22 & 23 WILL HAVE THIS STUDY. NO DRILLING OR TIE IS ALLOWED INSIDE THE HATCHED CONTOUR OF ANY SINKHOLE.
 19. NO STRUCTURE OR TREES WILL BE LOCATED INSIDE THE SIGHT DISTANCE EASEMENT AREA.
 20. ALL SIDEWALKS SHALL MEET ADA STANDARDS. ALL SIDEWALKS SHALL HAVE NO MORE THAN 2.1% AT ALL ROAD INTERSECTIONS.
 21. THIS CONCEPT IN GENERAL SHALL APPLY TO ALL APPROVED REGULATIONS IN THE BELLTOWN PRELIMINARY PLAN.



TYPICAL ROAD SECTION
THRU 50' ROAD & 26' WIDE PAVEMENT
"PUBLIC ROADS"
FOR ROADS B TO G



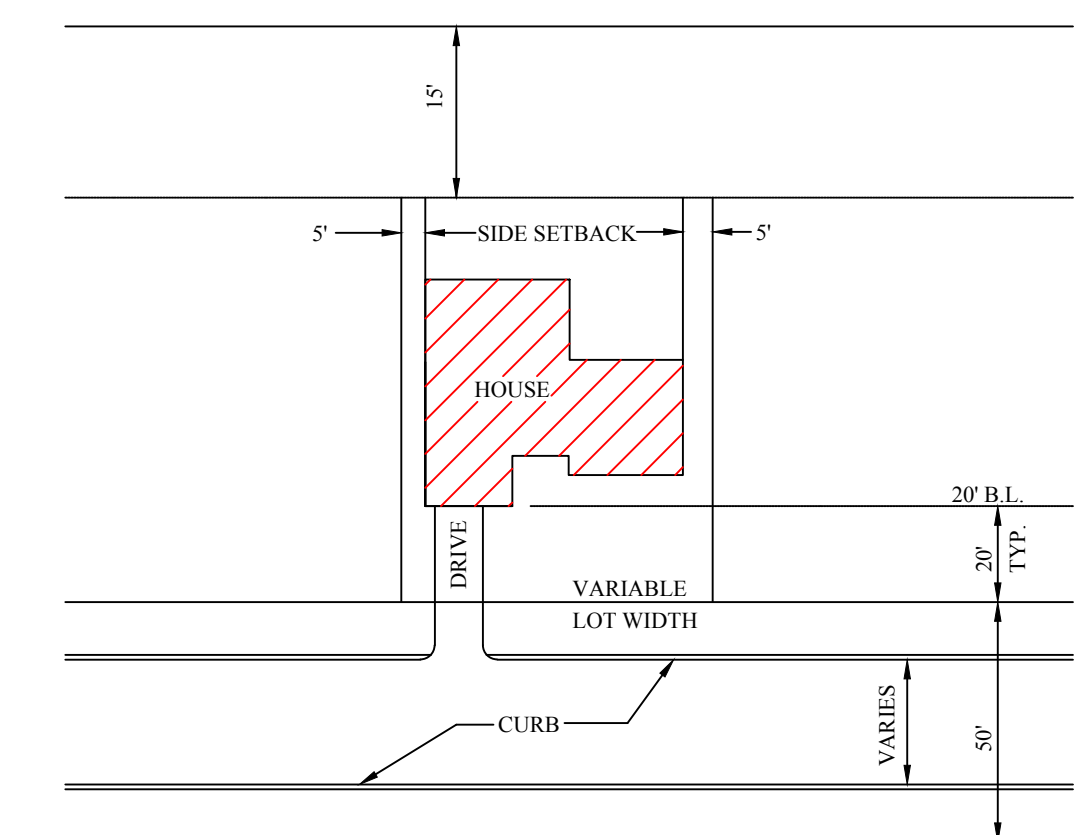
CERTIFICATION OF CONCEPT PLAN
I HEREBY CERTIFY THAT I AM AN ENGINEER, LICENSED TO PRACTICE UNDER THE LAWS OF THE STATE OF TENNESSEE, AND THAT THE ENGINEERING INFORMATION PROVIDED AS PART OF THIS DESIGN PLAN IS TRUE AND IS BASED ON SOUND ENGINEERING PRACTICE.

ENGINEER
TENNESSEE CERTIFICATE NO.

OWNER/DEVELOPER:
BELLTOWN LLC
4909 BALL RD.
KNOXVILLE, TN 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699

SITE ADDRESS:
0 FREEDOM BELL AVE.
POWELL, TENNESSEE 37849

5-SD-24-C
Revised: 4/19/2024



TYPICAL LOT LAYOUT
1" = 40'

NOTE:
CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY.
CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN ASCE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.
OSHA RULES SHALL BE ABIDED BY.

NOTE:
CONTRACTOR TO NOTIFY ENGINEER BEFORE START OF CONSTRUCTION



SOUTHLAND ENGINEERING CONSULTANTS, LLC
GENERAL CIVIL & LAND SURVEYORS
4909 BALL ROAD
KNOXVILLE, TENNESSEE 37931
PHONE: (865) 694-7756
FAX: (865) 693-9699

DESIGNED	WAR	APPROVED
		ENGINEER
DRAWN	WAR	
CHECKED	WAR	

NO.	DATE	REVISION	APPR.
1	4-18-24	REVISED PER KNOX PLANNING COMMENTS	

CONTOUR INTERVAL: 2'
(KGIS TOPOGRAPHIC)

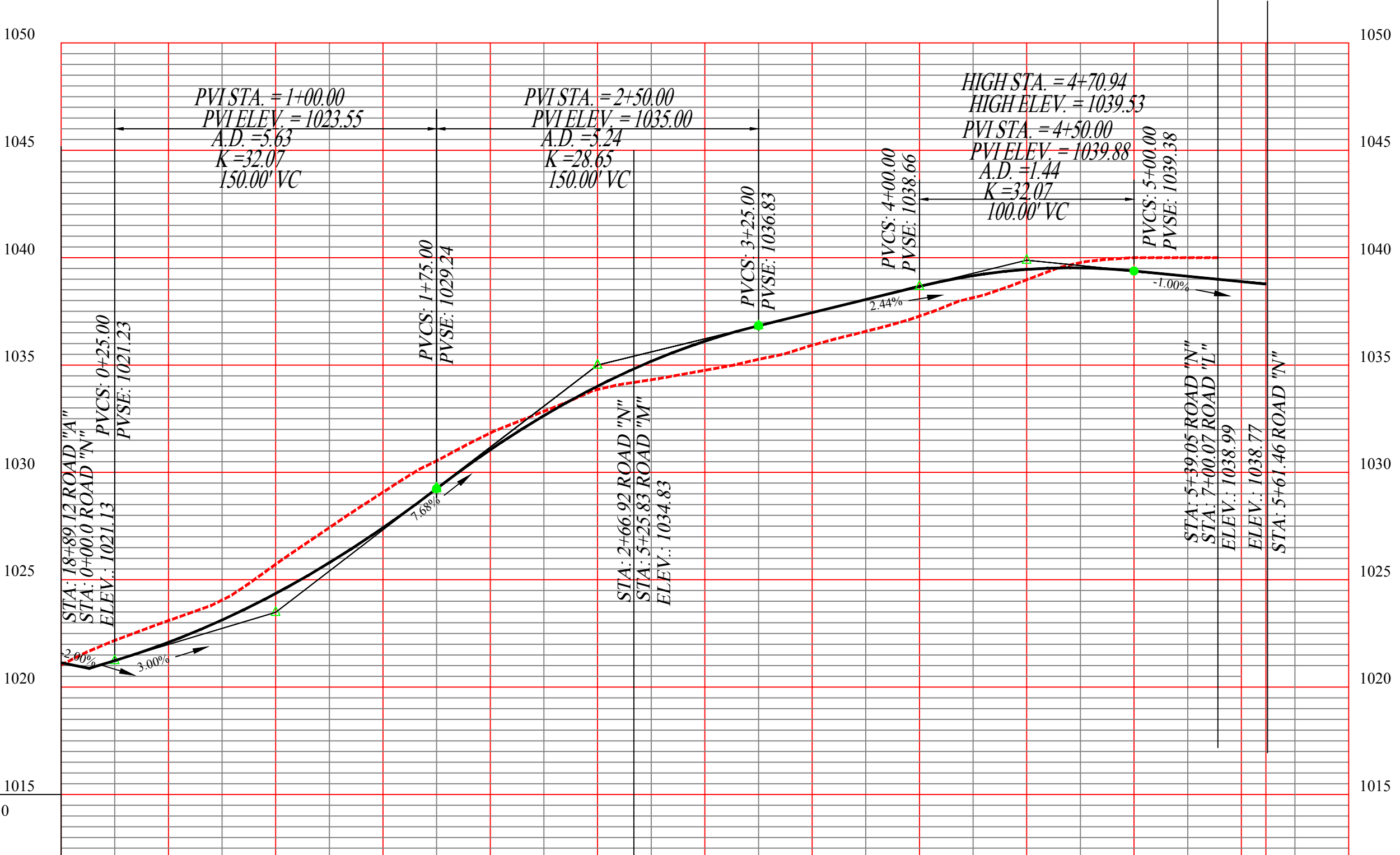
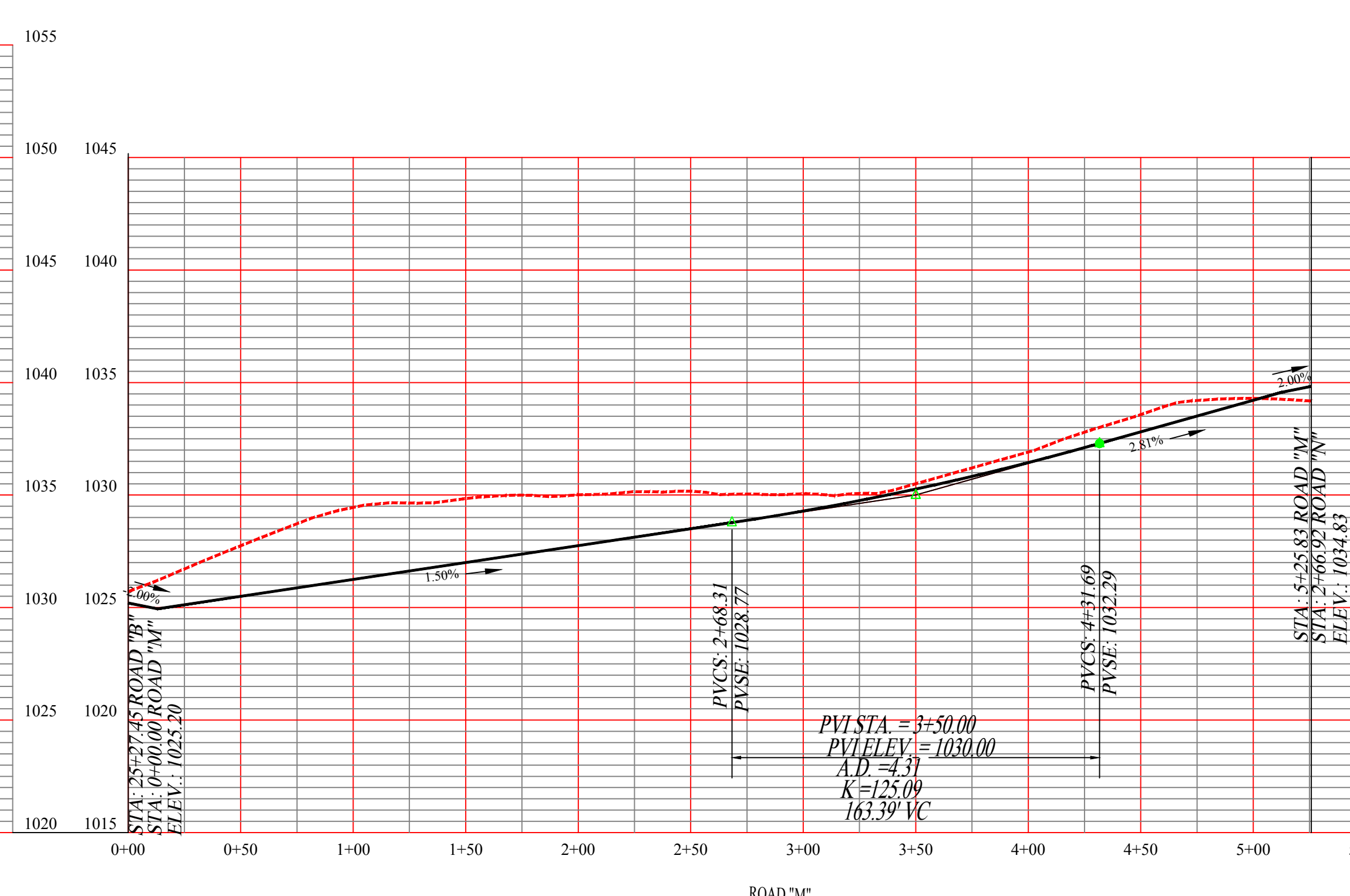
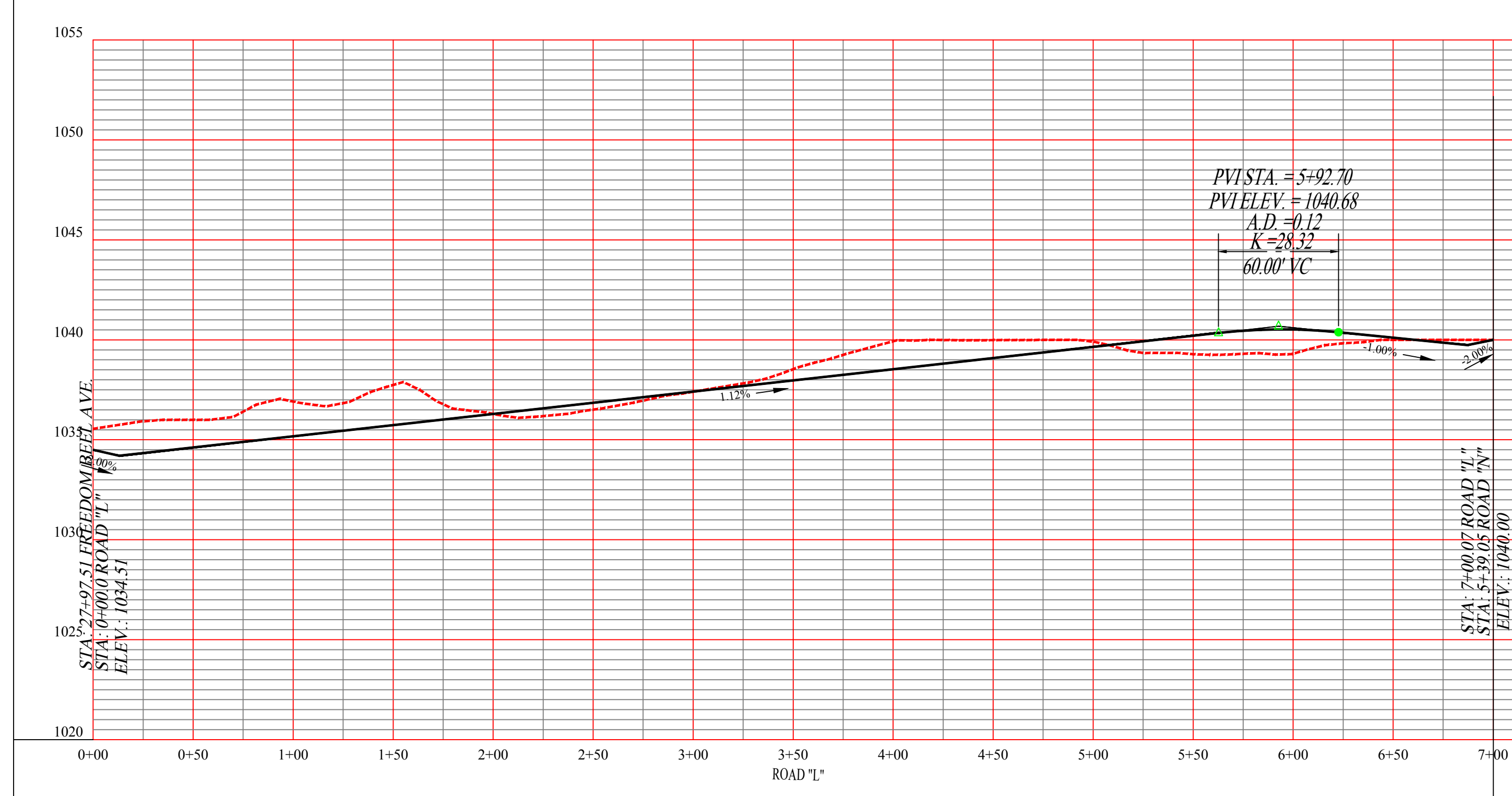
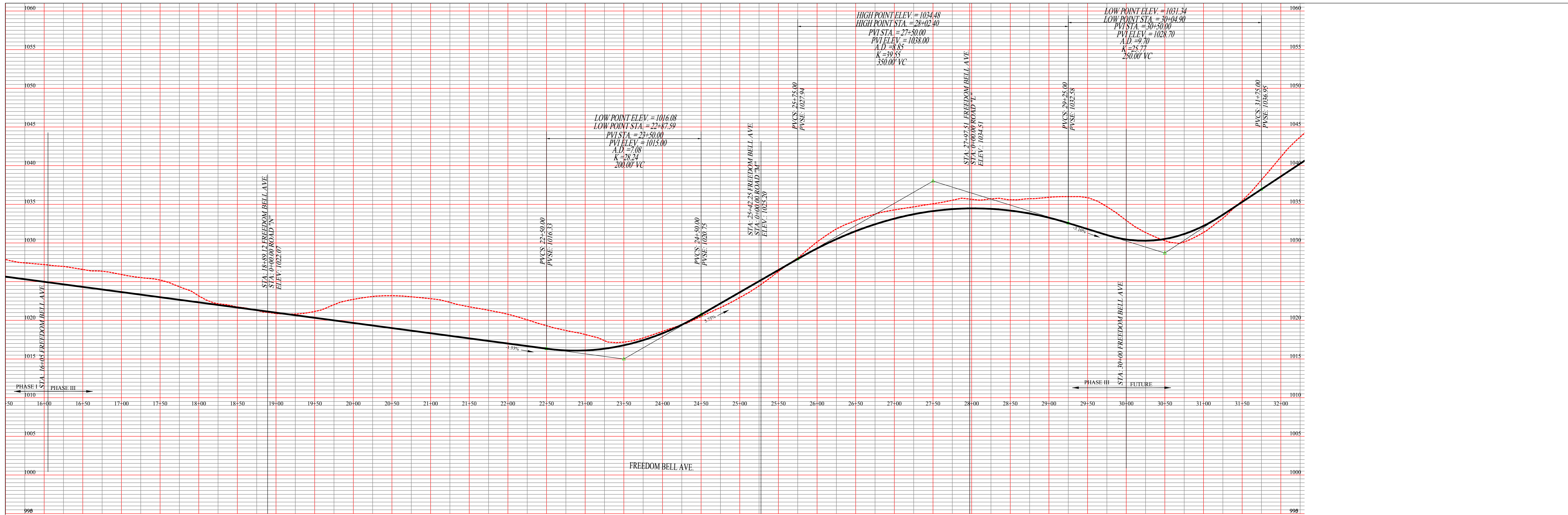
SCALE
HORIZONTAL: 1" = 50'
CONTOUR INTERVAL: 2'
DATE
3-20-24

DEED REFERENCES:
INST. # 200409270026241
INST. # 201812040034261

SCALE IN FEET

CONCEPT & DESIGN PLAN, PHASE III
BELLTOWN DEVELOPMENT ON W. EMORY ROAD
CLT MAP 066, PART PARCEL 121
DISTRICT 6, KNOX COUNTY, TENNESSEE

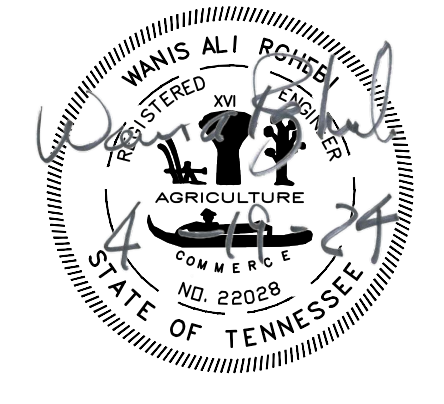
PT-03-20-24-CP
SHEET 2 OF 4 SHEET(S)



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5-SD-24-C
Revised: 4/19/2024

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DESIGNED	WAR	APPROVED	
DRAWN	WAR	ENGINEER	
CHECKED	WAR		

NO.	DATE	REVISION	APPR.
1	4/18/24	REVISED PER KNOX PLANNING COMMENTS	
		REVISION	APPR.

ROAD PROFILE FREEDOM BELL AVE.
STA. 13+00 TO 32+50
ROAD PROFILES L, M, N & O

SCALE
HORIZONTAL SCALE: 1"= 50'
VERTICAL SCALE: 1"=5'
DATE
3-20-24

DEED REFERENCES:
INST. # 200409270026241
INST. # 201812040034261
50 0 50 100
SCALE IN FEET

5-SD-24-C

ROAD PROFILES PLAN, PHASE III FOR
BELLTOWN DEVELOPMENT ON W. EMORY ROAD
CLT MAP 066, PART PARCEL 121
DISTRICT 6, KNOX COUNTY, TENNESSEE

PT-03-20-24-CP
SHEET 3 OF 3 SHEET(S)