

VICINITY MAP
NTS

COOK OUT

FRESH HAMBURGERS

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NORTH CAROLINA 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

SITE ADDRESS: 2900 N. BROADWAY
KNOXVILLE, TENNESSEE
CSD PROJECT NUMBER: OUT-2127

CONTACT INFORMATION	
FIRE	KNOXVILLE FIRE DEPARTMENT 900 E. HILL AVENUE, SUITE 430 KNOXVILLE, TENNESSEE 37915 CONTACT: STAN SHARP - FIRE CHIEF PHONE: (865) 595-4480
STORMWATER:	STORMWATER ENGINEERING DIVISION 400 MAIN STREET, SUITE 480 P.O. BOX 1631 KNOXVILLE, TENNESSEE 37901 CONTACT: JAMES R. HAGERMAN, ENGINEERING DIRECTOR PHONE: (865) 594-8337
WATER, SANITARY SEWER, GAS, ELECTRIC:	KNOXVILLE UTILITY BOARD 445 S. GAY STREET KNOXVILLE, TENNESSEE 37902 CONTACT: TIM BRANSON PHONE: (865) 594-8337
DOT	TDOT 7345 REGION LANE KNOXVILLE, TENNESSEE 37914 PHONE: (865) 594-2403
HEALTH	KNOX COUNTY HEALTH 140 DAMERON AVENUE KNOXVILLE, TENNESSEE 37917
PLANNING / ZONING:	CITY OF KNOXVILLE 400 W. MAIN STREET, SUITE 505 KNOXVILLE, TENNESSEE CONTACT: DeANN BOGUS PHONE: (865) 215-4282

24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

SITE INFORMATION	
SITE ADDRESS:	2900 N. BROADWAY
OWNER / DEVELOPER:	COOK OUT 15 LAURA LANE, SUITE 300 THOMASVILLE, NORTH CAROLINA 27360 PHONE: (336) 215-7025 FAX: (336) 474-1849
DESIGNER:	SAMBATEK NC PC 8312 CREEDMOOR ROAD RALEIGH, NORTH CAROLINA 27613 PHONE: (919) 848-6121 FAX: (919) 848-3741
ZONING:	C-G-2
EXISTING USE:	GAS STATION
PROPOSED USE:	RESTAURANT WITH DRIVE-THROUGH
BUILDING SETBACKS: RIGHT OF WAY SIDE REAR	20 FEET 10 FEET 0 FEET
PARKING REQUIREMENTS:	6 SPACES PER 1,000 SF OF GFA 3,130 / 1,000 = 3.1 X 6 = 18.6 SPACES
PARKING PROVIDED:	29 REGULAR SPACES 2 HANDICAP SPACES 31 TOTAL SPACES
SITE AREA: DISTURBED AREA: EXISTING IMPERVIOUS AREA: PROPOSED IMPERVIOUS AREA:	34,038 SF OR 0.78 ACRES 36,864 SF OR 0.85 ACRES 28,774 SF OR 0.66 ACRES 27,495 SF OR 0.63 ACRES
BUILDING AREA:	3,130 SF
WATER:	KNOXVILLE UTILITY BOARD
SEWER:	KNOXVILLE UTILITY BOARD

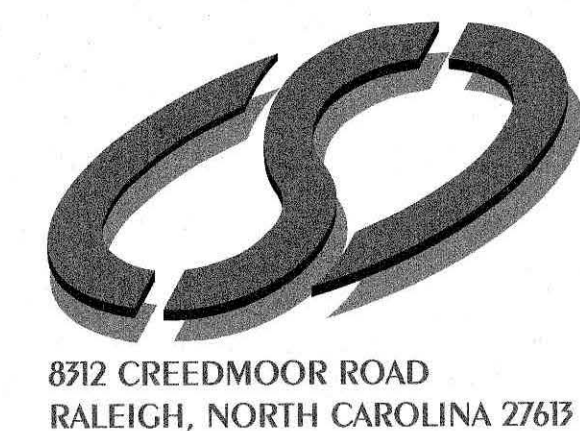
SHEET INDEX

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- C-4 UTILITY PLAN
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- C-8 DETAILS
- C-9 DETAILS
- A2.1 BUILDING ELEVATIONS
- A2.2 BUILDING ELEVATIONS

6-B-23-SU
4/24/2023

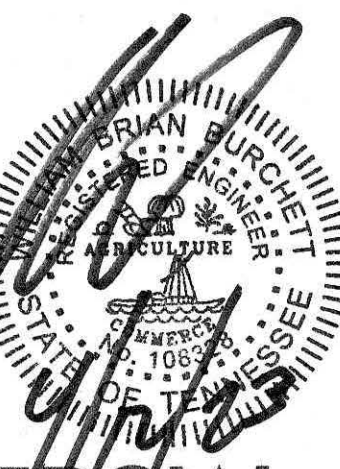
REVISIONS:

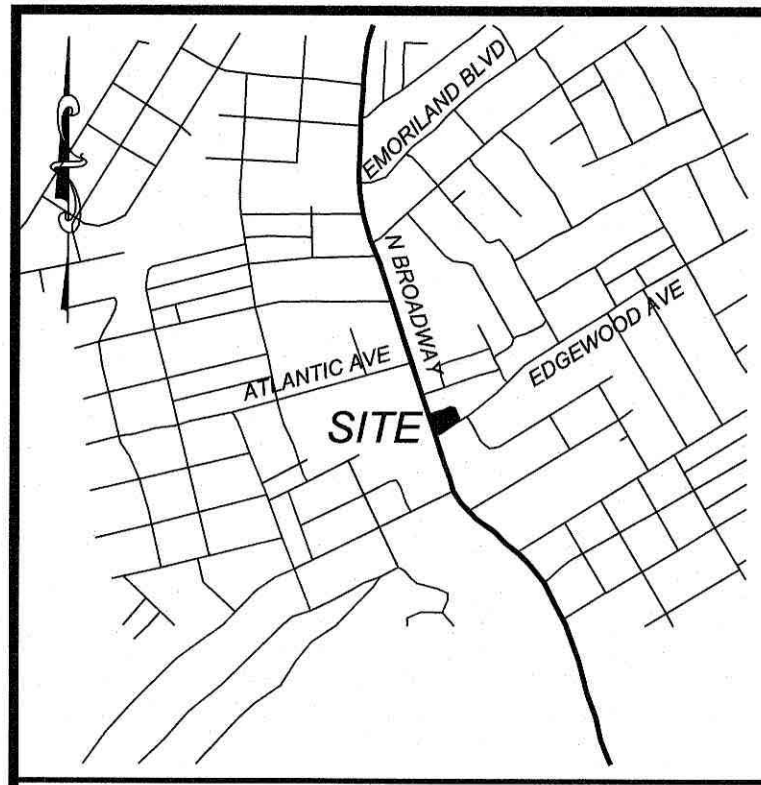
NO.	DATE	DESCRIPTION	BY
1	3-27-2023	REVISE PER PRESUBMITTAL COMMENT	KL



COMMERCIAL
SITE DESIGN

A Sambatek Company
(919) 848-6121, FAX: (919) 848-3741
WWW.CSITEDESIGN.COM





VICINITY MAP
NTS

CURVE TABLE								
CURVE	FIELD LENGTH	DEED LENGTH	RADIUS	DELTA	FIELD BEARING	DEED BEARING	CHORD	TANGENT
C1	31.41'	31.42'	20.00'	89.98°	S25°15'53"W	S25°17'41"W	28.28'	19.99'
C2	31.41'	31.42'	20.00'	89.98°	S64°44'07"E	S64°42'19"E	28.28'	19.99'
C3	31.41'	31.42'	20.00'	89.98°	N25°15'52"E	N25°17'40"E	28.28'	19.99'
C4	18.33'	18.33'	10.00'	105.03°	N72°14'56"W	N72°13'08"W	15.87'	13.04'

LINE TABLE		
Line #	Direction	Length
L-1	S 70°15'53" W	20.00
L-2	S 19°44'07" E	20.00
L-3	N 70°15'53" E	10.00
L-4	N 70°15'53" E	20.00

FLOOD INFORMATION

SUBJECT PROPERTY IS LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN 0.2% ANNUAL CHANCE FLOOD HAZARD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTH OF LESS THAN 1', AS DEFINED BY HUD F.I.R.M. COMMUNITY PANEL NUMBER 47093C0281G, WITH AN EFFECTIVE DATE OF AUGUST 05, 2013.

GENERAL NOTES:

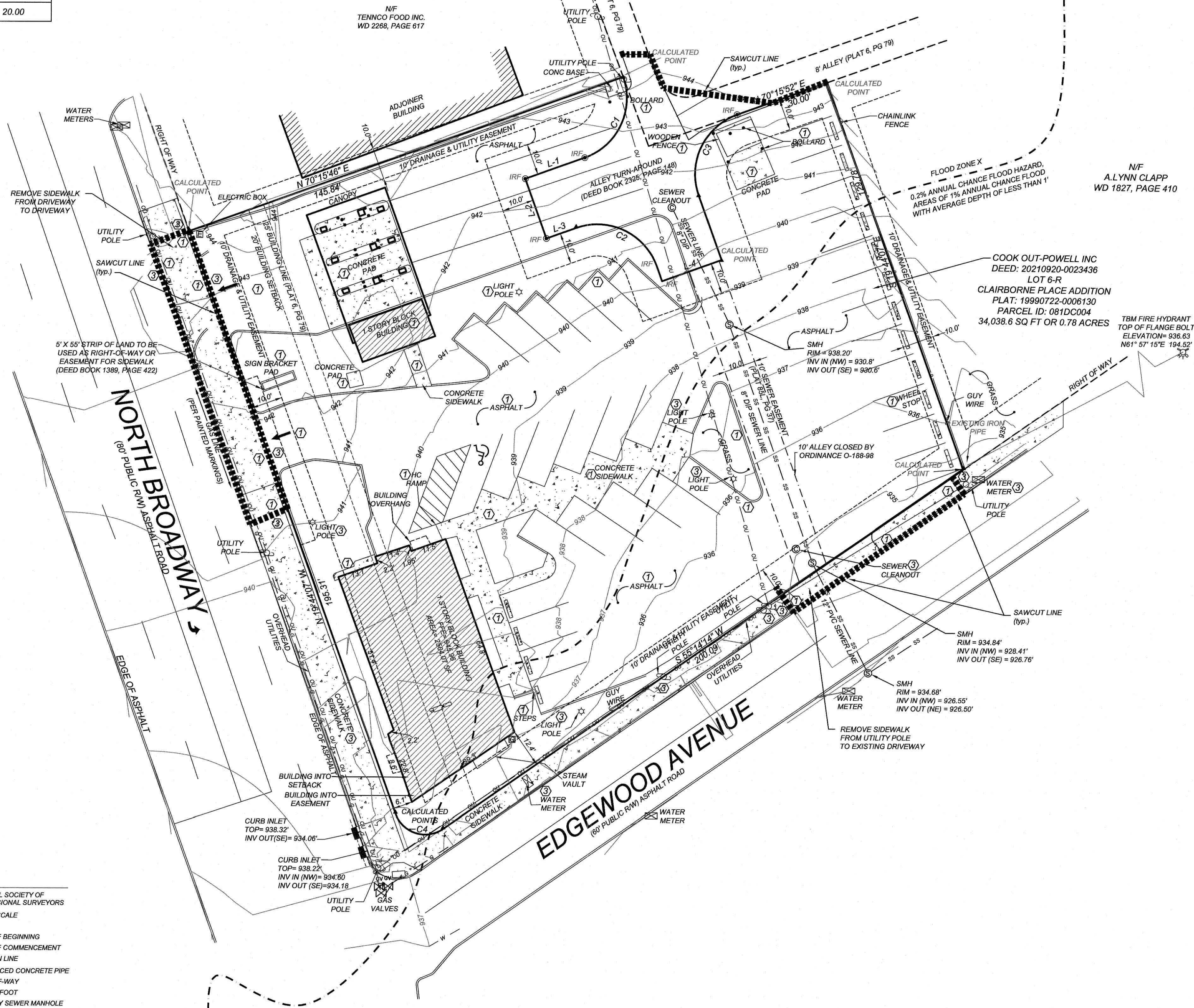
- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY:
COMMERCIAL SITE DESIGN, PLLC
8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613
PHONE: (919) 848-6121
FAX: (919) 848-3741
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DEMOLITION KEYNOTES

- REMOVE EXISTING ITEM, COORDINATE REMOVAL WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- RELOCATE EXISTING ITEM, COORDINATE RELOCATION WITH APPLICABLE FEDERAL, STATE, COUNTY, CITY, LOCAL AGENCIES OR LOCAL UTILITY COMPANY.
- ITEM TO REMAIN.

----- SAWCUT LINE

X EXISTING TREE TO BE REMOVED

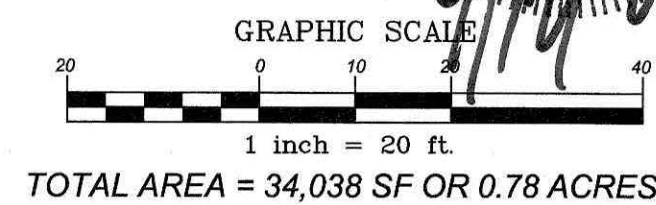


24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

LEGEND

▲ CALCULATED POINT	AC = ACRES	NSPS = NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
○ EXISTING IRON PIPE	ACSM = AMERICAN CONGRESS ON SURVEYING AND MAPPING	NTS = NOT TO SCALE
○ IRON PIPE SET	ALTA = AMERICAN LAND TITLE ASSOCIATION	PG. = PAGE
○ BORE HOLE	B.M. = BOOK OF MAPS	P.O.B. = POINT OF BEGINNING
○ SANITARY SEWER MANHOLE	CB = CATCH BASIN	P.O.C. = POINT OF COMMENCEMENT
○ SANITARY SEWER CLEANOUT	CMP = CORRUGATED METAL PIPE	P.O.L. = POINT ON LINE
○ WATER VALVE	D.B. = DEED BOOK	R.C.P. = REINFORCED CONCRETE PIPE
○ WATER METER	EIP = EXISTING IRON PIPES	R/W = RIGHT-OF-WAY
○ FIRE HYDRANT	ELEV = ELEVATION	SF = SQUARE FOOT
○ TELEPHONE PEDESTAL	E.M. = ELECTRIC METER	SMH = SANITARY SEWER MANHOLE
○ TELEPHONE MANHOLE	FIRM = FLOOD INSURANCE RATE MAP	S.R. = STATE ROAD
○ ELECTRIC BOX	GPS = GLOBAL POSITIONING SYSTEM	TBM = TEMPORARY BENCH MARK
○ LIGHT POLE	HUD = HOUSING URBAN DEVELOPMENT	T/C = TOP CURB
○ POWER POLE	HYD = FIRE HYDRANT	TWSP = TOWNSHIP
○ CURB INLET	INV = INVERT	TYP = TYPICAL
○ STORM DRAINAGE MANHOLE	IPS = IRON PIPE SET	Y.I. = YARD INLET
○ YARD INLET	LLC = LIMITED LIABILITY COMPANY	
----- STORM DRAIN	MPH = MILES PER HOUR	
----- OVERHEAD UTILITIES	MSL = MEAN SEA LEVEL	
----- UNDERGROUND ELECTRIC	NAD = NORTH AMERICAN DATUM	
----- UNDERGROUND TELEPHONE	NF = NOW OR FORMERLY	
----- WATER LINE	NGS = NORTH CAROLINA GEODETIC SURVEY	
----- SANITARY SEWER LINE	NGVD = NATIONAL GEODETIC VERTICAL DATUM	
----- GAS LINE		
----- FENCE LINE		

6-B-23-SU
4/24/2023



TOTAL AREA = 34,038 SF OR 0.78 ACRES



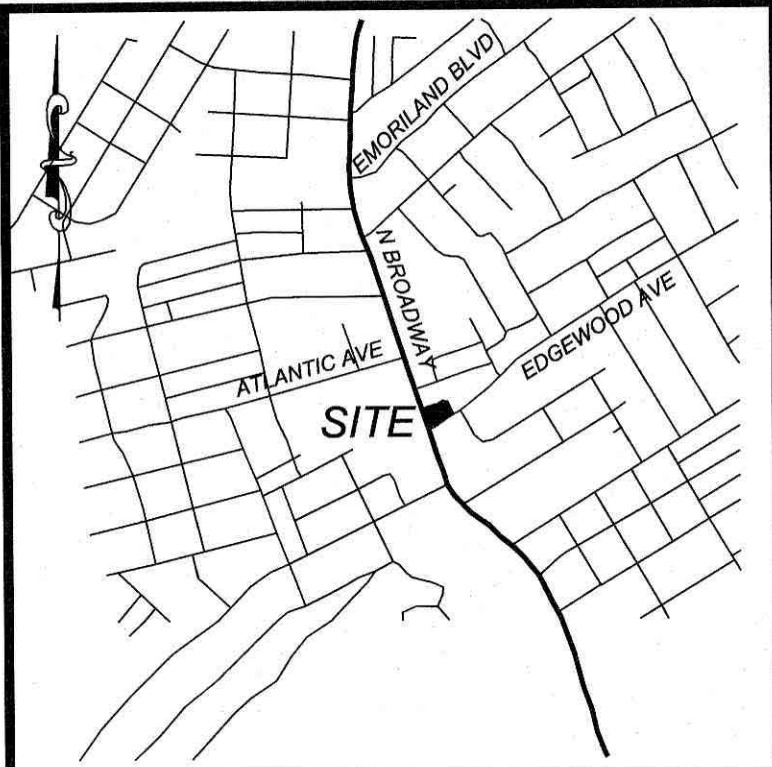
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

COOKOUT
FRESH HAMBURGERS
2900 N. BROADWAY
KNOXVILLE, TENNESSEE

EXISTING CONDITIONS / DEMOLITION PLAN

PROJECT NO: OUT-2127
FILENAME: OUT2127-DP
DRAWN BY: STH
SCALE: 1" = 20'
DATE: 12-22-2022
SHEET NO.

C-1



VICINITY MAP
NTS

CURVE TABLE								
CURVE	FIELD LENGTH	DEED LENGTH	RADIUS	DELTA	FIELD BEARING	DEED BEARING	CHORD	TANGENT
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SITE KEYNOTES:

- CONSTRUCT 2.0' STANDARD CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' ROLLED CONCRETE SPILLING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' STANDARD CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT 2.0' ROLLED CONCRETE CATCHING CURB AND GUTTER PER DETAIL SHEET
- CONSTRUCT CONCRETE SIDEWALK PER DETAIL SHEET, CONTRACTOR SHALL COORDINATE STAMPING PATTERN AND COLOR OF BUILDING ISLAND SIDEWALK WITH OWNER
- CONCRETE SIDEWALK PER DETAIL SHEET MATCH EXISTING WIDTH OF EXISTING SIDEWALKS
- CONSTRUCT CONCRETE HANDICAP RAMP PER DETAIL SHEET
- HANDICAP PARKING STALL
- INSTALL HANDICAP PARKING SIGN PER DETAIL SHEET
- INSTALL "VAN ACCESSIBLE" HANDICAP PARKING SIGN PER DETAIL SHEET
- CONCRETE PAVEMENT (COLOR - BLACK), PER DETAIL SHEET
- ASPHALT PAVEMENT PER DETAIL SHEET
- TRANSFORMER PAD BY GENERAL CONTRACTOR, PER ELECTRIC COMPANY SPECIFICATIONS, (COORDINATE SIZE & LOCATION WITH UTILITY COMPANY)
- CONSTRUCT DUMPSTER PAD, MINIMUM 6" CONCRETE WITH 4" ABC BASE, AND TRASH ENCLOSURE WITH GATES, SEE ARCHITECTURAL SHEETS FOR DETAIL, MATERIALS TO MATCH BUILDING
- CONCRETE WHEEL STOP PER DETAIL SHEET
- POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN
- PAINT 4" WIDE STRIPE, WHITE PAINT, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- PAINT 4" WIDE MINI-SKIP STRIPE, WHITE PAINT, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- PAINT 4" WIDE STRIPE @ 45°, 2 FEET APART, MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)
- PAINT TRAFFIC ARROWS PER DETAIL SHEET
- SITE IDENTIFICATION SIGN, CONTRACTOR SHALL COORDINATE WITH OWNER AND CITY.
- PAINT 24" STOP BAR PER DOT AND MUTCD STANDARDS
- MATCH EXISTING CURB & GUTTER
- ASPHALT/CONCRETE TRANSITION PER DETAIL
- INSTALL STEEL PIPE BOLLARD PER DETAIL SHEET
- MATCH EXISTING ASPHALT PAVEMENT
- MATCH EXISTING CONCRETE SIDEWALK
- PAINT CROSSWALK PER DETAIL SHEET
- PREVIEW BOARD, COORDINATE WITH OWNER
- MENU BOARD, COORDINATE WITH OWNER
- INSTALL 42" HIGH SAFETY RAILING, FINISH POWDER COAT RED, SEE DETAIL SHEET
- NOSE DOWN CURB PER DETAIL
- INSTALL "STOP" SIGN AND "DO NOT ENTER" SIGN PER MUTCD AND DOT STANDARDS AND SPECIFICATIONS
- CONSTRUCT CONCRETE CURB AND GUTTER PER DOT STANDARD AND SPECIFICATIONS

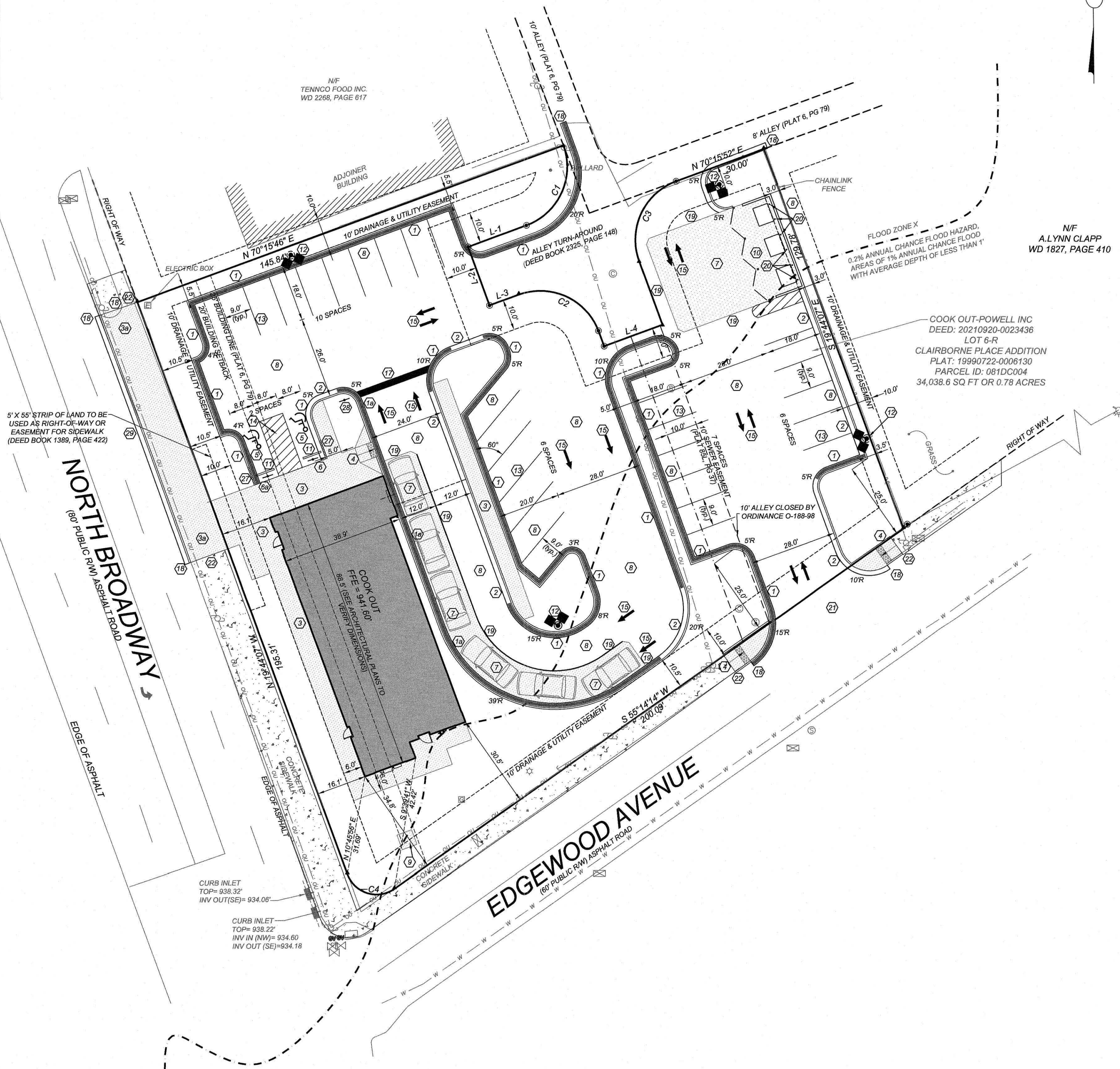
24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

SITE LEGEND

- SPILL CURB
- HANDICAP RAMP
- HANDICAP STALL
- CONCRETE
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION

CURBING NOTE:
STANDARD CURB AND GUTTER SHALL BE INSTALLED AT BUILDING ISLAND DIRECTLY ADJACENT TO BUILDING ONLY, AND AT THE FRONT OF ALL PARKING STALLS. ROLLED CURB AND GUTTER SHALL BE INSTALLED THROUGHOUT REMAINDER OF SITE.

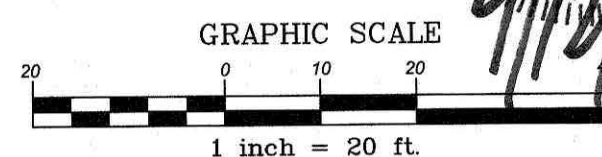
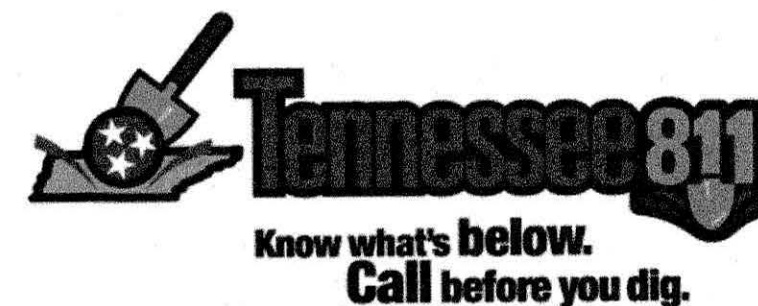
PAINT NOTE:
ALL PAINT STRIPING SHALL BE APPLIED AT A MINIMUM FLOW RATE OF 100 SF PER GALLON (PAINT FEDERAL STANDARD: TT-P-1952D)



GENERAL NOTES:

- THE INFORMATION SHOWN HEREIN WAS TAKEN FROM A TOPOGRAPHIC SURVEY PREPARED BY:
COMMERCIAL SITE DESIGN
8312 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613
PHONE: (919) 889-6121
- THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL HANDICAP SITE FEATURES SHALL BE CONSTRUCTED TO MEET ALL FEDERAL, STATE AND LOCAL CODES.
- ANY DISCREPANCY IN THIS PLAN AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO START OF CONSTRUCTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SETBACKS, EASEMENTS, AND DIMENSIONS SHOWN HEREON BEFORE BEGINNING CONSTRUCTION.
- PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
- ACCESS TO UTILITIES, FIRE HYDRANTS, STREET LIGHTING, ETC., SHALL REMAIN UNDISTURBED, UNLESS COORDINATED WITH RESPECTIVE UTILITY.
- CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
- ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED.
- DO NOT SCALE THIS DRAWING AS IT IS A REPRODUCTION AND SUBJECT TO DISTORTION.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL TRASH AND DEBRIS FROM THE SITE UPON COMPLETION OF THE PROJECT AND AT LEAST ONCE A WEEK DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL KEEP THE AREA OUTSIDE THE "CONSTRUCTION LIMITS" BROOM CLEAN AT ALL TIMES.
- GENERAL CONTRACTOR WILL ERECT AND ILLUMINATE A SITE IDENTIFICATION SIGN, PER OWNER'S SPECIFICATION. COORDINATE LOCATION WITH OWNER'S REPRESENTATIVE
- FINISH CURB AND WALK ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT GRADE UNLESS NOTED DIFFERENT ON PLAN.
- CONTRACTOR SHALL ENSURE THAT ADEQUATE SITE LIGHTING IS PROVIDED PER OWNER'S SPECIFICATIONS.
- ALL RADI DIMENSIONS ARE TO FACE OF CURB.
- ALL UTILITIES TO SERVICE BUILDING SHALL BE UNDERGROUND ON SITE, UNLESS OTHERWISE INDICATED.
- ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR REPAIRED IN ACCORDANCE WITH THE SPECIFICATIONS.
- ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE PLANNED TO BE BARE FOR MORE THAN 45 DAYS SHALL BE SEED AND MULCHED WITHIN SEVEN (7) DAYS.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE. OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT TENNESSEE "811" AT (800) 351-1111 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL LOT STRIPING AND DIRECTIONAL ARROWS TO BE WHITE REFLECTIVE MARKINGS AND SHALL CONFORM TO LOCAL REGULATIONS.
- COMPACTION AND MAINTENANCE OF PROPER MOISTURE CONTENT OF THE SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE ACCOMPLISHED TO ACHIEVE 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY OR AS RECOMMENDED IN THE SOIL REPORT.
- THE CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
- ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
- THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.
- ALL PARKING LOT DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL COORDINATE EXACT SIZE OF HVAC CONCRETE PADS WITH MECHANICAL CONTRACTOR. REFER TO MECHANICAL PLANS FOR DETAILS.
- ALL SEEDING, TEMPORARY AND PERMANENT, TO BE INSTALLED TO LOCAL REGULATIONS AND STANDARD PRACTICES.
- ALL ROAD WORK SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
- ANY AND ALL QUANTITIES SHOWN OR IMPLIED ON THESE PLANS ARE FOR ESTIMATION PURPOSES ONLY.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE IRRIGATION CONTRACTOR, FOR IRRIGATION SLEEVE SIZE FOR IRRIGATION SYSTEM.
- CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.

6-B-23-SU
4/24/2023



REVISIONS

NO.	DATE	DESCRIPTION
1	27-3-2023	PER PRESUBMITTAL COMMENT

CLIENT/OWNER:

COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27480
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

PROJECT NO.

OUT-2127

FILENAME:

OUT1738-SP

DRAWN BY:

STH

SCALE:

1"= 20'

DATE:

12-22-2022

SHEET NO.

C-2

COMMERCIAL SITE DESIGN

A Sambalet Company

(919) 888-6121 FAX: (919) 888-6741

WWW.CSITDESIGN.COM

8312 CREEDMOOR ROAD

RALEIGH, NORTH CAROLINA 27613

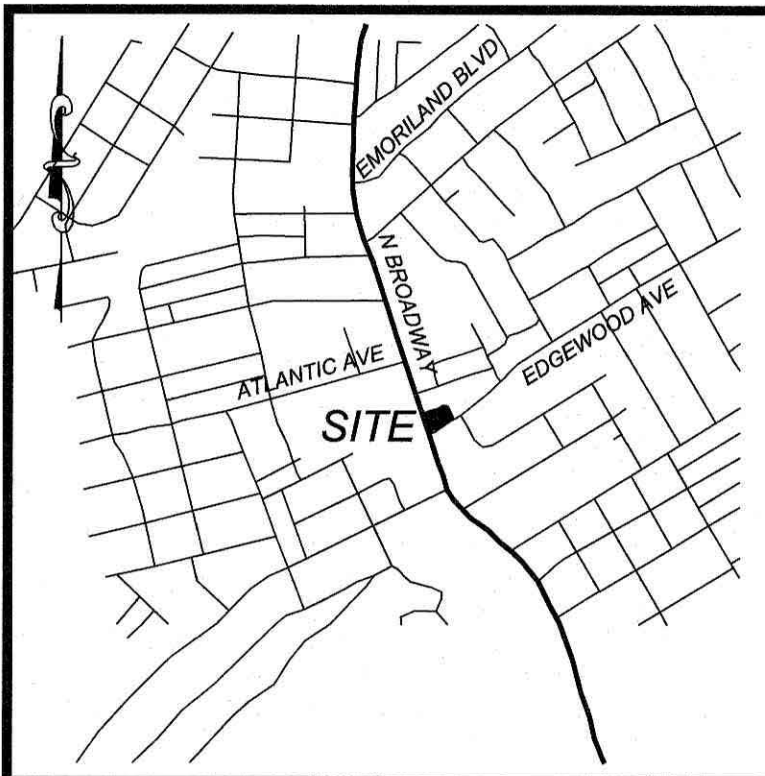
811

COOK OUT FRESH HAMBURGERS

2900 N. BROADWAY

KNOXVILLE, TENNESSEE

SITE PLAN



VICINITY MAP
NTS

MAINTENANCE NOTES:

IN GENERAL, ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED AND MAINTAINED DAILY AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES. ANY SEDIMENT THAT HAS BEEN TRANSPORTED BEYOND THE PROJECT LIMITS SHALL BE REMOVED. THE FOLLOWING ITEMS WILL BE CHECKED IN PARTICULAR:

CONSTRUCTION ENTRANCE:
INSPECT CONSTRUCTION ROADS AND PARKING AREAS PERIODICALLY FOR CONDITION OF SURFACE. TOP DRESS WITH NEW GRAVEL AS NEEDED. CHECK ROAD DITCHES AND OTHER SEEDING AREAS FOR EROSION AND SEDIMENTATION AFTER RUNOFF-PRODUCING RAINS. MAINTAIN ALL VEGETATION IN A HEALTHY, VIGOROUS CONDITION. SEDIMENT PRODUCING AREAS SHOULD BE TREATED IMMEDIATELY.

SILT FENCE:
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

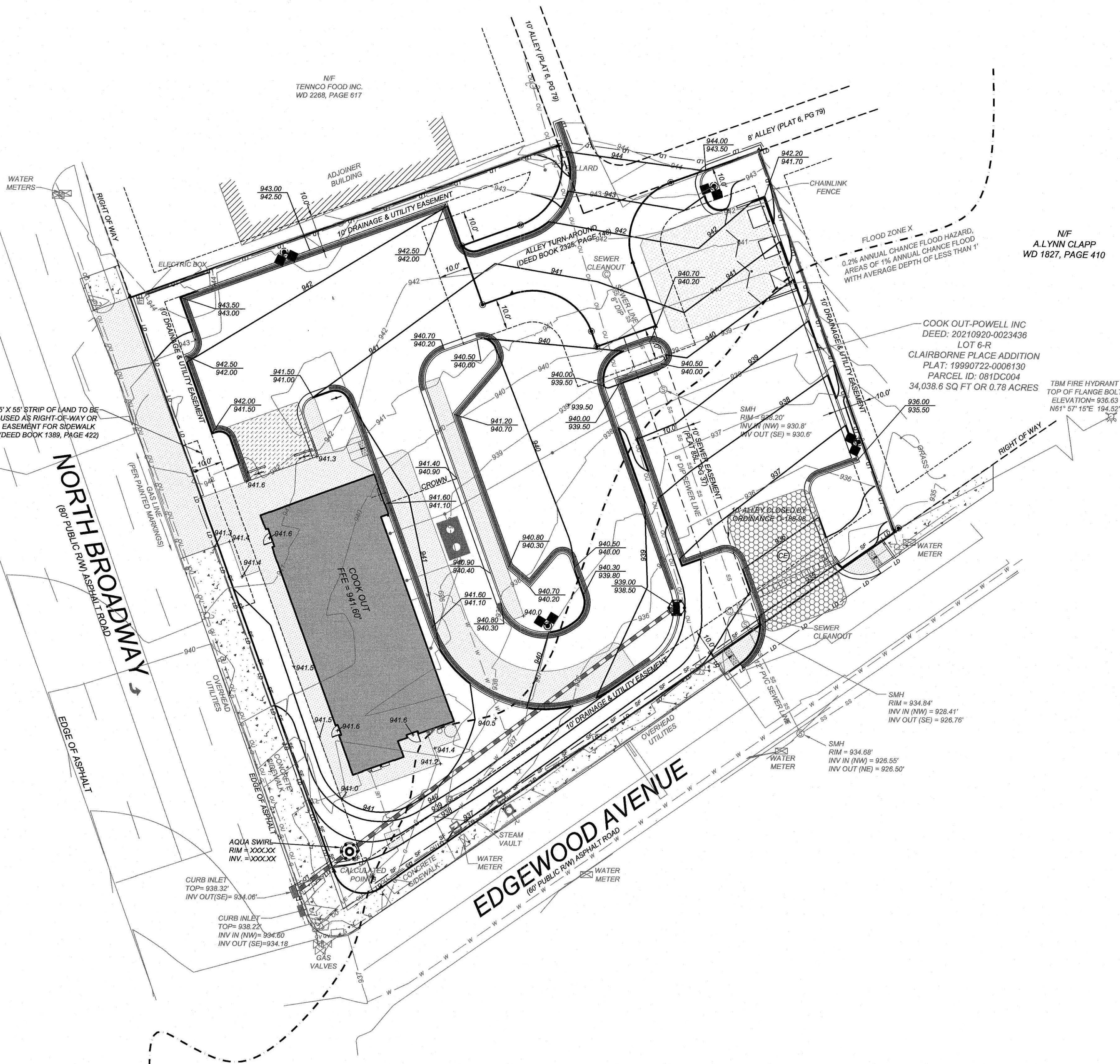
SILT FENCE GRAVEL OUTLET:
INSPECT SEDIMENT FENCE GRAVEL OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN. ANY RIP RAP DISPLACED MUST BE REPLACED IMMEDIATELY.

OUTLET STABILIZATION STRUCTURE:
INSPECT RIP RAP STRUCTURES WEEKLY AND AFTER SIGNIFICANT (0.5 INCH OR GREATER) RAINFALL. EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIP RAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

BLOCK AND GRAVEL INLET PROTECTION:
INSTALL SILT FENCE GRAVEL OUTLETS AT ALL LOW POINTS IN FENCE. INSPECT THE BARRIER OF AFTER EACH RAIN AND MAKE REPAIRS AS NEEDED. REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS. WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY. BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. APPROPRIATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

DIVERSION DITCHES:
INSPECT TEMPORARY DIVERSIONS ONCE A WEEK AND AFTER EVERY RAINFALL. IMMEDIATELY REMOVE SEDIMENT FROM THE FLOW AREA AND REPAIR THE DIVERSION RIDGE. CAREFULLY CHECK OUTLETS AND MAKE TIMELY REPAIRS AS NEEDED. WHEN THE AREA PROTECTED IS PERMANENTLY STABILIZED, REMOVE THE RIDGE AND THE CHANNEL, TO BLEND WITH THE NATURAL GROUND LEVEL, AND APPROPRIATELY STABILIZE IT.

CONTRACTOR TO INSTALL ROOF DRAINS AROUND BUILDING AND EXTEND TO OUTLET AT 2% MINIMUM. COORDINATE DOWNSPOUT LOCATIONS WITH ARCHITECT.



CONSTRUCTION SEQUENCE:

1. OBTAIN A LAND DISTURBING PERMIT. SCHEDULE A PRE-CONSTRUCTION MEETING.
2. INSTALL GRAVEL CONSTRUCTION PAD, TEMPORARY DIVERSIONS, SILT FENCE, SEDIMENT TRAPS OR OTHER MEASURES AS SHOWN ON THE APPROVED PLAN. CLEAR ONLY AS NECESSARY TO INSTALL THESE DEVICES. SEED TEMPORARY DIVERSIONS, BERMS, AND BASINS IMMEDIATELY AFTER CONSTRUCTION. SEE DETAIL ON SEEDING SCHEDULE. CONTRACTOR SHALL BEGIN WITH SEDIMENT FENCING AND ALL OTHER SEDIMENT CONTAINMENT DEVICES FOLLOWED BY ALL DIVERSION AND BY-PASS DITCHES/BERMS.
3. BEGIN CLEARING/GRUBBING AND GENERAL EXCAVATION ON SITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PHASE/STAGE EROSION CONTROL TO ALLOW FOR CONSTRUCTION.
NOTE: CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION DEVICES AT LEAST ONCE A WEEK AND AFTER EVERY RAINFALL. GRADING ACTIVITY SHALL BE PROHIBITED IN THE AREAS OF THE SEDIMENT CONTROL DEVICES/SEDIMENT TRAPS UNTIL THE AREAS UPSTREAM OF THESE DEVICES HAVE BEEN STABILIZED AND APPROVED.
4. BEGIN INSTALLING UPSTREAM STORM DRAINAGE SYSTEM. INSTALL APPROVED INLET PROTECTION. TERMINATE STORM DRAINAGE SYSTEM AT TEMPORARY SEDIMENT TRAP DEVICES UNTIL SUCH DEVICES HAVE BEEN APPROVED FOR REMOVAL. ADDITIONAL MEASURES MAY BE REQUIRED BY THE INSPECTOR DUE TO THE ROUTING OF THE STORM DRAINAGE SYSTEM AND ACTUAL FIELD CONDITIONS.
NOTE: SEDIMENT BASINS SHALL BE FUNCTIONAL THROUGHOUT GRADING AND EXCAVATING.
5. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH LININGS, ETC. SEED AND MULCH DENUDED AREAS WITHIN FIFTEEN (15) DAYS OF COMPLETION OF ANY PHASE OF CONSTRUCTION.
NOTE: THE CONTRACTOR SHALL ENSURE THAT THE EROSION CONTROL DEVICES REMAIN UNDISTURBED DURING CONSTRUCTION OF THE BUILDING PADS AND ASSOCIATED PARKING/DRIVE AREAS ADJACENT TO THESE DEVICES UNTIL THE CONTRIBUTING UPSTREAM AREAS HAVE BEEN STABILIZED AND APPROVED.
6. WHEN SITE IS APPROVED, REMOVE TEMPORARY DIVERSIONS, SILT FENCING, SEDIMENT BASINS, ETC., AND SEED OUT OR PAVE ANY RESULTING BARE AREAS. CONNECT UPSTREAM STORM DRAINAGE.

GRADING/EROSION CONTROL NOTES

1. ALL GRADING, BACKFILLING, EXCAVATION, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
2. CONTRACTOR IS TO CONTACT NORTH CAROLINA "ONE CALL" AT 800-632-4949 FOR UNDERGROUND UTILITY LOCATION 48 HOURS PRIOR TO ANY DIGGING.
3. THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
4. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
5. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
6. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAINAGE SYSTEM.
7. CONTRACTOR SHALL LOCATE AND VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
8. PURSUANT TO G.S. 113A-57(2), THE ANGLE FOR GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR OTHER ADEQUATE EROSION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY OR PERMANENT GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. PURSUANT TO G.S. 113A-57(3), PROVISIONS FOR PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION MUST BE ACCOMPLISHED FOR ALL DISTURBED AREAS WITHIN 14 CALENDAR DAYS FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT.
9. ALL CUT AND FILL SLOPES AND CHANNEL SIDESLOPES WHICH ARE NOT TO BE PAVED, SHALL BE SEED UNTIL A GOOD STAND OF GRASS IS OBTAINED IN ACCORDANCE WITH:
A. 100 LBS PER 1,000 SQUARE FOOT GROUND LIME/STONE OR EQUIVALENT. NO SOIL TEST REQUIRED FOR INITIAL ESTABLISHMENT.
B. 20 LBS OF 10-10-10 FERTILIZER OR EQUIVALENT PER 1,000 SQUARE FOOT.
C. VARIETIES TO BE SEED:
1. SPRING SEEDING - MARCH 1 - APRIL 30; SPRING OATS 2.5 LBS PER 1,000 SQUARE FOOT.
2. SUMMER SEEDING - MAY 1 - AUGUST 1; WEEPING LOVE GRASS AT 2 OZ. PER SQUARE FOOT MIXED WITH 1 BUSHEL OF SAWDUST FOR UNIFORM SEEDING.
3. ASPHALT MULCH 6 GALLONS PER 1,000 SQUARE FOOT. ALL SEEDING WILL BE MULCHED.
10. SEE LANDSCAPE PLAN FOR PERMANENT SEEDING.
11. ALL FINISHED SURFACES SHOULD SLOPE AWAY FROM BUILDING, TOWARDS DRAINAGE OUTLETS FOR POSITIVE DRAINAGE AND TO AVOID STANDING WATER.

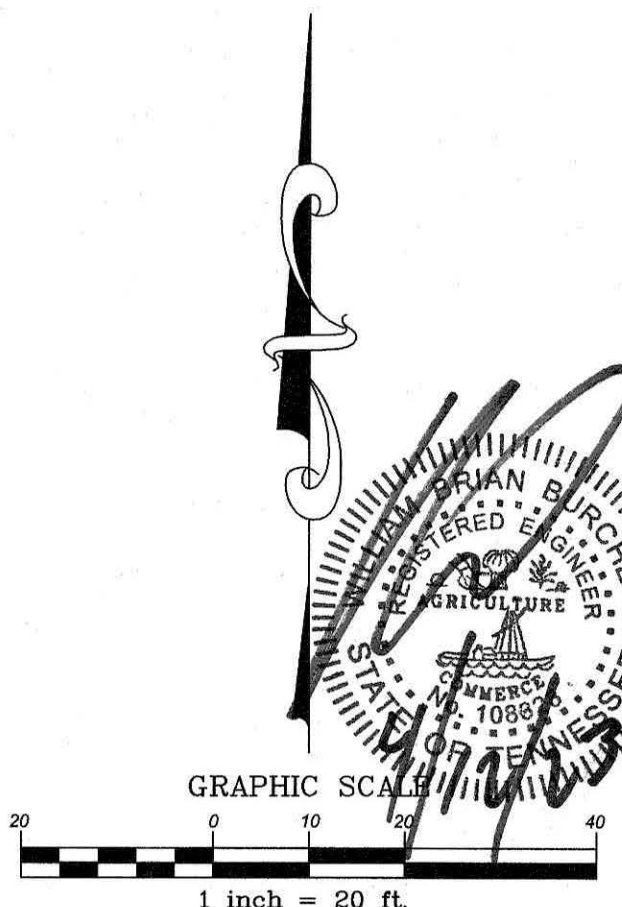
24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

GRADING/EROSION CONTROL LEGEND

- | | |
|------------------------------------------|------------------------------|
| ■ DROP INLET | — SILT FENCE OUTLET |
| — CURB INLET | ○ INLET PROTECTION |
| — STORM PIPE | — BUILDING DOWNSPOUT |
| XXXXXX TOP OF CURB | — SF — SILT FENCE |
| XXXXXX BOTTOM OF CURB | — TP — TREE PROTECTION FENCE |
| — HANDICAP AREA (2% MAX. SLOPE) | — DIVERSION DITCH |
| — SPILL CURB | — LD — LIMITS OF DISTURBANCE |
| TW=XXXXXX TW IS GROUND AT TOP OF WALL | — FLARED END SECTION |
| BW=XXXXXX BW IS GROUND AT BOTTOM OF WALL | |
| ■ INLINE DRAIN | |
| — RD — ROOF DRAIN | — CONSTRUCTION ENTRANCE |
| 6" CORRUGATED PLASTIC | |
| 3" MIN. COVER | |
| 1% MIN. SLOPE | |
| PVC IN TRAP AREAS | |
| CLEANOUTS LOCATED @ ALL BENDS | |
| — SEDIMENT TRAP | |



6-B-23-SU
4/24/2023



REVISIONS		NO.	DATE	DESCRIPTION
KL	PER PRESUBMITTAL COMMENT			
1	27-3-2023			

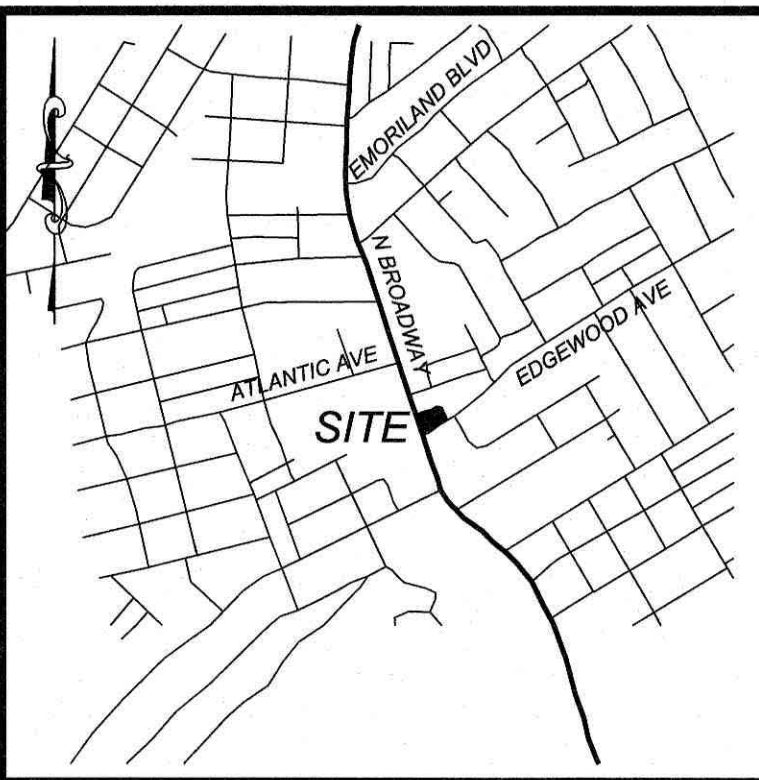
COMMERCIAL SITE DESIGN
A SambaTek Company
(919) 848-4271 FAX: (919) 848-8710
WWW.CSTDDESIGN.COM

CLIENTOWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 275-7025
FAX: (336) 474-1849

COOKOUT FRESH HAMBURGERS
2900 N. BROADWAY
KNOXVILLE, TENNESSEE

PROJECT NO.	OUT-2127
DESIGNER	OUT2127-GP
DRAWN BY:	STH
SCALE:	1"= 20'
DATE:	12-22-2022
SHEET NO.	C-3

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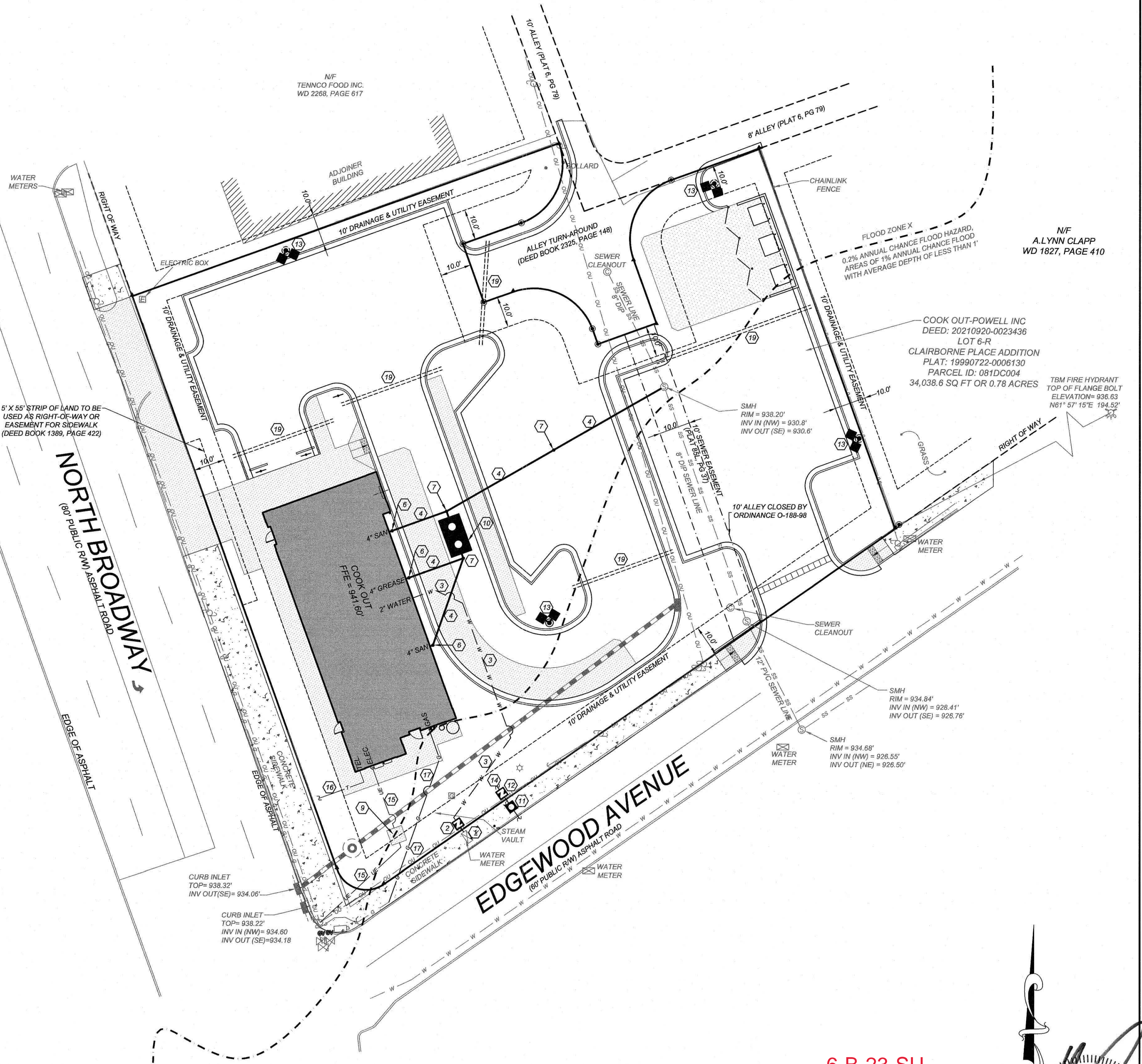
VICINITY MAP
NTS

NOTE TO CONTRACTOR:
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES FOR VERIFICATION OF EXACT LOCATION AND DEPTH PRIOR TO ANY CONSTRUCTION.

UTILITY INFORMATION SHOWN IS A COMBINATION OF SURVEY AND COUNTY AS-BUILTS.

UTILITY KEYNOTES:

1. REUSE WATER METER, CONTRACTOR SHALL CONFIRM SIZE, AND CONDITION AND NOTIFY ENGINEER WITH ANY CONFLICTS. CONTRACTOR SHALL COORDINATE WITH CITY.
2. 2" DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GRADE HEATED, INSULATED ENCLOSURE.
3. 2" DOMESTIC WATER SERVICE, CONTRACTOR SHALL COORDINATE WITH CITY.
4. 4" PVC SANITARY SEWER LINE @ 1/4" PER LINEAR FOOT SLOPE (MINIMUM), CONTRACTOR SHALL COORDINATE WITH CITY.
5. 8" SADDLE WITH 1 1/2" CORPORATION STOP, CONTRACTOR SHALL COORDINATE WITH CITY.
6. SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
7. TRAFFIC RATED SANITARY SEWER CLEANOUT, SEE DETAIL SHEET.
8. EXISTING FIRE HYDRANT.
9. TRANSFORMER PAD, CONTRACTOR SHALL COORDINATE LOCATION AND SIZE WITH ELECTRIC UTILITY.
10. 1500 GALLON GREASE TRAP, SEE DETAIL SHEETS.
11. 1" IRRIGATION WATER METER, CONTRACTOR SHALL COORDINATE WITH IRRIGATION CONTRACTOR.
12. 1" IRRIGATION REDUCED PRESSURE BACKFLOW PREVENTER IN ABOVE GRADE HEATED, INSULATED ENCLOSURE. CONTRACTOR SHALL COORDINATE WITH CITY.
13. POLE MOUNTED AREA LIGHT, SEE LIGHTING PLAN.
14. COORDINATE IRRIGATION CONNECTION WITH IRRIGATION CONTRACTOR.
15. UNDERGROUND ELECTRIC SERVICE, CONTRACTOR SHALL COORDINATE WITH ELECTRIC UTILITY.
16. UNDERGROUND TELEPHONE SERVICE, CONTRACTOR SHALL COORDINATE WITH TELEPHONE COMPANY.
17. GAS SERVICE, CONTRACTOR SHALL COORDINATE WITH GAS COMPANY.
18. INSTALL 2 PVC SLEEVES FOR ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH OWNER AND UTILITY COMPANY.
19. IRRIGATION SLEEVES PER UTILITY LEGEND.
20. SEALED GREASE EXTRACTION VAULT. CONTRACTOR TO COORDINATE MAKE AND MODEL WITH OWNER. SEE DETAIL SHEET.
21. CONNECT TO EXISTING SANITARY SEWER SERVICE PER CITY STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL FIELD VERIFY SIZE, LOCATION AND ELEVATION OF EXISTING SEWER SERVICE PRIOR TO ANY CONSTRUCTION TO ENSURE REQUIRED PIPE SLOPE, COVER AND CLEARANCES CAN BE ACHIEVED AND COORDINATE WITH CITY.



UTILITY NOTES:

1. UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM THE BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXACT LOCATIONS OF EXISTING UTILITIES AND IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITIES, EITHER PUBLIC OR PRIVATE, SHOWN HEREON OR NOT SHOWN HEREON. ANY REPAIRS SHALL BE DONE TO THE SATISFACTION OF THE APPROPRIATE UTILITY COMPANY.
2. THE GENERAL CONTRACTOR SHALL CONFIRM ALL NEW UTILITY TAP LOCATIONS WITH THE UTILITY OWNERS. ALL FEES SHALL BE THE RESPONSIBILITY OF DEVELOPER.
3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY THE ACTUAL LOCATION AND AVAILABILITY OF ALL EXISTING AND PROPOSED UTILITIES IN THE FIELD PRIOR TO GROUND BREAKING.
4. NEW LOT LIGHT FOUNDATION BASES, CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. POLES, FIXTURES, ANCHOR BOLTS & HARDWARE SHALL BE COORDINATED WITH THE OWNER AND INSTALLED BY THE ELECTRICAL CONTRACTOR.
5. ALL NEW LOT LIGHTS AND THE MAIN IDENTIFICATION SIGN SHALL HAVE A MINIMUM 10 FEET CLEARANCE FROM ALL OVERHEAD UTILITIES.
6. GENERAL CONTRACTOR IS RESPONSIBLE FOR PERMITS AND/OR APPROVALS NECESSARY FOR ANY WORK IN ROADWAY OR RIGHT-OF-WAY.
7. ALL TRENCH EXCAVATION AND BACKFILL SHALL BE IN ACCORDANCE WITH TRENCH BACKFILL DETAIL SHOWN ON THESE PLANS.
8. MINIMUM COVER FOR CONDUITS SHALL BE 36" UNLESS OTHERWISE SHOWN OR NOTED ON THESE PLANS.
9. ALL MANHOLES, VALVES, AND MONUMENT FRAMES SHALL BE SET TO FINISH GRADE AFTER PAVING.
10. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS. TRENCHES SHALL BE SHORED IN ACCORDANCE WITH OSHA.
11. THE MINIMUM SLOPE FOR SANITARY SEWER LINES SHALL BE AS FOLLOWS: 1) 1/4"FT FOR 4" LINES AND 2) 1/8"FT FOR 6" LINES. CLEANOUTS SHALL BE PLACED AT 75' INTERVALS.
12. ALL WATER LINES SHALL HAVE A FINAL COVER DEPTH OF 3'-0" IN NON-TRAFFIC AREAS AND 4'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE.
13. ALL SEWER LINES SHALL HAVE A FINAL COVER DEPTH 4'-0" IN NON-TRAFFIC AREAS AND 5'-0" MINIMUM IN TRAFFIC AREAS UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS.
14. SANITARY SEWER SERVICES SHALL BE PVC SDR 35 TO RW, THEN PVC SCH. 40 TO BUILDING. WATER SERVICE SHALL BE TYPE "K" COPPER.
15. CABLE TV SERVICE ROUTING IS NOT PART OF THIS PLAN, CONTRACTOR TO COORDINATE WITH CABLE COMPANY.
16. EXISTING MANHOLES SHOULD BE FIELD VERIFIED FOR RIMS AND INVERTS.
17. ALL WORK SHALL BE GOVERNED BY THE LATEST EDITIONS OF THE STATE MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, BUILDING CODE, ENERGY CONSERVATION, HANDICAP ACCESSIBILITY, NATIONAL ELECTRICAL CODES AND NATIONAL FIRE PROTECTION ASSOCIATION CODES AND AS ADOPTED BY THE AUTHORITIES HAVING JURISDICTION.
18. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL INSPECTIONS, CERTIFICATIONS, EQUIPMENT, ETC., THAT MAY BE REQUIRED.
19. CONTRACTOR SHALL GUARANTEE, FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE OF SYSTEMS BY OWNER, EACH AND EVERY PIECE OF APPARATUS WHICH HAS BEEN INSTALLED UNDER THIS CONTRACT.
20. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS/METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
21. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS, FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING 5 FEET IN DEPTH.
22. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
23. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED PRIOR APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
24. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
25. ONLY SEWAGE NOT CONTAINING GREASE IS ALLOWED TO BYPASS THE GREASE TRAP.
26. ALL SANITARY SEWER SERVICES AND STORM DRAIN PIPING 8" IN DIAMETER OR SMALLER SHALL BE SCH. 40 PVC WITH ADHESIVE "WELDED JOINTS, UNLESS SPECIFIED OTHERWISE, OR REQUIRED BY LOCAL GOVERNING MUNICIPALITY. MINIMUM SLOPES ON SANITARY SEWER SERVICES: 4" - 1/4"FT, 6" - 1/8"FT.
27. BELOW GRADE WATER SERVICE PIPING SHALL BE TYPE "K" HARD DRAWN COPPER TUBING WITH SILVER SOLDER JOINTS. SOLDER CONTAINING LEAD SHALL NOT BE USED FOR ANY PURPOSE ON THIS PROJECT, WHERE PIPING IS REQUIRED TO RUN BELOW BUILDING SLAB, IT SHALL BE INSTALLED WITHOUT JOINTS BELOW SLAB.
28. WATER PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS PRIOR TO BEGINNING WATER PIPE INSTALLATION.
29. WASTE PIPING SHALL BE CONNECTED TO BUILDING STUBS, VERIFY LOCATIONS AND INVERTS PRIOR TO BEGINNING ANY WASTE PIPE INSTALLATION.
30. CONTRACTOR SHALL NOTIFY TENNESSEE AT (800) 351-1111 AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE UTILITIES LOCATED. CONTRACTOR SHALL CONTRACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENTLY.
31. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE PUBLIC UTILITIES AND CROSS CONNECTION CONTROL REGULATIONS AND STANDARDS.
32. SITE UTILITY CONTRACTOR TO PROVIDE WATER, SANITARY SEWER, AND ROOF DRAIN LEADERS TO WITHIN 5 FEET OF THE BUILDING. CONTRACTOR SHALL COORDINATE SITE PLAN CONNECTIONS WITH THE ARCHITECTURAL BUILDING PLANS.
33. SANITARY CLEANOUTS SHALL BE PLACED NO MORE THAN 75 FEET APART. CLEAN OUTS LOCATED IN PAVEMENT AREAS SHALL HAVE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
34. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH THE CITY OF KNOXVILLE STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT WITH A SECTION TO MATCH EXISTING PAVEMENT: 3" x 2, 8" ABC OR BETTER.
35. RELATION OF WATER MAINS TO SEWERS:
A. LATERAL SEPARATION OF SEWER AND WATER MAINS: WATER MAINS SHALL BE LAID AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SEWERS UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT LATERAL SEPARATION, IN WHICH CASE:
1. THE WATER MAIN IS LAID IN A SEPARATE TRENCH, WITH THE ELEVATION OF THE BOTTOM OF THE WATER MAIN AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
2. THE WATER MAIN IS LAID IN THE SAME TRENCH AS THE SEWER LINE WITH THE WATER MAIN LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND ABOVE THE TOP OF THE SEWER.
B. CROSSING A WATER MAIN OVER A SEWER MAIN:
WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS OVER A SEWER THE WATER MAIN SHALL BE LAID AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER MAIN, UNLESS LOCAL CONDITIONS OR BARRIERS PREVENT AN 18 INCH VERTICAL SEPARATION, IN WHICH CASE BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
C. CROSSING A WATER MAIN UNDER A SEWER MAIN:
WHENEVER IT IS NECESSARY FOR A WATER MAIN TO CROSS UNDER A SEWER MAIN BOTH THE WATER MAIN AND SEWER MAIN SHALL BE CONSTRUCTED OF FERROUS MATERIALS AND WITH JOINTS EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
D. CROSSING A SEWER LINE OVER OR UNDER A STORM DRAIN:
WHENEVER IT IS NECESSARY FOR A SEWER LINE TO CROSS A STORM DRAIN PIPE, THE SEWER LINES SHALL BE LAID AT SUCH AN ELEVATION THAT THE OUTSIDE OF THE SEWER LINE NEAREST TO THE OUTSIDE OF THE STORM DRAIN PIPE SHALL MAINTAIN A 12 INCH CLEAR SEPARATION DISTANCES, OR ENCASED IN EITHER CONCRETE OR DUCTILE IRON PIPE FOR AT LEAST 5 FEET ON EITHER SIDE OF THE CROSSING.
36. UNDERGROUND CONDUITS TO SIGNS, LOT LIGHTS, ETC., SHALL BE PLACED IN GRASS OR LANDSCAPE AREAS WHENEVER POSSIBLE. THE LOCATION OF THE CONDUIT AS SHOWN ON THESE PLANS SHALL BE CONSIDERED TO BE SCHEMATIC WITH ACTUAL LOCATION TO BE VERIFIED BY THE GENERAL CONTRACTOR. PVC SCH. 40 SLEEVES SHALL BE INSTALLED FOR ALL CONDUIT CROSSING UNDER PAVED AREAS.
37. SEE ELECTRICAL SHEETS FOR SIZE OF CONDUIT AND WIRE ON ALL ELECTRICAL SERVICE.
38. TRANSFORMER BY ELECTRIC COMPANY, GENERAL CONTRACTOR TO PROVIDE PAD. REFER TO ELECTRIC COMPANY SPECIFICATIONS FOR PAD CONSTRUCTION.

REVISONS		DESCRIPTION	DATE	BY
KL	PER PRESUBMITTAL COMMENT			
1	27-3-2023			

COMMERCIAL SITE DESIGN

A Sambalek Company

(919) 848-0271 FAX: (919) 848-2741

WWW.CSITDESIGN.COM

CLIENT/OWNER:

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15 LAURA LANE SUITE 300
THOMASVILLE, NC 27360
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COOKOUT FRESH HAMBURGERS

2000 N. BROADWAY
KNOXVILLE, TENNESSEE

UTILITY PLAN

PROJECT NO. OUT-2127

FILENAME: OUT2127-UP

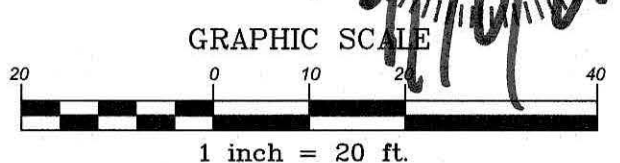
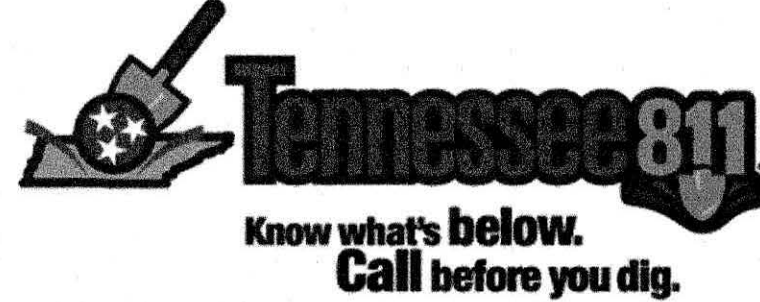
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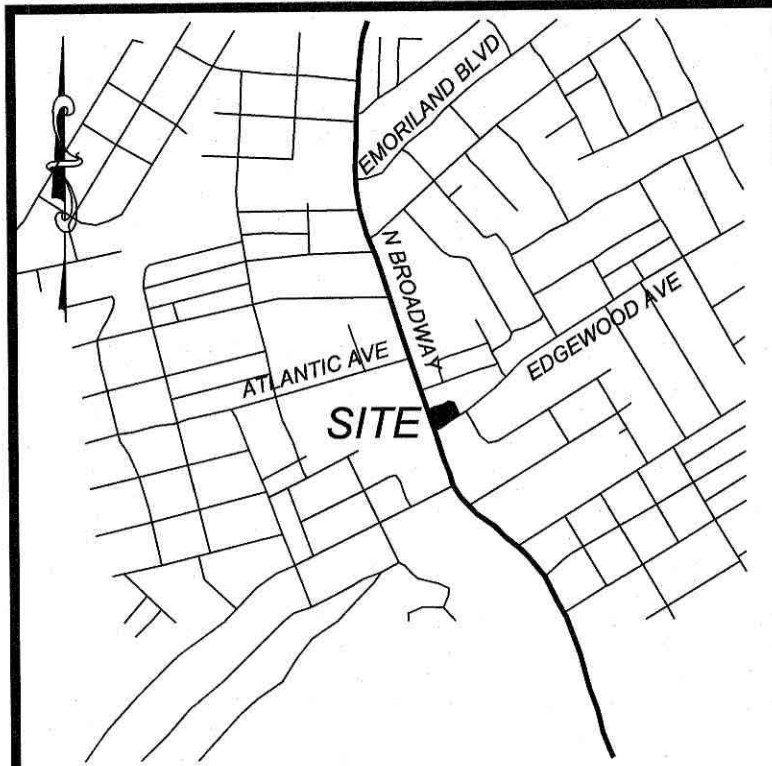
SCALE: 1"= 20'

DATE: 12-22-2022

SHEET NO. C-4

6-B-23-SU
4/24/2023

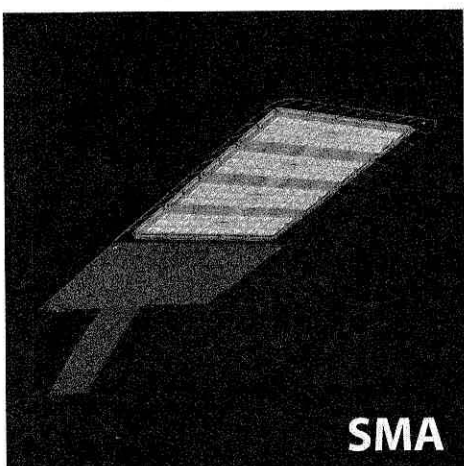
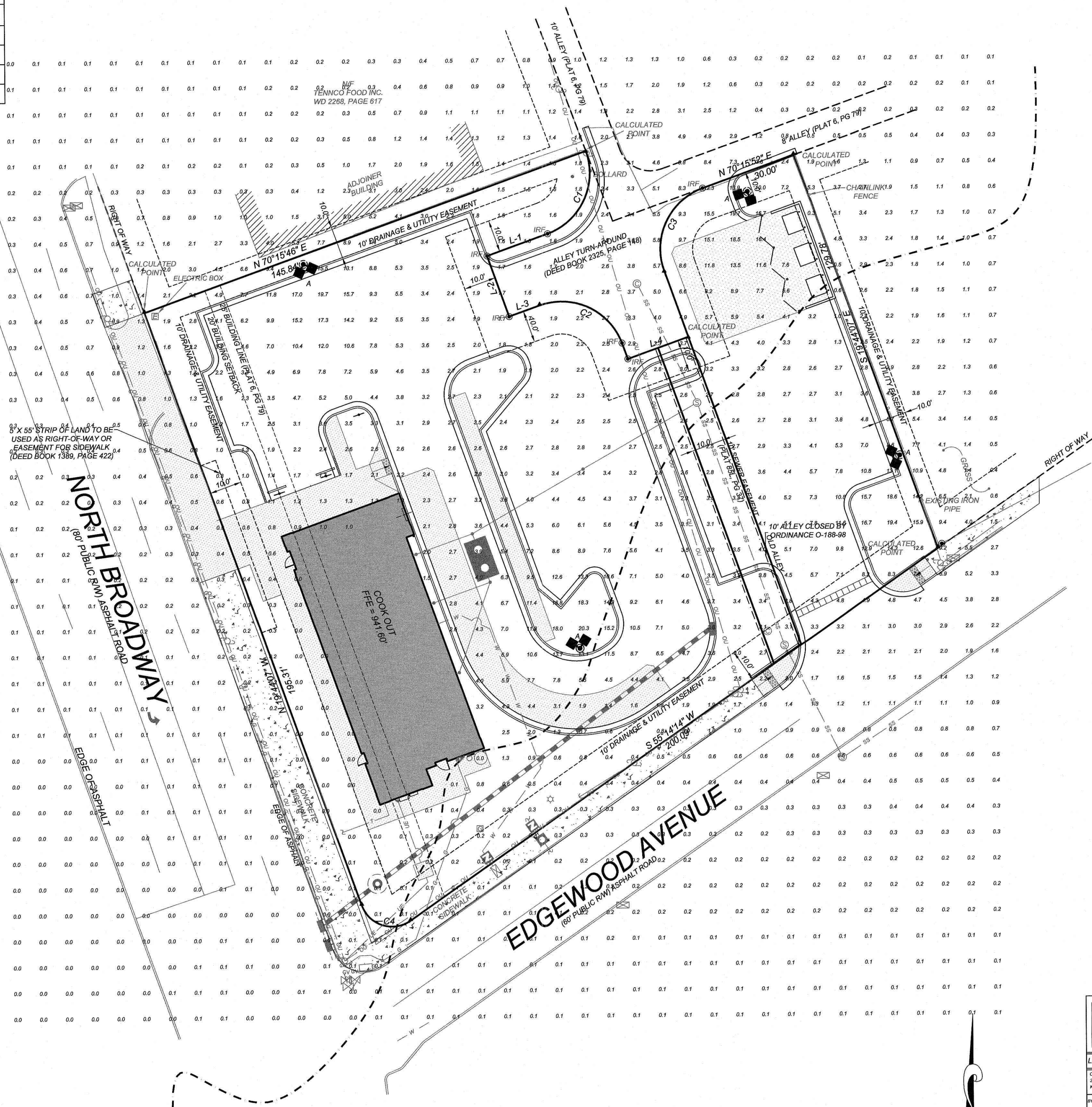




VICINITY MAP
NTS

CURVE TABLE								
CURVE	FIELD LENGTH	DEED LENGTH	RADIUS	DELTA	FIELD BEARING	DEED BEARING	CHORD	TANGENT
C1	31.41'	31.42'	20.00'	89.98°	S25°15'53"W	S25°17'41"W	28.28'	19.99'
C2	31.41'	31.42'	20.00'	89.98°	S64°44'07"E	S64°42'19"E	28.28'	19.99'
C3	31.41'	31.42'	20.00'	89.98°	N25°15'52"E	N25°17'40"E	28.28'	19.99'
C4	18.33'	18.33'	10.00'	105.03°	N72°14'56"W	N72°13'08"W	15.87'	13.04'

LINE TABLE		
Line #	Direction	Length
L-1	S 70°15'53" W	20.00
L-2	S 19°44'07" E	20.00
L-3	N 70°15'53" E	10.00
L-4	N 70°15'53" E	20.00



PHOTOMETRIC EVALUATION
NOT FOR CONSTRUCTION

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaire may vary due to changes in electrical voltage, tolerance in lens/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Future recommendations noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

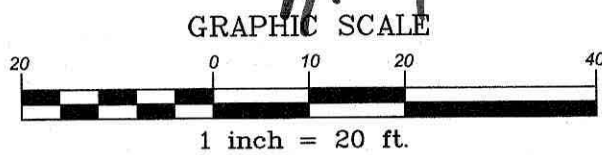
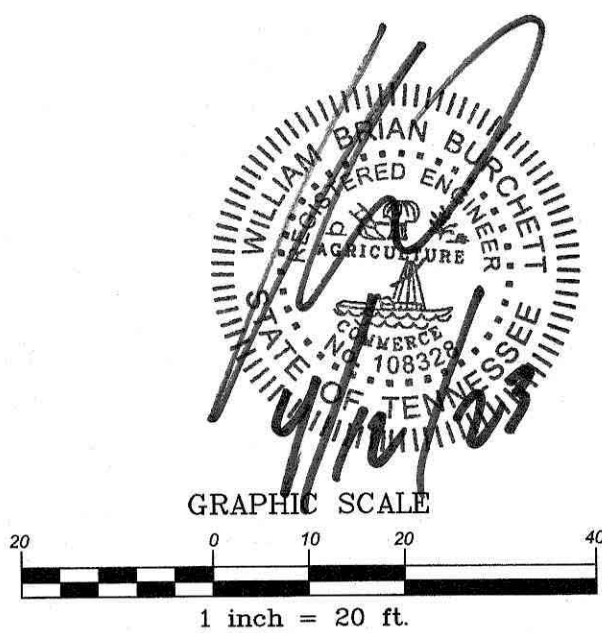
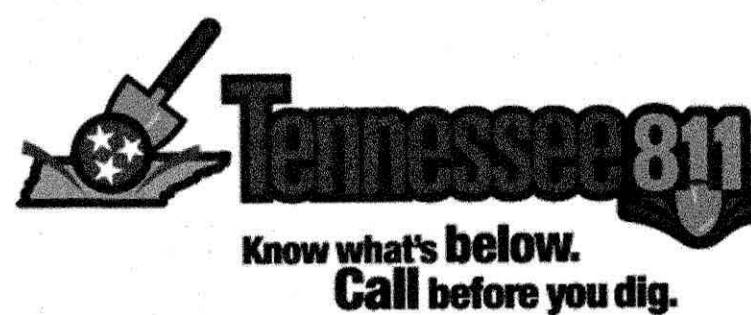
24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CALCULATED POINTS @ GRADE	Illuminance	Fc	2.02	20.3	0.0	N/A
PARKING & DRIVING SUMMARY	Illuminance	Fc	5.57	20.3	1.0	5.57

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLD
☐	4	A	2 @ 90 degrees	SMA-LED-42L-ACR-FT-UNV-50-D90-45° TILT	22.5'	1.000

QR CODE	LOGO
LIGHTING PROPOSAL LO-157625	
COOK OUT 2900 N BROADWAY KNOXVILLE, TN	
DATE: 3/23/2023	REV: 1
SHEET 1 OF 1	

6-B-23-SU
4/24/2023



REVISIONS		NO.	DATE	DESCRIPTION
1	27-3-2023			PER PRESUBMITTAL COMMENT

COMMERCIAL
SITE DESIGN

A SambaTech Company
(919) 848-8421 FAX: (919) 848-2741
WWW.CSITDESIGN.COM

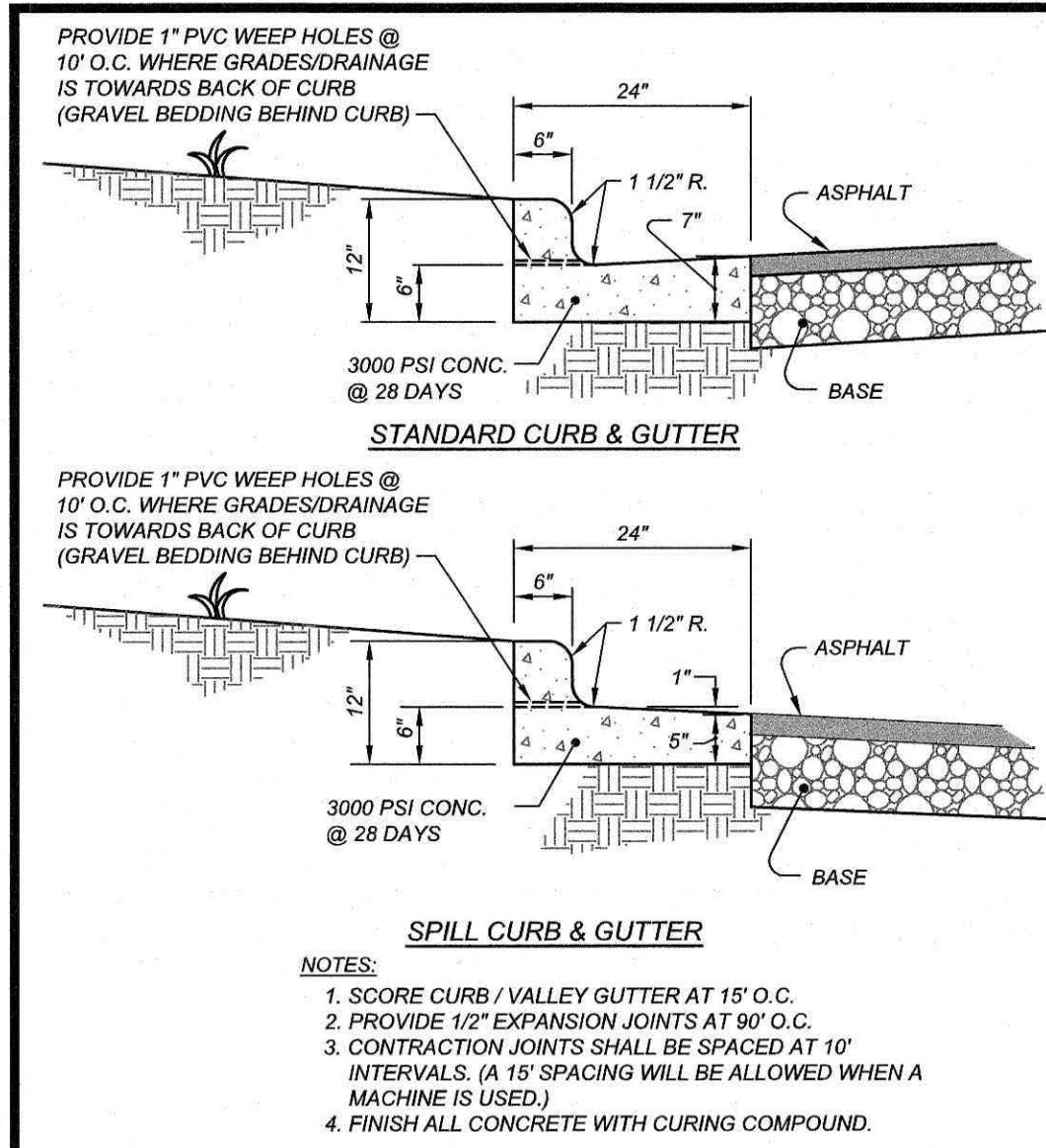
892 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27603

CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

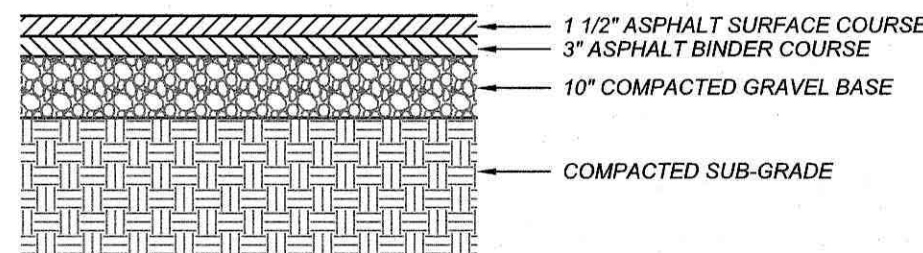
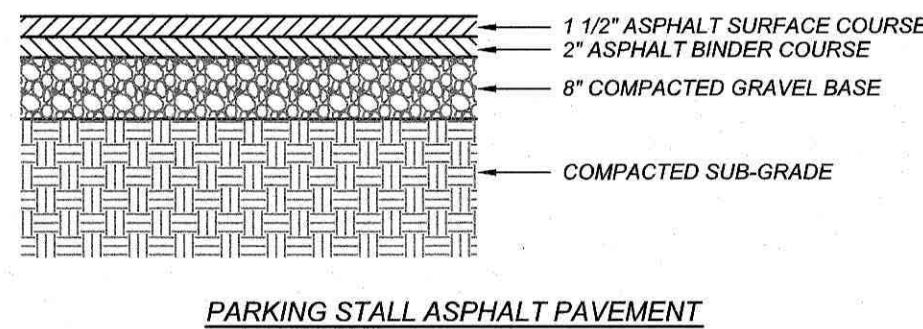
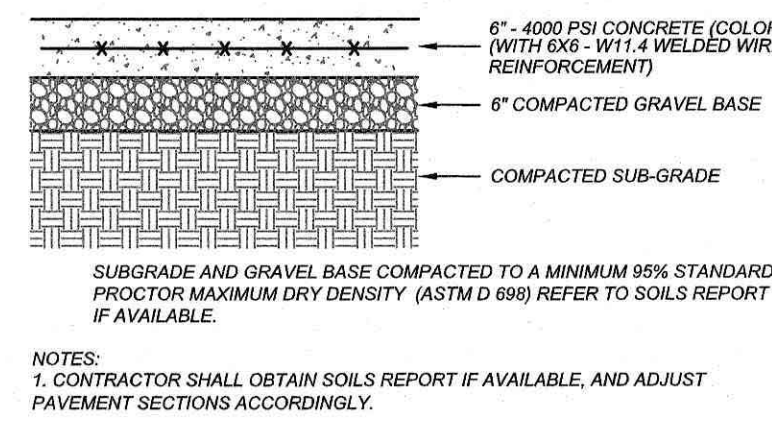
COOKOUT
FRESH HAMBURGERS

2900 N. BROADWAY
KNOXVILLE, TENNESSEE

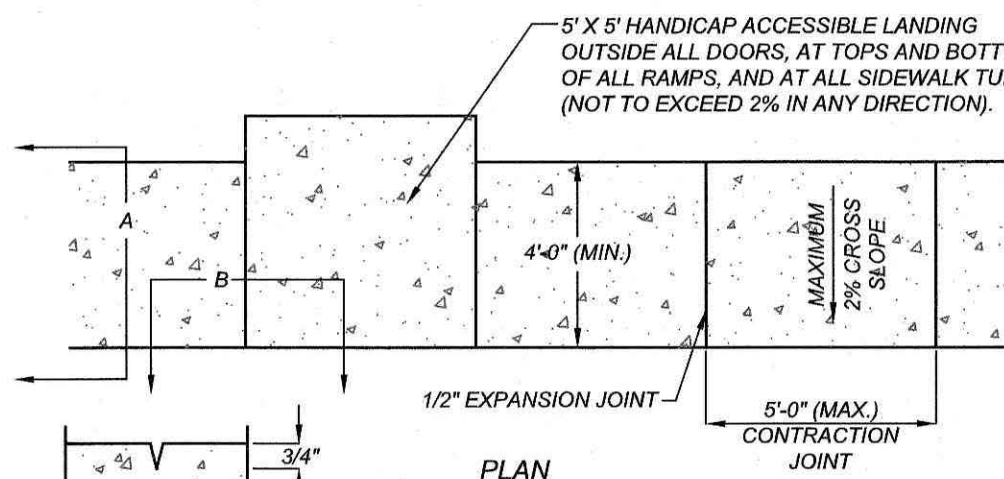
PROJECT NO. OUT-2127
FILENAME: OUT2127-LI
DRAWN BY: STH
SCALE: 1"= 20'
DATE: 12-22-2022
SHEET NO. C-6



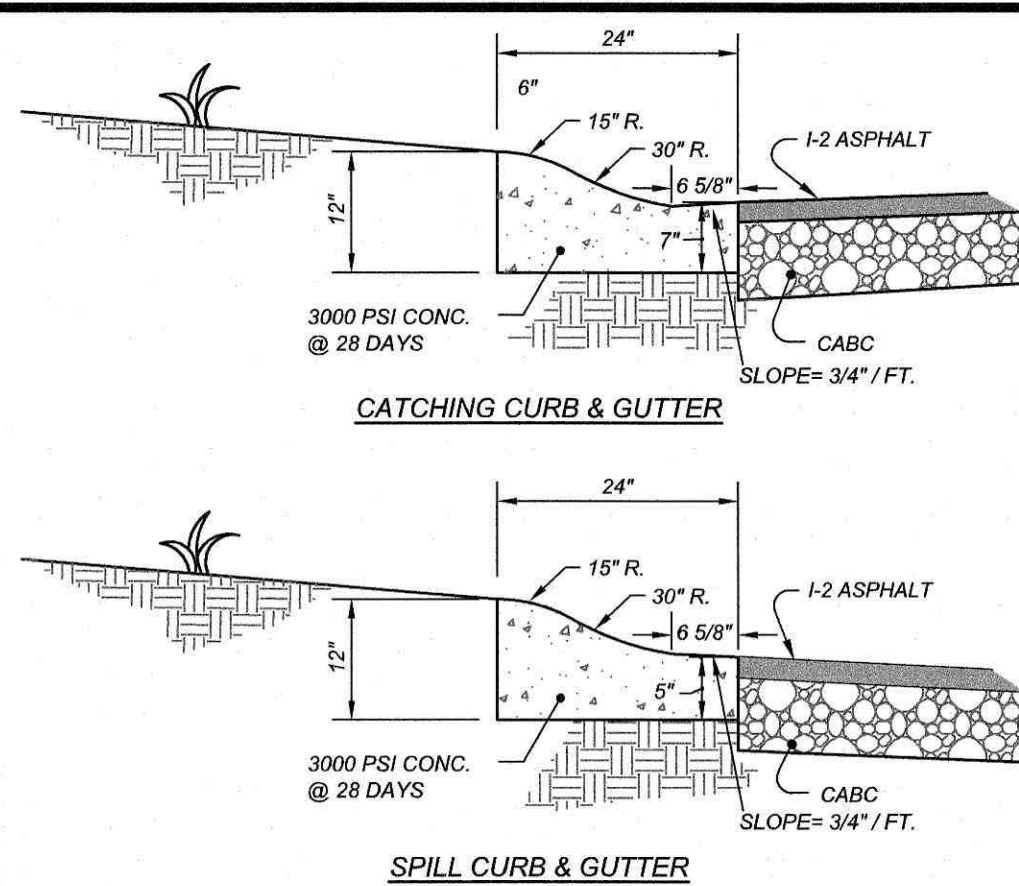
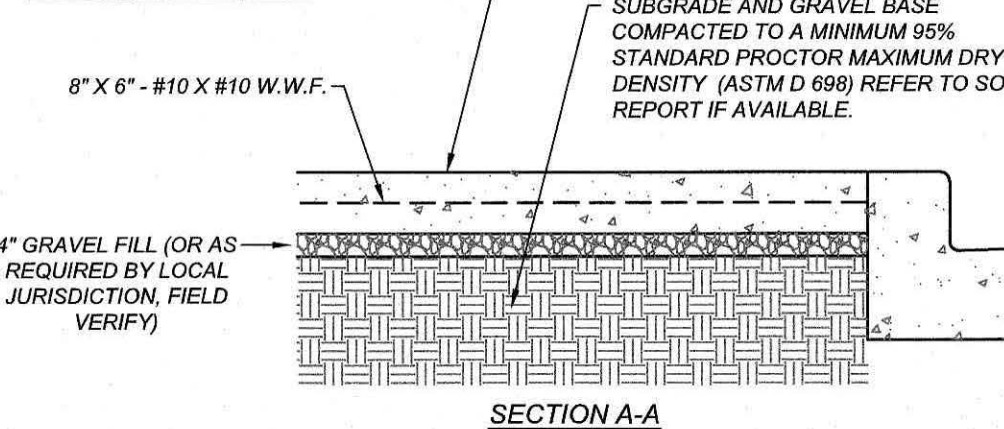
2'-0" STANDARD CURB AND GUTTER



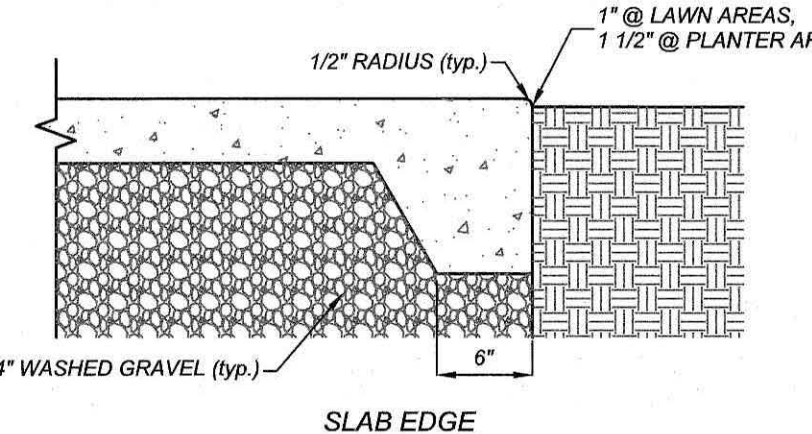
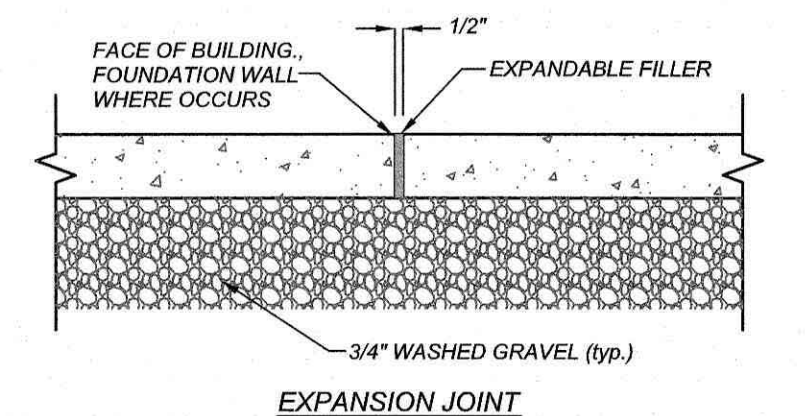
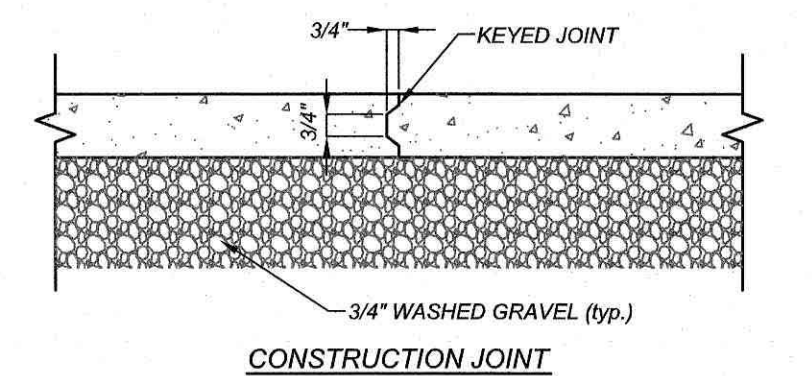
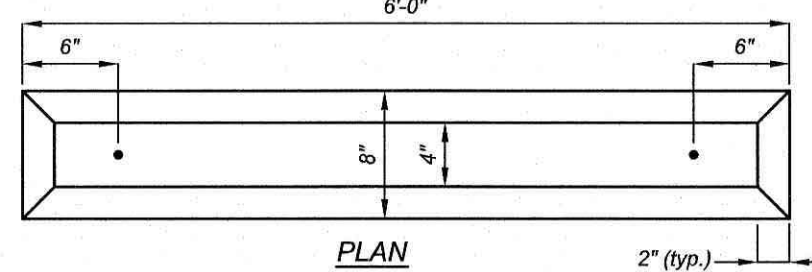
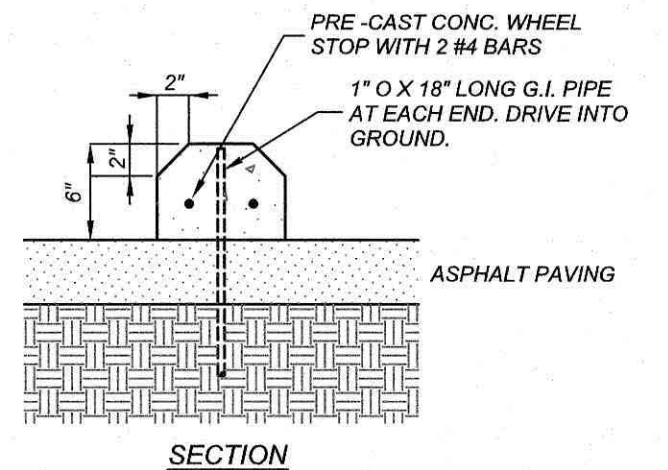
ASPHALT PAVEMENT DETAIL



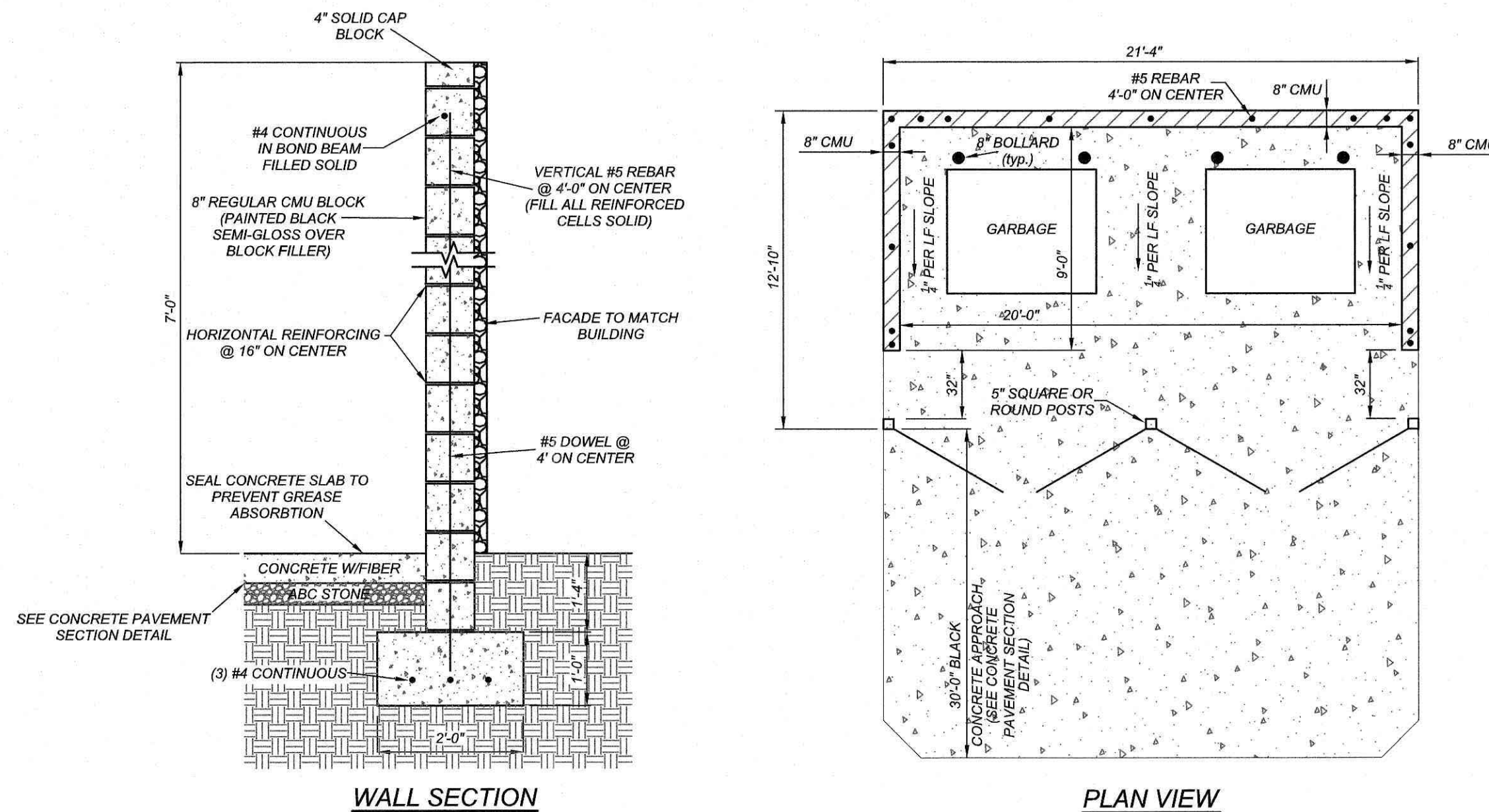
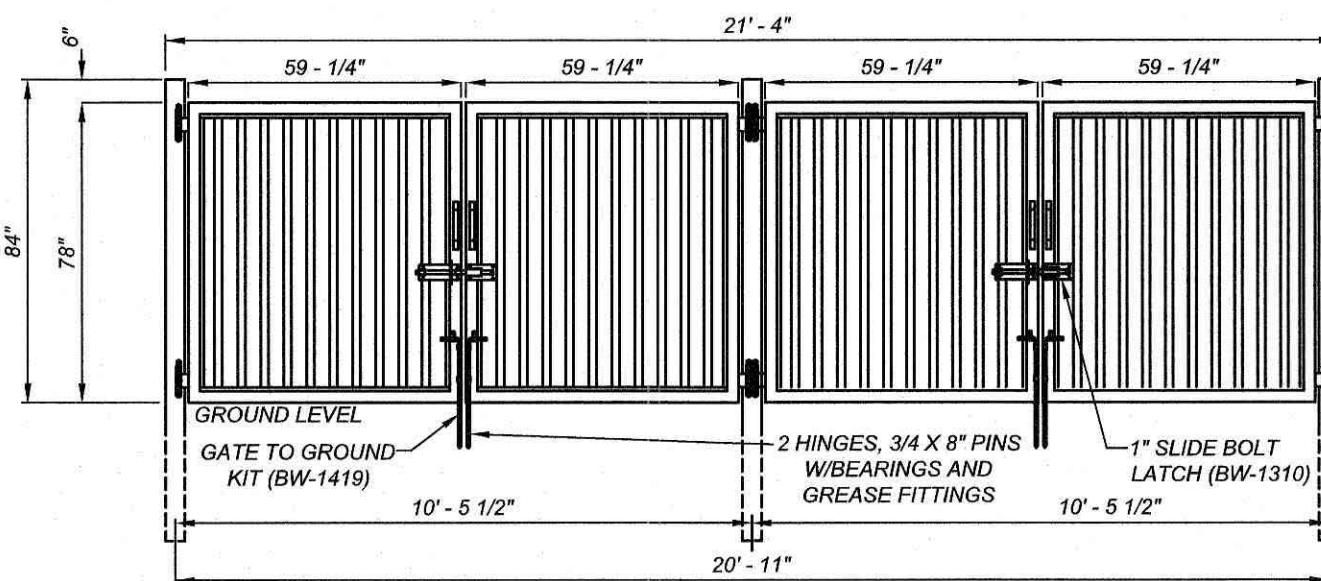
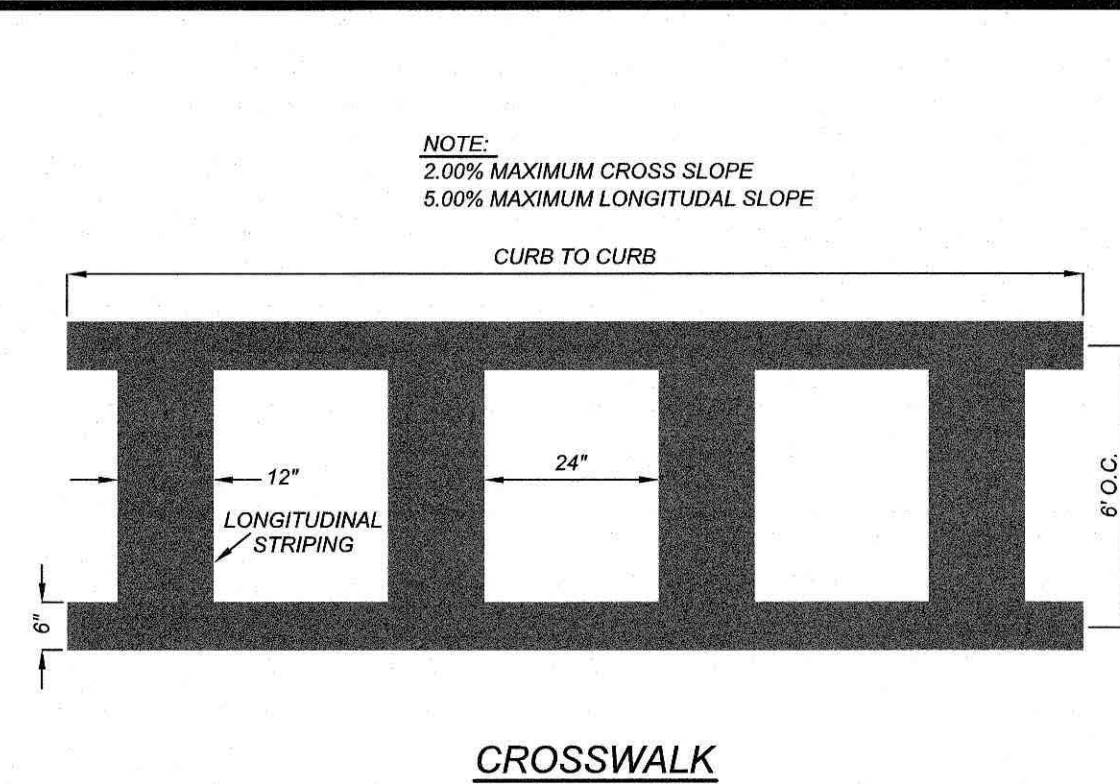
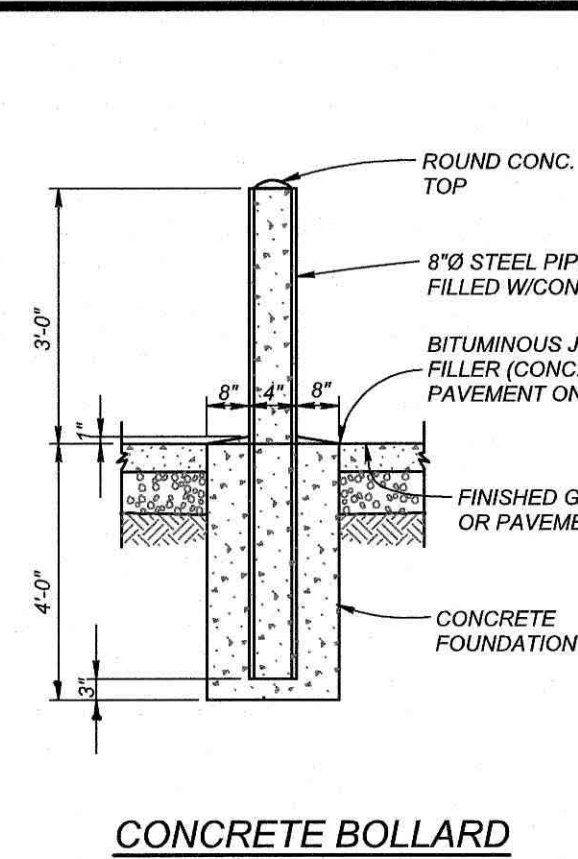
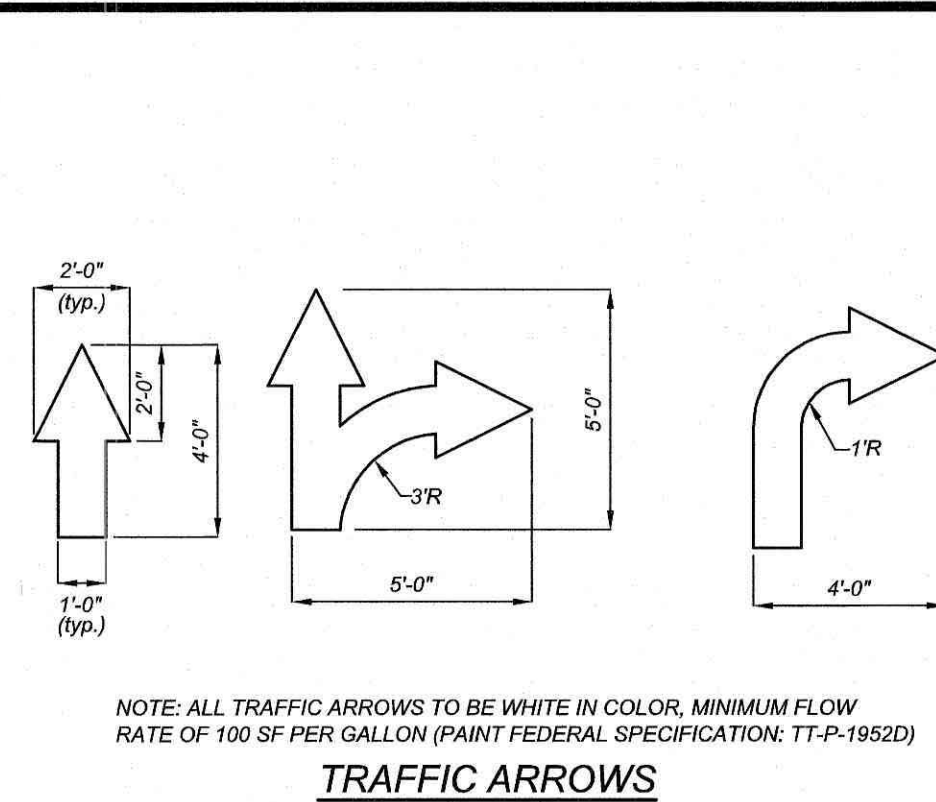
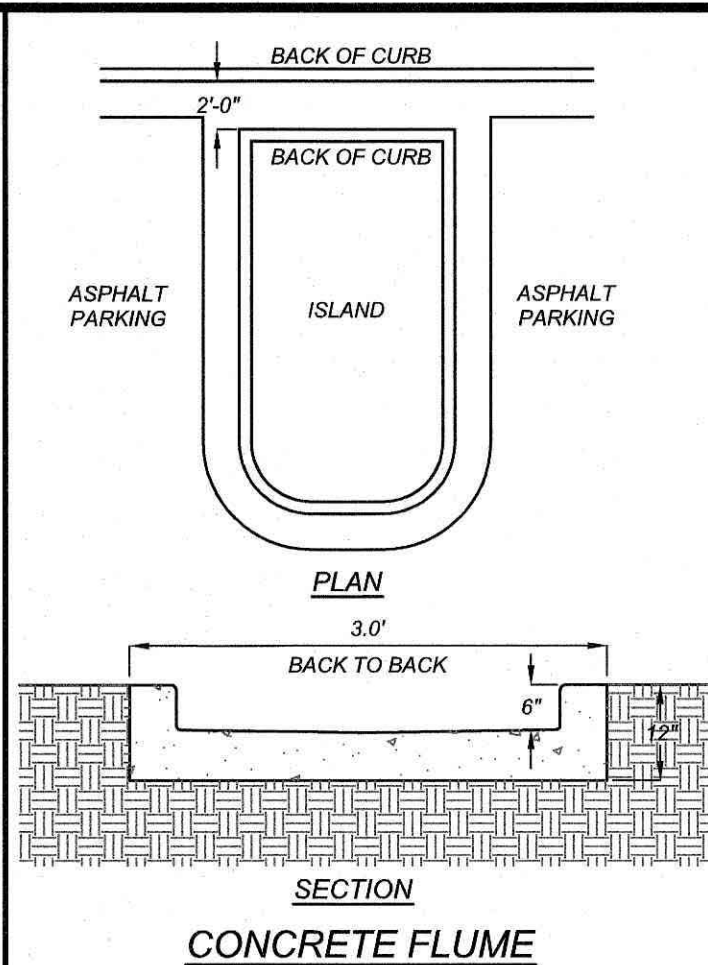
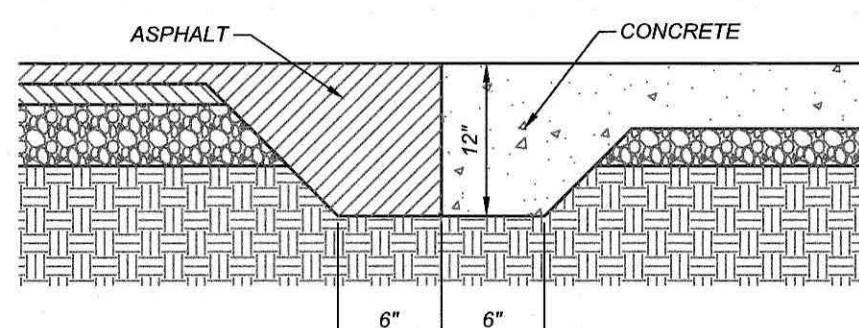
CONCRETE SIDEWALK



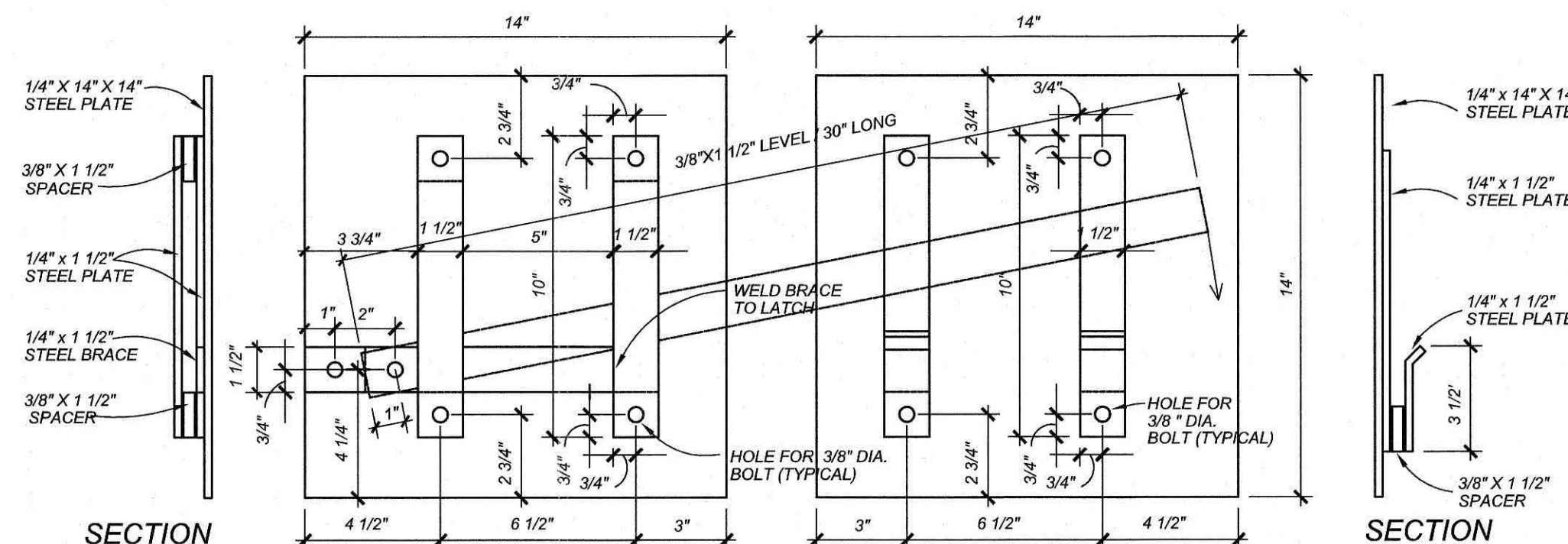
2'-0" ROLLED CURB AND GUTTER



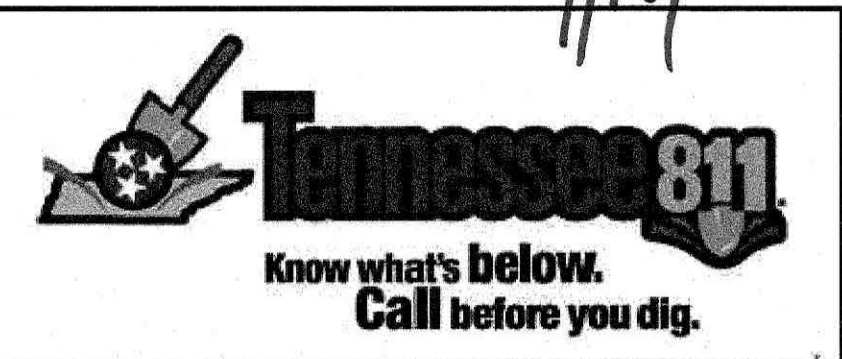
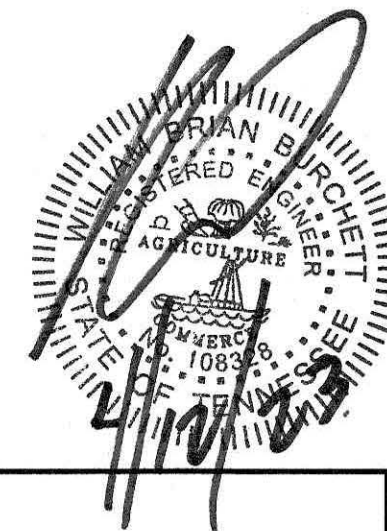
CONCRETE SLAB DETAIL



DUMPSTER ENCLOSURE DETAIL



6-B-23-SU
4/24/2023



24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

NO.	DATE	DESCRIPTION	BY

COMMERCIAL SITE DESIGN

A SambaTech Company

897 CREEDWOOD ROAD
RALEIGH, NORTH CAROLINA 27615

(919) 848-4201 FAX: (919) 848-2741
WWW.CSTDESIGN.COM

CLIENT/OWNER:

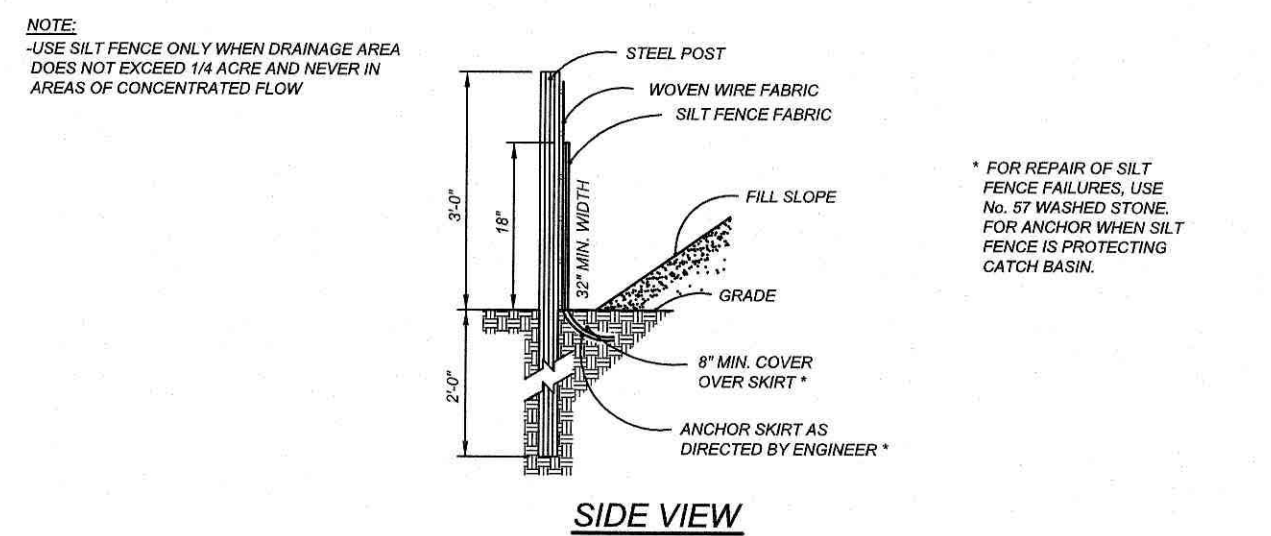
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

COOKOUT
FRESH HAMBURGERS

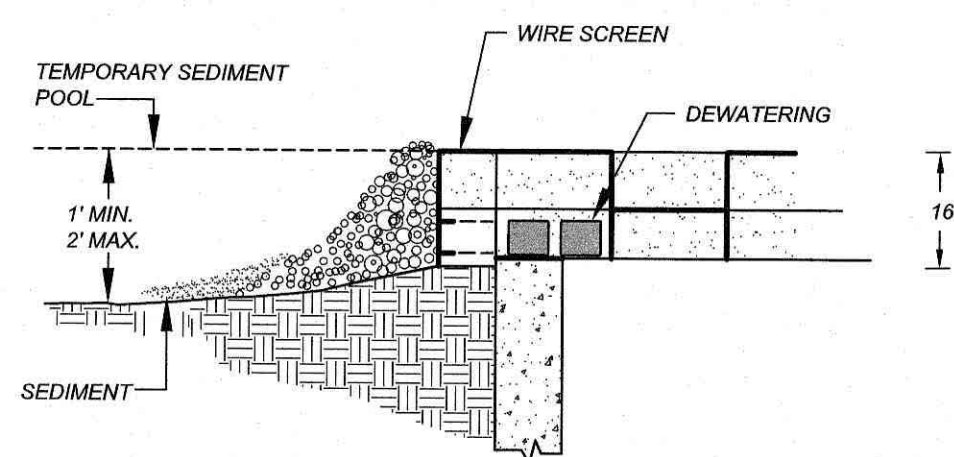
2900 N. BROADWAY
KNOXVILLE, TENNESSEE

DETAILS

PROJECT NO.	OUT-2127
FILENAME:	OUT2127-DTL1
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	12-22-2022
SHEET NO.	C-7



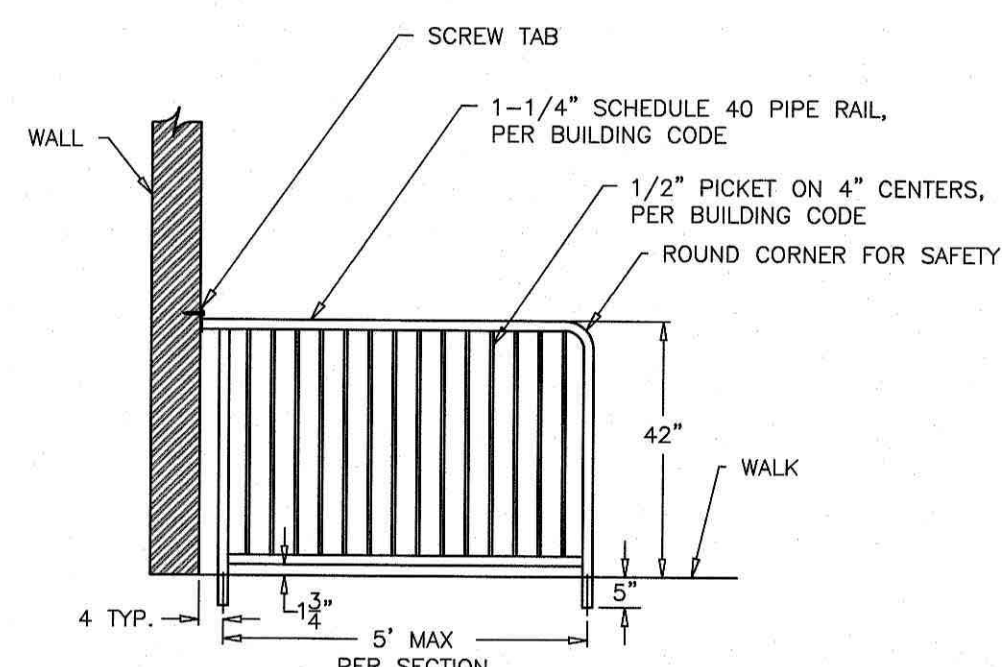
MAINTENANCE: INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. REMOVE SEDIMENT WHEN IT REACHES 1/2 HEIGHT OF THE FENCE. TAKE CARE TO NOT UNDERMINE THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



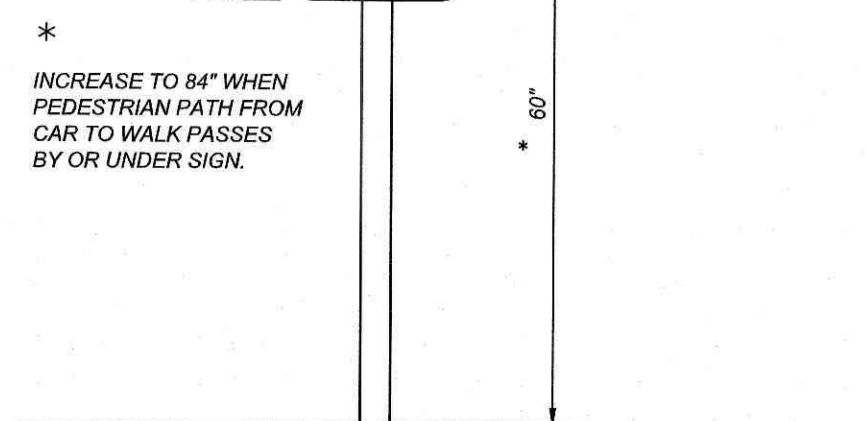
CONSTRUCTION SPECIFICATIONS

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. PLACE THE BOTTOM ROW OF BLOCKS AGAINST THE EDGE OF THE STORM DRAIN FOR LATERAL SUPPORT AND TO AVOID WASHOUTS WHEN OVERFLOW OCCURS. IF NEEDED, USE LATERAL SUPPORT TO SUBSEQUENT ROWS BY PLACING 2 X 4 WOOD STUDS THROUGH BLOCK OPENINGS.
2. CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2-INCH OPENINGS OVER ALL BLOCK OPENINGS TO HOLD GRAIN IN PLACE.

USE CLEAN GRAVEL, 3/4" TO 1 1/2-INCH IN DIAMETER, PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ROW. 21 GRAIN OR FLATTER AND SMOOTH FIT TO AN EVEN GRADE, DOT H57 WASHED STONE IS RECOMMENDED.



NAME:		I.M.P. of A. INC. GUARD RAIL EXAMPLES X	
LOCATION:			
CONTRACTOR:			
APPROVED BY: DATE:			
		REV: 3/11/13	DRN BY: SK
Q No	INDUSTRIAL METAL PRODUCTS of ALUMINUM REF. 1-91-M4-005	JOB No	DWG: GRF-2



*
INCREASE TO 84" WHEN
PEDESTRIAN PATH FROM
CAR TO WALK PASSES
BY OR UNDER SIGN.

MAINTENANCE
FERTILIZE VERY SPARINGLY - 20 LB/ACRE NITROGEN IN SPRING WITH NO PHOSPHORUS. CENTIPEDEGRASS CANNOT TOLERATE HIGH PH OR EXCESS FERTILIZER

[illegible]

**COMMERCIAL
SITE DESIGN**
A Sambatek Company

(919) 848-4121 Fax: (919) 848-3741
WWW.CSDESIGN.COM

8932 CREDDMOOR ROAD
RALEIGH, NORTH CAROLINA 27619

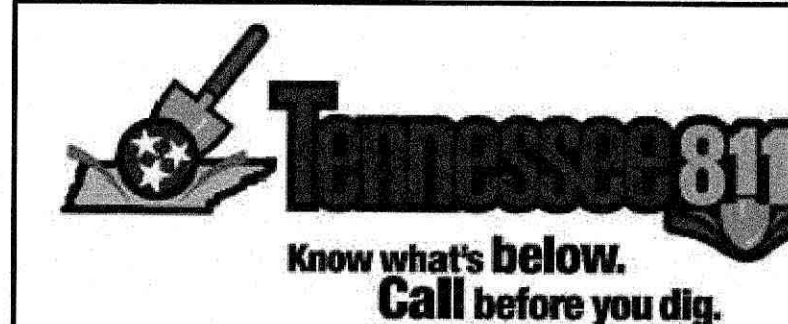
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27360
TELEPHONE: (336) 215-7025
FAX: (336) 474-1849

DETAILS

PROJECT NO.	OUT-2127
FILENAME:	OUT2127-DTL2
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	12-22-2022
SHEET NO.	

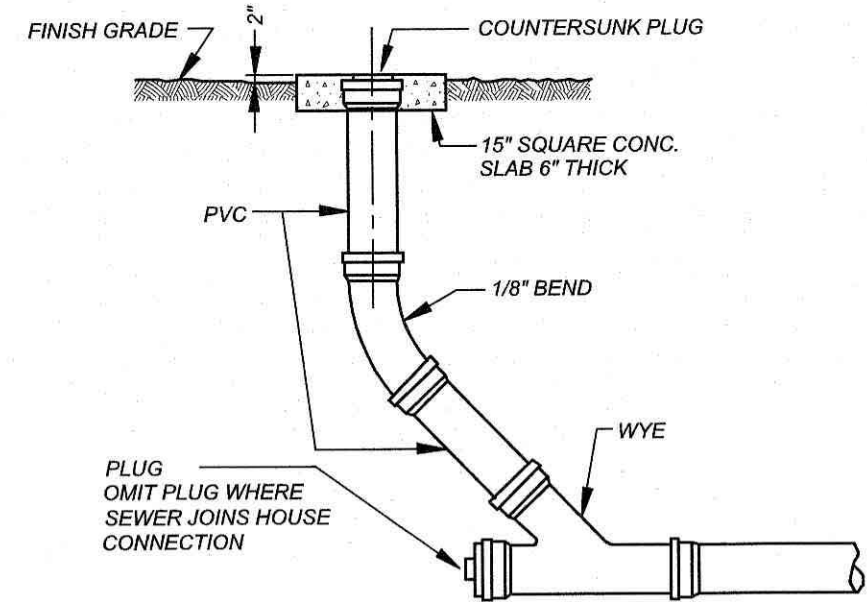
C-8

6-B-23-SU
4/24/2023

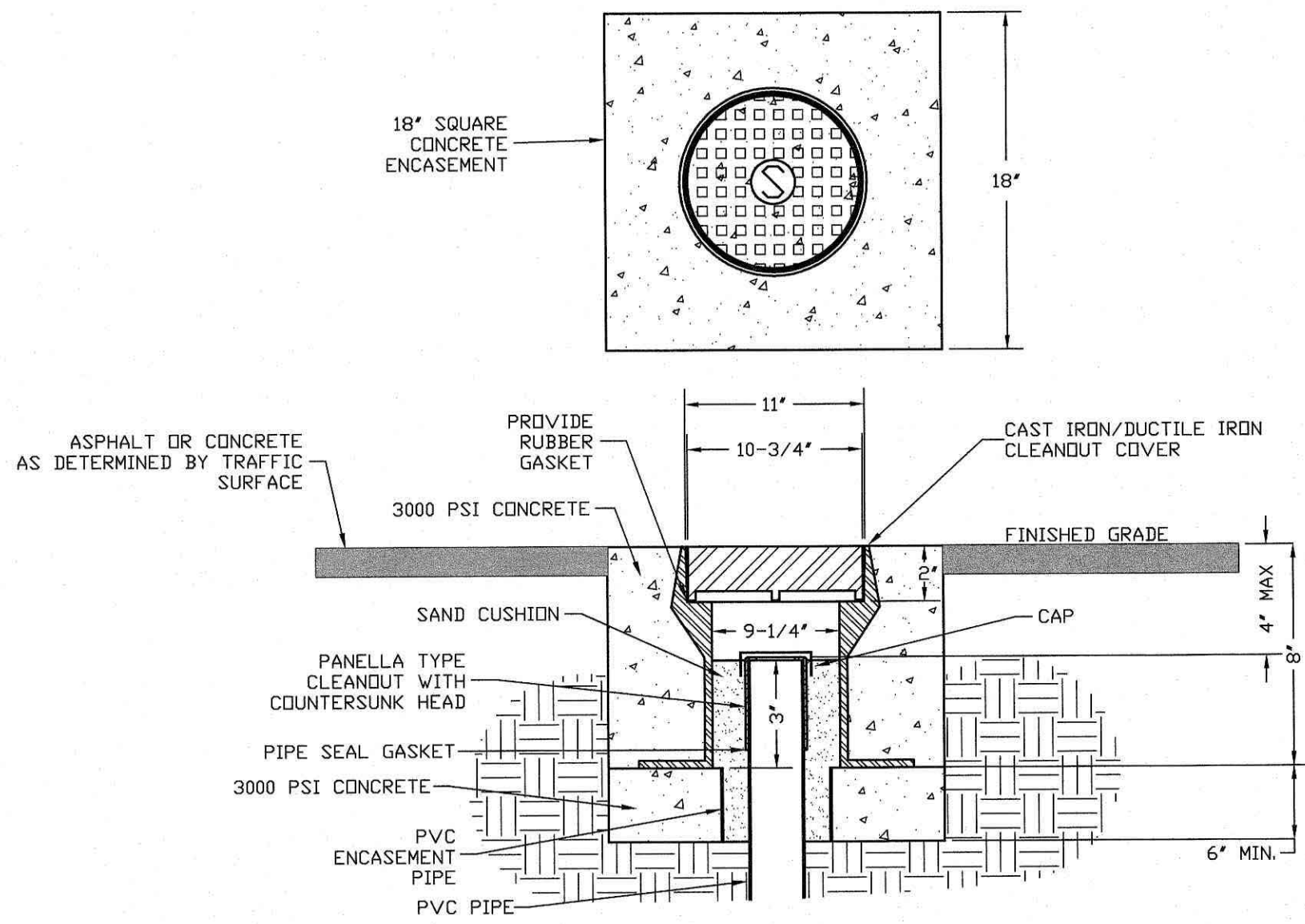


1. BOXES SHALL COMPLY WITH LOCAL JURISDICTIONAL STANDARDS AND SPECIFICATIONS.
2. ANY NONSTANDARD BOX IS TO BE DESIGNED BY A PROFESSIONAL ENGINEER.
3. THE MAXIMUM HEIGHT OF AN UN-REINFORCED MASONRY DRAINAGE STRUCTURE WITH 8" WALLS SHALL BE LIMITED TO 8'-0" FROM INVERT OF THE OUTLET PIPE TO THE TOP OF THE CASTING. DEPTHS GREATER THAN 8'-0" SHALL HAVE WALLS 12" THICK. BASINS OVER 12' IN DEPTH SHALL BE REINFORCED BY A PROFESSIONAL ENGINEER. FOUR INCH WALLS ARE NOT ALLOWED ON DRAINAGE STRUCTURES. BOTTOM SLAB ON STRUCTURES SHALL BE REINFORCED WHEN BOX DEPTHS EXCEEDS 8 FT.
4. STEPS ARE TO BE PROVIDED ON ALL BASINS DEEPER THAN 42".
5. STEPS ARE TO BE PSI-PP AS MANUFACTURED BY M.A. INDUSTRIES OR AN APPROVED EQUIV. LOCATE ON NON-PIPE WALLS.
6. MORTAR IN MASONRY BOXES IS TO BE TYPE M.
7. GLAY BRICK STRUCTURES ARE NOT ALLOWED.
8. CONCRETE PIPE IS TO BE MINIMUM CLASS III.
9. CONCRETE BUILDING BRICK IS TO MEET ASTM C-55, GRADE N, TYPE 1.
10. BASINS LOCATED IN WET AREAS, OR AS OTHERWISE REQUIRED BY THE TOWN ENGINEER, SHALL HAVE WEEP HOLES AS SHOWN ON DETAILS.
11. ALL CAST-IN-PLACE PRECAST CONCRETE DRAINAGE STRUCTURES LOCATED IN PAVED AREAS ACCESSIBLE TO TRUCK LOADINGS TO BE DESIGNED TO MEET AASHTO HS 20-44 LOADING. SEE MANUFACTURERS DETAILS FOR WALL, TOP AND BOTTOM THICKNESS.

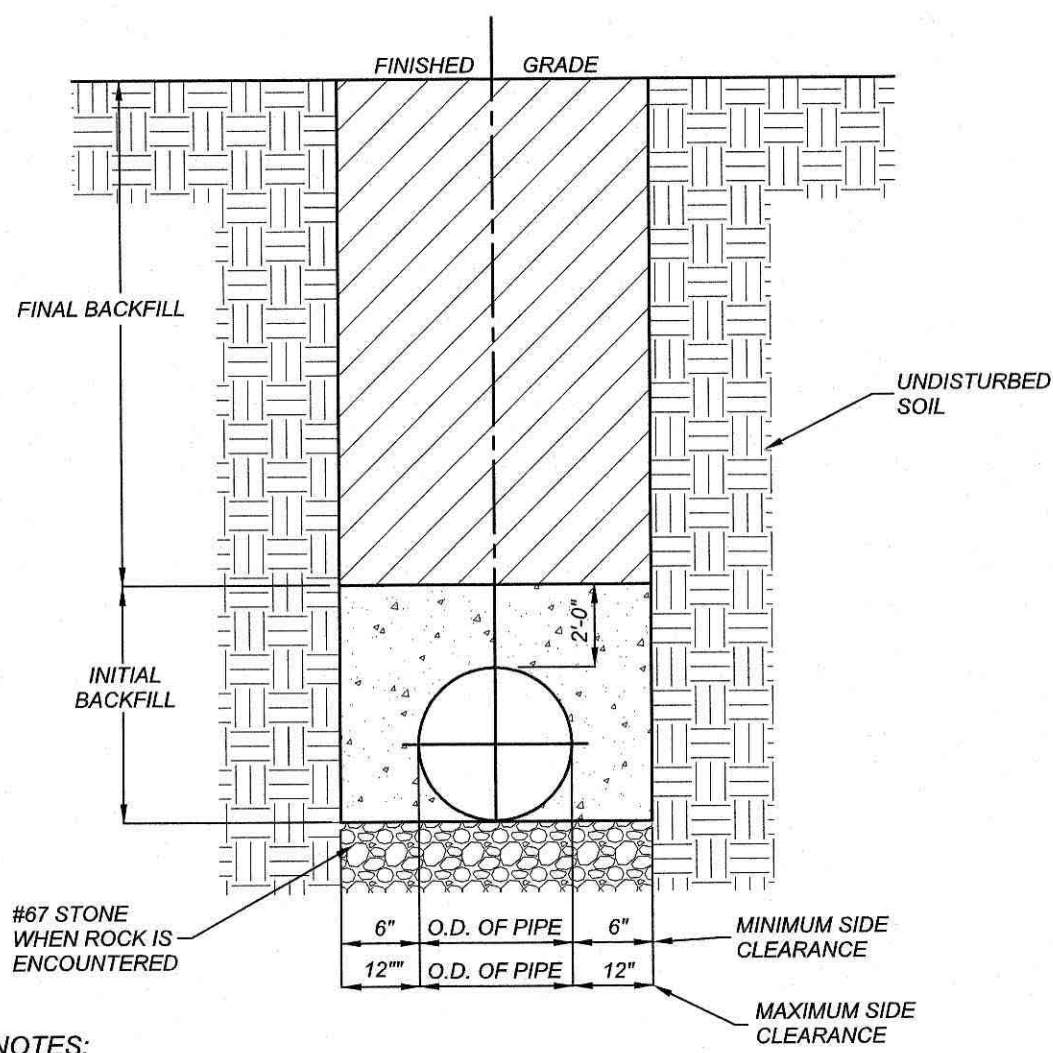
%OUT - Cookout2127 - Knoxville, TN\CAD\OUT\2127-DTL3.dwg, 3/10/2023 11:38:42 AM, trwsh



SANITARY SEWER CLEANOUT

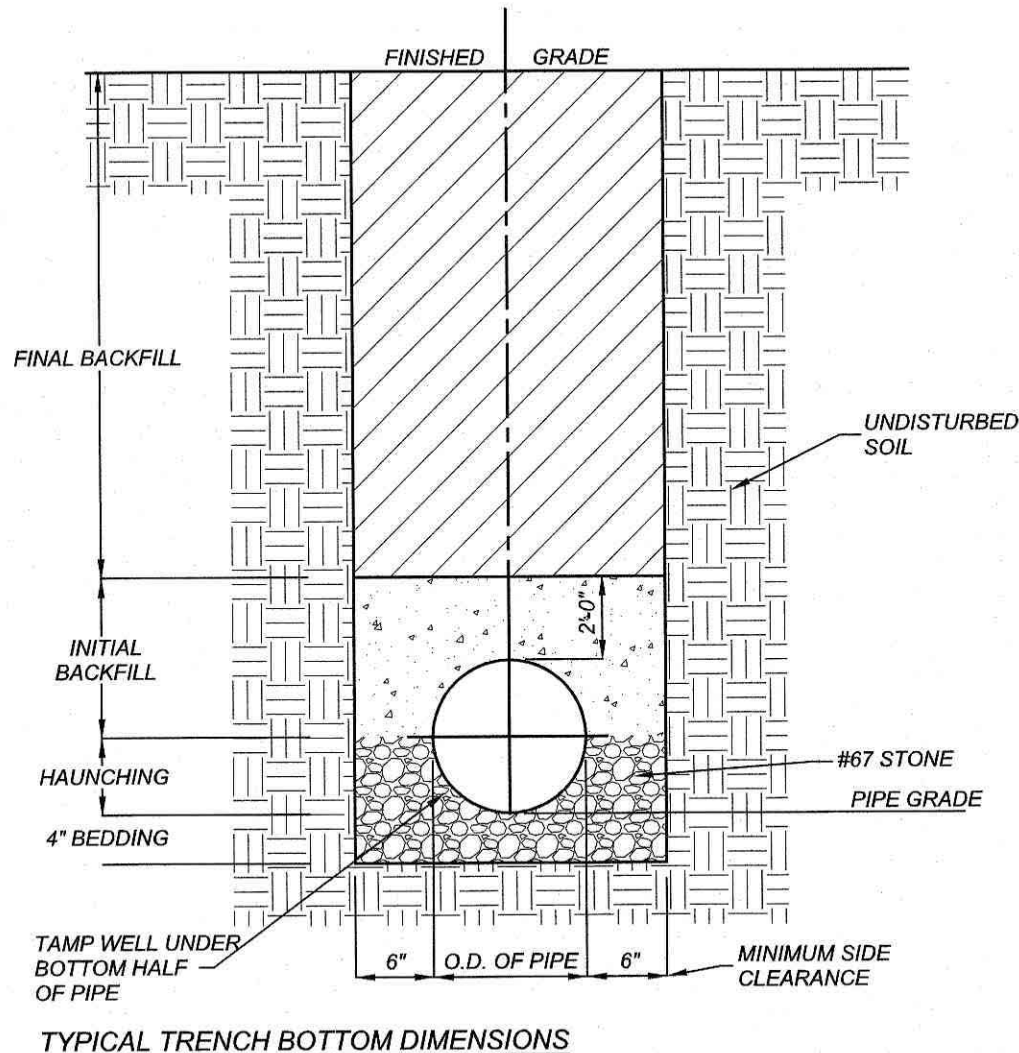


CLEANOUT COVER ASSEMBLY TRAFFIC AREA



- NOTES:
1. TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8"-10" IN NON-TRAFFIC AREAS.
 5. ACHIEVE 80% COMPACTION IN NON-TRAFFIC AREAS, AND 95% COMPACTION IN TRAFFIC AREAS.
 6. IF IN EASEMENT 4" TOPSOIL, AND 12" CLEAN SELECT FILL IS REQUIRED.
 7. NO BOULDERS 8" IN DIAMETER OR GREATER ALLOWED.

TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR DUCTILE IRON AND REINFORCED CONCRETE PIPE

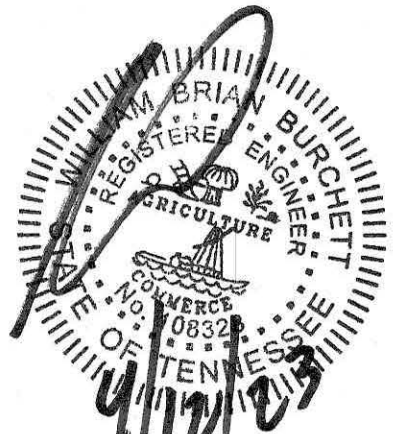
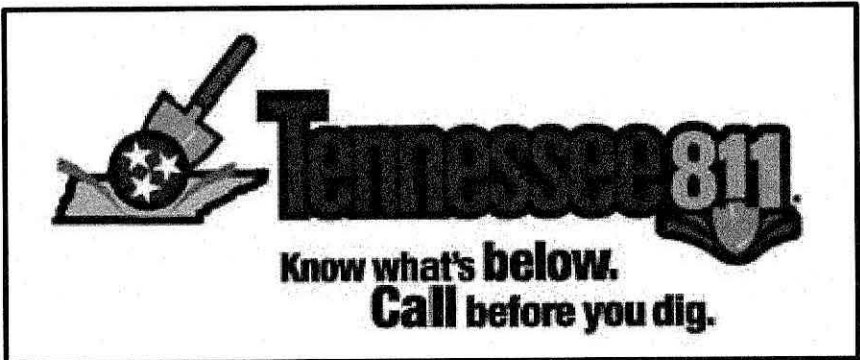


- TYPICAL TRENCH BOTTOM DIMENSIONS FOR SDR 35 PVC GRAVITY PIPE
1. FOR TRENCHES REQUIRING SHORING AND BRACING, DIMENSIONS SHALL BE TAKEN FROM THE INSIDE FACE OF THE SHORING AND BRACING.
 2. NO ROCKS OR BOULDERS 4" OR LARGER TO BE USED IN INITIAL BACKFILL.
 3. ALL BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR MAXIMUM DRY DENSITY.
 4. BACKFILL SHALL BE TAMPED IN 6" LIFTS IN TRAFFIC AREAS, 8"-10" IN NON-TRAFFIC AREAS.

TRENCH BOTTOM DIMENSIONS & BACKFILLING REQUIREMENTS FOR PVC GRAVITY SEWER MAIN


TRENCH DETAILS

6-B-23-SU
4/24/2023



24 HOUR CONTACT
JOHN ARMFIELD
CONSTRUCTION MANAGER
TELEPHONE: (336) 279-3242

REVISIONS			
NO.	DATE	DESCRIPTION	BY



COMMERCIAL
SITE DESIGN

A Sambatek Company
(919) 848-4021 FAX: (919) 848-2741
WWW.CSTEDDESIGN.COM

8912 CREEDMOOR ROAD
RALEIGH, NORTH CAROLINA 27613

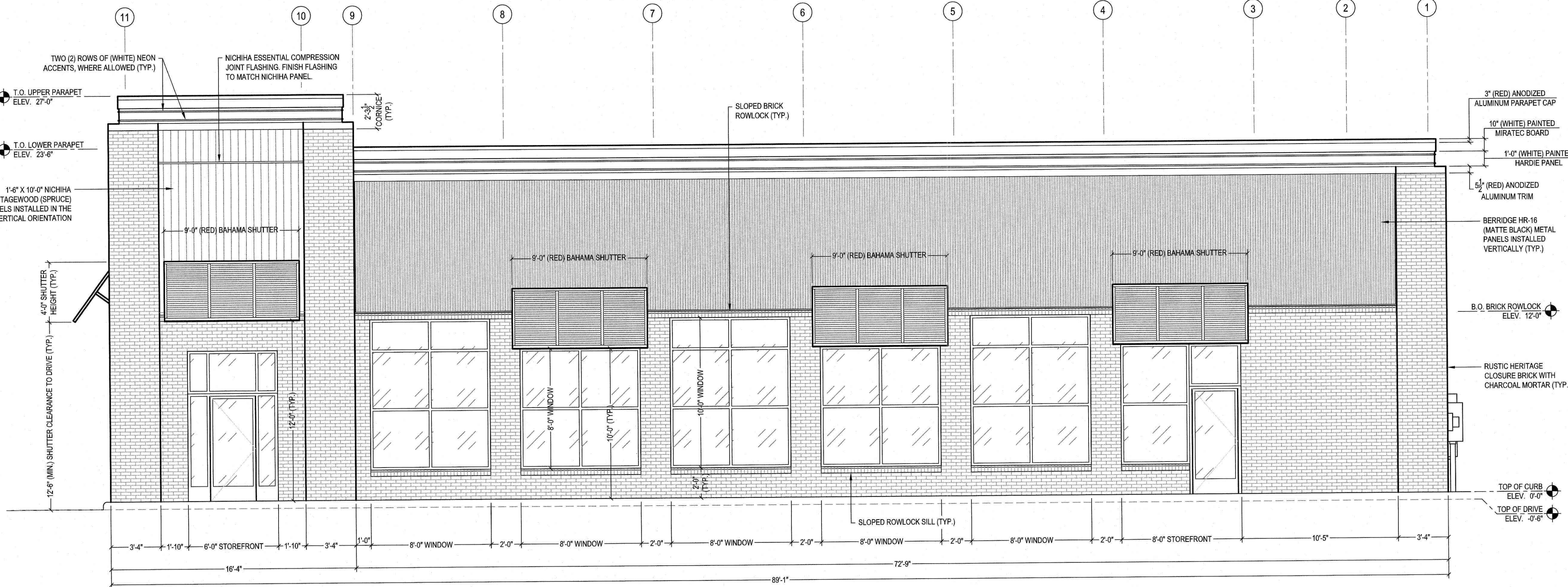
CLIENT/OWNER:
COOK OUT
15 LAURA LANE, SUITE 300
THOMASVILLE, NC 27380
TELEPHONE: (336) 215-7025
FAX: (336) 474-1649



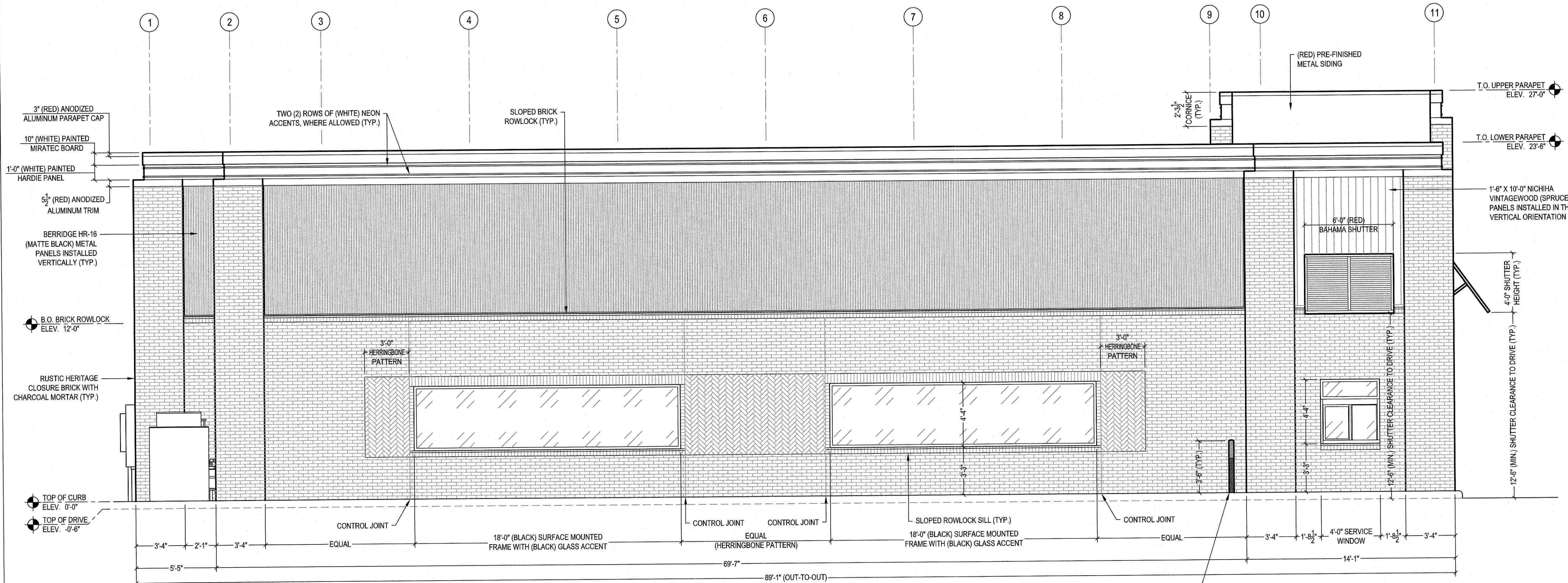
FRESH HAMBURGERS

2900 N. BROADWAY
KNOXVILLE, TENNESSEE

PROJECT NO.	OUT-2127
FILENAME:	OUT2127-DTL3
DRAWN BY:	STH
SCALE:	N.T.S.
DATE:	12-22-2022
SHEET NO.	C-9



1 RIGHT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH DESIGNATIONS

BRICK VENEER SPECIFICATION:

MANUFACTURER: STATESVILLE BRICK CO.
BRICK SERIES: RUSTIC HERITAGE CLOSURE BRICK
MORTAR COLOR: AUTHENTIC TUMBLER SERIES CHARCOAL (TYPE 5)



NICHIHA ARCHITECTURAL WALL PANEL SPECIFICATION:

PANEL SERIES: VINTAGEWOOD
FINISH / COLOR: MATTE / SPRUCE
PANEL ORIENTATION: VERTICAL
MATERIAL TYPE: FIBER CEMENT



BERRIDGE MANUF. CO. METAL WALL PANEL SPECIFICATION:

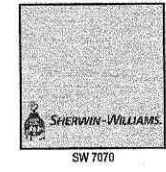
PANEL SERIES: BERRIDGE HR-16 PANEL
FINISH / COLOR: MATTE BLACK
PANEL ORIENTATION: VERTICAL
MATERIAL TYPE: 7/8" 22 GAUGE CORRUGATED METAL

PAINT COLOR DESIGNATIONS

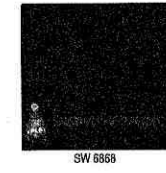
PLAN COLOR: BLACK
MANUFACTURER: SHERWIN-WILLIAMS
PRODUCT NUMBER: SW 699
PRODUCT NAME: CAVAR
PAINT FINISH: FLAT



PLAN COLOR: WHITE
MANUFACTURER: SHERWIN-WILLIAMS
PRODUCT NUMBER: SW 7070
PRODUCT NAME: SITE WHITE
PAINT FINISH: FLAT



PLAN COLOR: RED
MANUFACTURER: SHERWIN-WILLIAMS
PRODUCT NUMBER: SW 6888
PRODUCT NAME: REAL RED
PAINT FINISH: FLAT



PRODUCT CONTACT INFORMATION

NICHIHA:

CONTACT NAME: MATT STEPHENSON
EMAIL ADDRESS: MSTEPHENSON@NICHIHA.COM
PHONE NUMBER: 770.789.8228
WEBSITE: WWW.NICHIHA.COM

SCOTT STONE, INC.:

CONTACT NAME: RANDY CLAYTON
EMAIL ADDRESS: RANDY.CLAYTON@SCOTTSTONE.COM
PHONE NUMBER: 919.563.3469
WEBSITE: WWW.SCOTTSTONE.COM

STATESVILLE BRICK CO.:

CONTACT NAME: SCOTT RANKIN
EMAIL ADDRESS: BRICKSALES@STATESVILLEBRICK.COM
PHONE NUMBER: 704.872.4123
WEBSITE: WWW.STATESVILLEBRICK.COM

GENERAL NOTES

- ALL WORK SHALL BE INSTALLED TO MEET CURRENT STATE AND LOCAL BUILDING CODE REQUIREMENTS, LATEST REVISION.
- GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS AND EQUIPMENT DAILY DURING PROJECT DURATION.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WITH PLUMBING, MECHANICAL, ELECTRICAL, STRUCTURAL, AND CIVIL PLANS FOR ADDITIONAL WORK THAT MAY OR MAY NOT BE SHOWN ON THIS DRAWING.
- VERIFY ALL FINISHES, PAINT COLORS, ETC. WITH OWNER PRIOR TO INSTALLATION OR APPLICATION.
- CONTRACTOR SHALL BE RESPONSIBLE TO INFORM OWNER OF ALL SPECIFIED MATERIALS THAT ARE UNAVAILABLE DUE TO SHORTAGES OR OTHER LACK OF MATERIAL ACCESSIBILITY.
- ALL WINDOW AND STOREFRONT FRAMES SHALL BE CLEAR ANODIZED (BLACK) ALUMINUM.

PROJECT LOCATION IS IN A WIND-BORNE
DEBRIS REGION. CONTRACTOR IS TO ENSURE
WINDOWS AND DOORS ARE RATED AND
INSTALLED ACCORDINGLY.

6-B-23-SU
4/24/2023

REV.	DATE	DESCRIPTION
0	03/2023	PRELIMINARY FOR REVIEW

STAMP



COOK-OUT

Sign Package
2900 N Broadway
Knoxville, TN 37917



1465 Ladonia Church Road
Mt. Airy, NC 27030
336-352-4300
www.mmsigns.com
mmsigns@surry.net

6-B-23-SU
Received 6/1/2023

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Specifications:

One (1) 30" -34.1" H x 195.588" W Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.

Dimensions: 30" - 34.1" H x 195.588" W
Total Sq Ft: 40.75"

Spatula to be attached to channel letters as one continuous sign
Preliminary Drawings Only



1465 Ladonia Church Rd,
Mount Airy, NC 27030
336-352-4300

6-B-23-SU

Received 6/1/2023



Colors: (If Applicable)

	PMS 185c
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

Anthony Love

Date Issued:

3/20/2023

Sales:

Dale Golding

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Specifications:

One (1) 60" H x 104.4" W Stacked Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.

Dimensions: 60" H x 104.4" W
Total Sq Ft: 43.5"

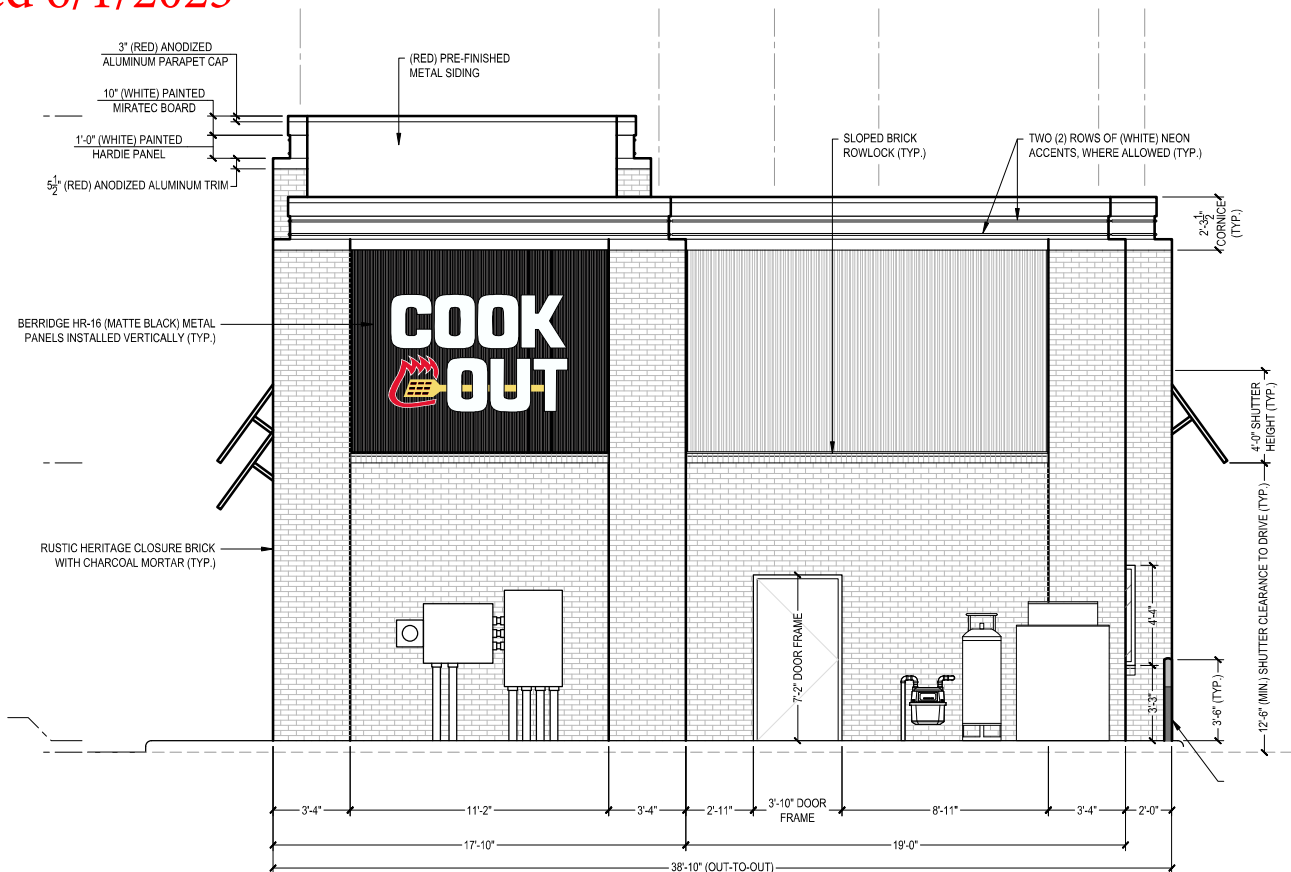
Spatula to be attached to channel letters as one continuous sign
Preliminary Drawings Only



1465 Ladonia Church Rd,
Mount Airy, NC 27030
336-352-4300

6-B-23-SU

Received 6/1/2023



Colors: (If Applicable)

	PMS 185c
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

Anthony Love

Date Issued:

3/20/2023

Sales:

Dale Golding

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Specifications:

One (1) 37" - 42.05" H x 241.187" W Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.

Dimensions: 37" - 42.05" H x 241.187" W
Total Sq Ft: 61.97"

Spatula to be attached to channel letters as one continuous sign
Preliminary Drawings Only



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Mount Airy, NC 27030
336-352-4300

6-B-23-SU

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Colors: (If Applicable)

	PMS 185c
	Black
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Location:

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Colors: (If Applicable)

	PMS 185c
	Black
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

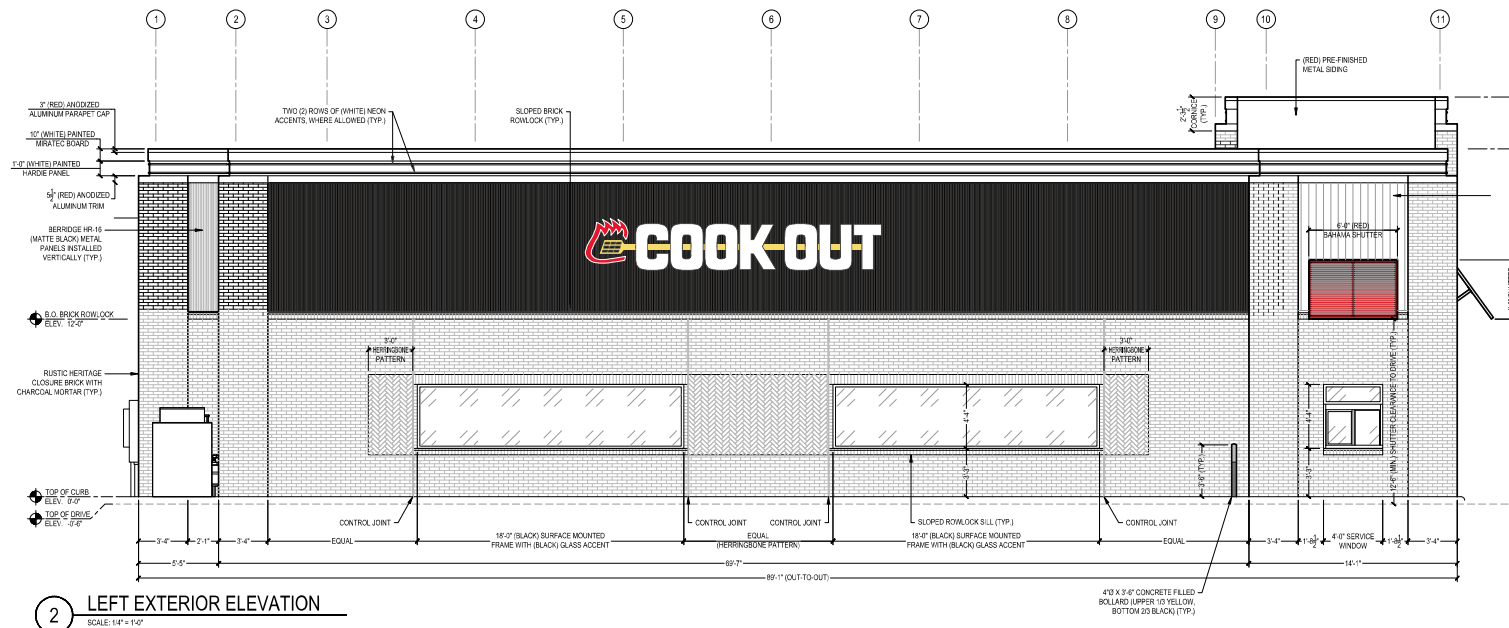
Anthony Love

Date Issued:

3/20/2023

Sales:

Dale Golding



One (1) 30" - 34.1" H x 247.497" W Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.
 Dimensions: 30" - 34.1" H x 195.588" W
 Total Sq Ft: 40.75"

One (2) 37" - 42.05" H x 241.187" W Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.
 Dimensions: 37" - 42.05" H x 241.187" W
 Total Sq Ft: 61.97"

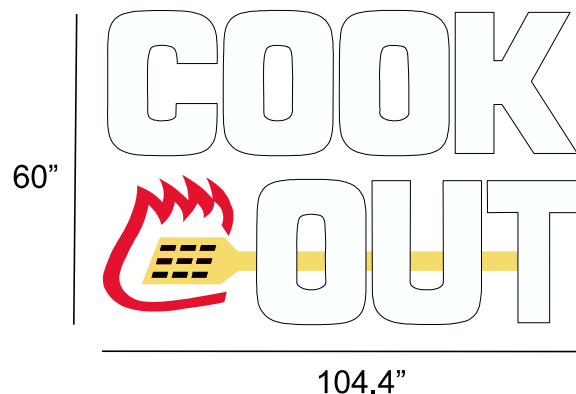
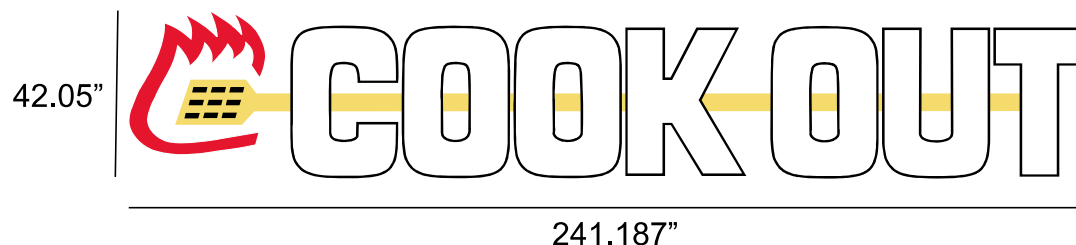
One (1) 60" H x 104.4" W Stacked Remote Cookout channel letters with white returns, white jewelite, and white faces, and flame to have red returns, white jewelite, and red faces. Spatula to have white return, white jewelite and gold faces using 3M Translucent graphic film 3630-131, Gold Metallic.
 Dimensions: 60" H x 104.4" W
 Total Sq Ft: 43.5"

Spatula to be attached to channel letters as one continuous sign



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Preliminary Drawings Only



Colors: (If Applicable)

	PMS 185c
	Black
	White
	3M 3630-131 Metallic Gold

Location:

N Broadway, Knoxville, TN

Drawn By:

Anthony Love

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