

SITE PLAN DESIGN NOTES & KEY PLAN

- 1 PAINTED DIRECTIONAL ARROW
- 2 PAINTED DRIVE-THRU GRAPHICS
- 3 PAINTED STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBILITY PARKING SYMBOL
- 5 ACCESSIBLE PARKING STALL
- 5A 60" PARKING STALL
- 5B 90" PARKING STALL
- 6 DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)
- 6A "STOP" SIGN (SEE SIGNAGE PACKAGE)
- 6B "ACCESSIBLE PARKING" SIGN (SEE SIGNAGE PACKAGE)
- 6C "CURBSIDE DELIVERY" (SEE SIGNAGE PACKAGE)
- 6D "RIGHT-TURN-ONLY" SIGN (SEE SIGNAGE PACKAGE)
- 6E "ONE-WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)
- 6F "LEFT-TURN-ONLY" SIGN (SEE SIGNAGE PACKAGE)
- 6G "PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE)
- 6H "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE)
- 6I "NO PARKING" SIGN (SEE SIGNAGE PACKAGE)
- 6J "TWO-ORDER-LANES" SIGN (SEE SIGNAGE PACKAGE)
- 6K "LANES-MERGE" SIGN (SEE SIGNAGE PACKAGE)
- 7 SIDEWALK ACCESSIBLE RAMP
- 8 CURB-RAMP WITH FLARED SIDES
- 8A CURB-RAMP WITH SHORT FLARED SIDES
- 9 RETURNED CURB ACCESSIBLE RAMP
- 10 TRUNCATED DOMES - CAST-IN-PLACE
- 11 TYPICAL CONCRETE SIDEWALK
- 12 SIDEWALK WITH CURB & GUTTER SECTION
- 13 DRIVE-THRU PLAN
- 14 DRIVE-THRU ISOMETRIC
- 15 SOLID-PLASTIC WHEEL STOP
- 16 LANDSCAPE & IRRIGATION PROTECTOR
- 17A SPILLING 24" CONCRETE CURB & GUTTER
- 17B CATCHING 24" CONCRETE CURB & GUTTER
- 17C DEPRESSED-SPILLING-24" CONCRETE CURB & GUTTER
- 17D DEPRESSED-CATCHING-24" CONCRETE CURB & GUTTER
- 18 ROLL-OVER/MOUNTABLE CURB
- 19 SCREENED REFUSE ENCLOSURE
- 19A SCREENED-REFUSE-ENCLOSURE-STAGGERED
- 19B SCREENED-REFUSE-ENCLOSURE-ALTERNATE DRAINAGE
- 20 CONCRETE BOLLARD
- 21 TYPICAL PAVEMENT SECTION
- 21B TYPICAL PAVEMENT SECTION - HEAVY DUTY
- 22 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- 23 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT
- 24 CONCRETE APRON @ TRASH ENCLOSURE
- 25 CONCRETE PAVING DRIVE-THRU LANE
- 25A CONCRETE PAVING CAR PARKING
- 26 ALUMINUM HANDRAIL
- 27 TYPICAL ADA-RAMP-AND-HANDRAIL
- 28 CONTRACTION JOINT
- 29 KEYED CONSTRUCTION JOINT
- 30 LONGITUDINAL BUTT JOINT
- 31 EXPANSION JOINT
- 32 MULTI-LANE DIRECTIONAL GRAPHICS
- 33 PAINTED CROSS WALK
- 34 MENU BOARD & CANOPY ORDERING STATION
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 5'x5' LANDING AND ENTRY DOOR FROST SLAB
- 37 GREASE TRAP (SEE PLUMBING PLAN)
- 38 ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
- 39 LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- 40 CLEARANCE BAR (SEE SIGNAGE PACKAGE)
- 41 PAVEMENT STRIPING AREA
- 42 THICKENED SLAB EDGE AT RAILING CORE-DRILLS
- 43 CONCRETE FLUME
- 44 EX-/ASPHALT-PROP./CONCRETE-INTERFACE
- 45 EX-/PROP. ASPHALT INTERFACE
- 46 EX-/PROP.-CONCRETE-INTERFACE
- 47 SINGLE BIKE RACK
- 48 TRANSFORMER
- 49 CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)
- 50 FLAGPOLE, 50' (SEE SIGNAGE PACKAGE)
- 51 RETAINING-WALL WITH HANDRAIL ON TOP (HANDRAIL SIMILAR TO DETAIL 26/C-426)
- 52 OUTDOOR PATIO SPACE. SEE ARCHITECTURAL PLANS SHEET A-101
- 53 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 54 4" THICK CONCRETE STRIP BETWEEN CURBS
- 55 4" WIDE PAINT STRIPE
- 56 CURB & GUTTER AT ACCESSIBLE RAMP
- 57 CASH STATION LOCATION

- DETAIL 1/C-400
- DETAIL 2/C-400
- DETAIL 3/C-400
- DETAIL 4/C-400
- DETAIL 5/C-400
- DETAIL 5/C-400
- DETAIL 5/C-400
- DETAIL 5/C-400
- DETAIL 6/C-400
- DETAIL 6A/C-400
- DETAIL 6B/C-400
- DETAIL 6C/C-400
- DETAIL 6D/C-400
- DETAIL 6E/C-400
- DETAIL 6F/C-400
- DETAIL 6G/C-400
- DETAIL 6H/C-400
- DETAIL 6I/C-400
- DETAIL 6J/C-400
- DETAIL 6K/C-400
- DETAIL 7/C-400
- DETAIL 8/C-400
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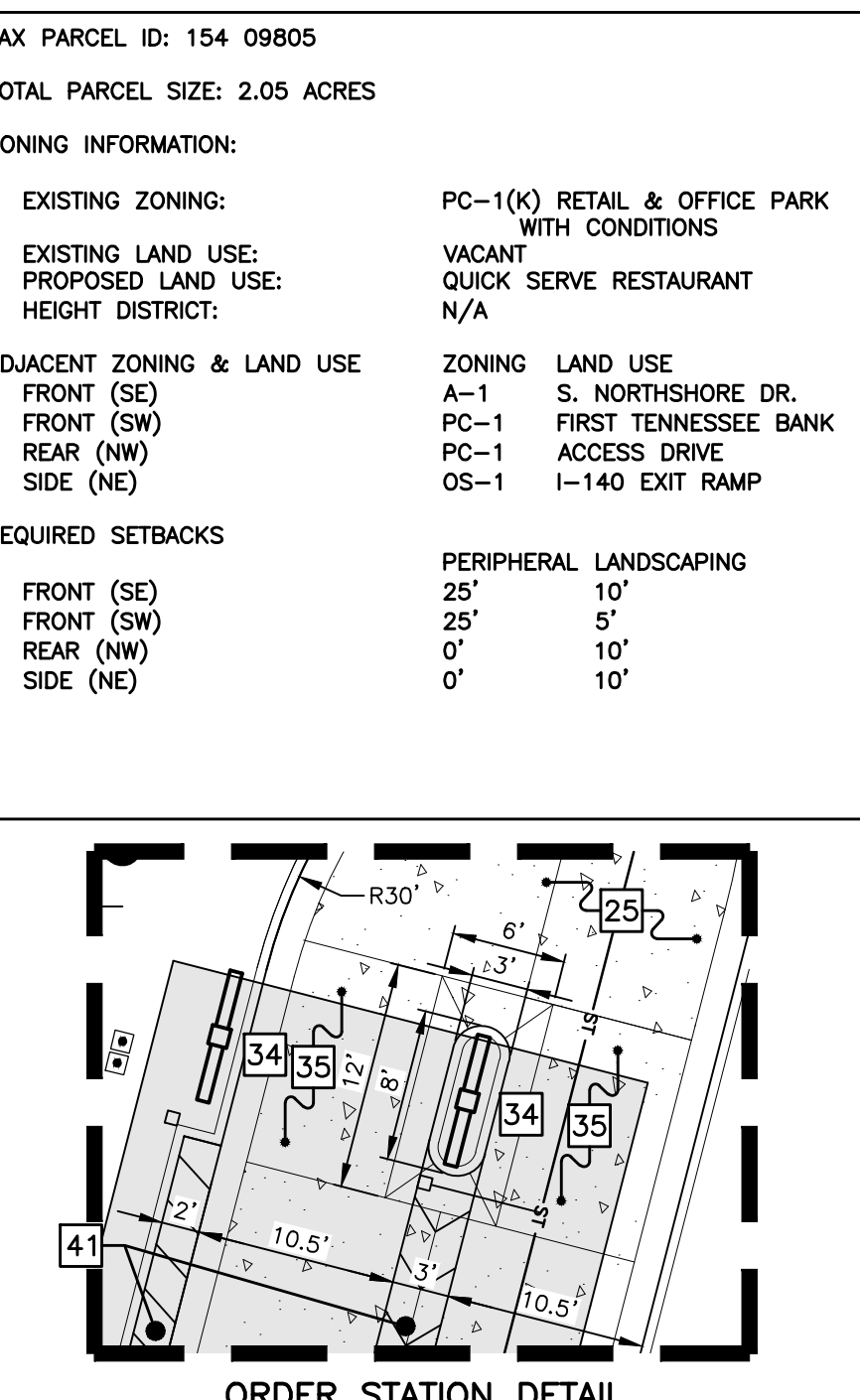
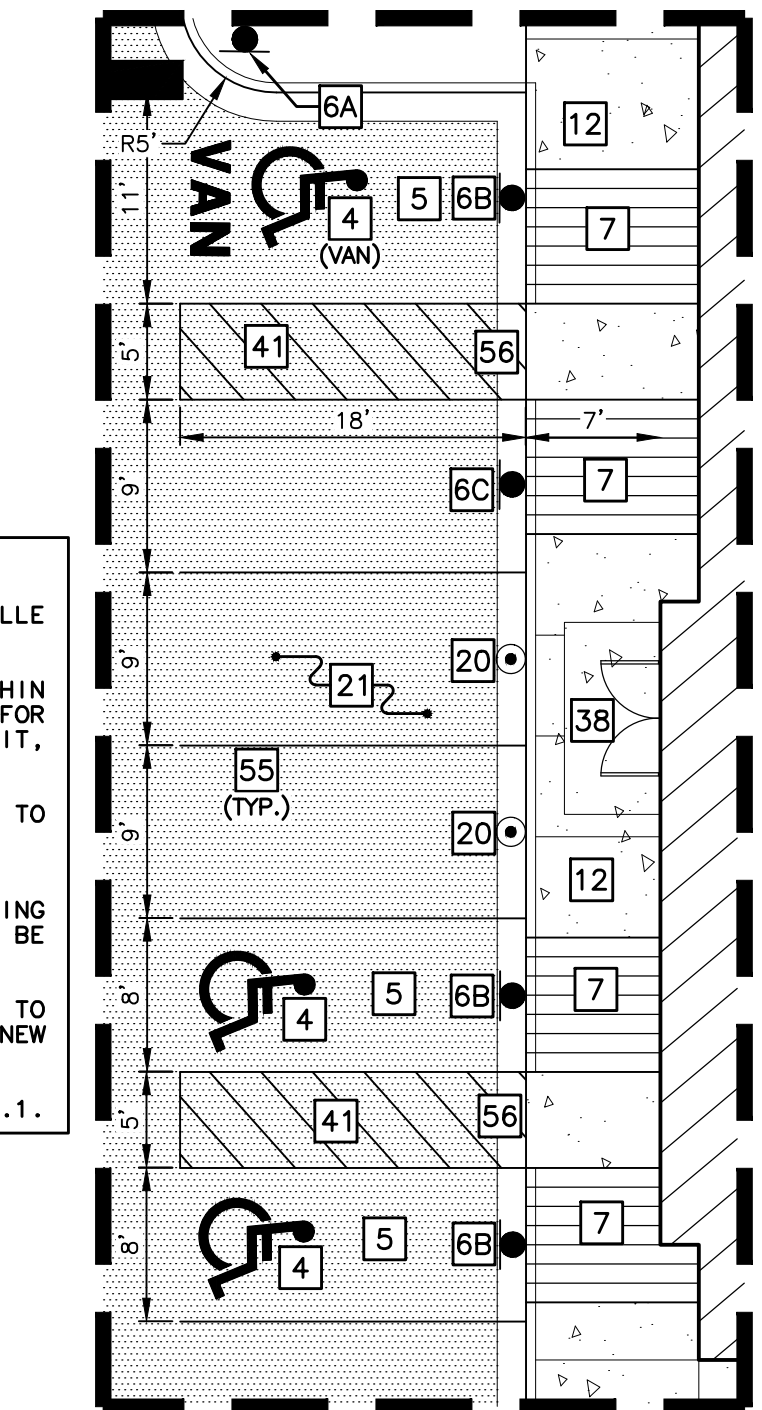
CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT OR CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE PROJECT BID.

- NOTES:
- LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE KNOXVILLE TREE PROTECTION ORDINANCE.
 - CONTRACTOR TO OBTAIN A TRAFFIC CONTROL PERMIT FOR WORK WITHIN THE ROADWAY. CONTACT THE CIVIL ENGINEERING DEPARTMENT FOR REQUIREMENTS AND TO OBTAIN A TRAFFIC CONTROL PERMIT, 865-215-6100.
 - A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT. CONTACT CITY ENGINEERING AT 865-215-2148 TO SCHEDULE.
 - ANY EXISTING CONCRETE CURB AND GUTTER THAT IS DAMAGED DURING CONSTRUCTION OR IS IN DISREPAIR AFTER CONSTRUCTION IS TO BE REPLACED PER CITY STANDARD DETAIL.
 - CONTRACTOR TO SMOOTH OR MILL ALL EXISTING PAVEMENT PRIOR TO REMOVAL. A CLEAN EDGE MUST BE AT ALL EXISTING PAVEMENT/NEW PAVEMENT INTERFACES.
 - SEE CONCRETE CURB/ASPHALT PAVEMENT INTERFACE DETAIL ON C-5.1.

CONTACT FIRE MARSHAL'S OFFICE, 865-215-2283, FOR INFORMATION REGARDING THE KNOX BOX.

SUBJECT PARCEL DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP 47093C0380F DATED MAY 2, 2007.

THE PERIPHERAL SETBACK ALONG NORTHSHORE DRIVE IS 25'. THERE WAS A VARIANCE APPROVED 2/17/2011 THAT REDUCED THE PERIPHERAL FROM 50' TO 25' (2-D-11-VA). THIS IS THE SAME MEETING THAT REDUCED THE 1-140 PERIPHERAL



INTERSTATE 140
PELLISSIPPI PARKWAY
VARIABLE WIDTH PUBLIC R.O.W.

TAX PARCEL ID: 154 09805
TOTAL PARCEL SIZE: 2.05 ACRES

EXISTING ZONING: PC-1(K) RETAIL & OFFICE PARK WITH CONDITIONS
VACANT QUICK SERVE RESTAURANT
ADJACENT ZONING & LAND USE: A-1 S. NORTHSHORE DR. PC-1 FIRST TENNESSEE BANK PC-1 ACCESS DRIVE OS-1 I-140 EXIT RAMP

REQUIRED SETBACKS:
FRONT (SE) 25'
FRONT (SW) 25'
REAR (NW) 0'
SIDE (NE) 0'

PERIPHERAL LANDSCAPING:
FRONT (SE) 25' 10'
FRONT (SW) 25' 5'
REAR (NW) 0' 10'
SIDE (NE) 0' 10'

BUILDING DIMENSIONS (SEE SITE LAYOUT PLAN)
SQUARE FOOTAGE AREA (GROSS) 4,999 S.F.
NUMBER OF SEATS 120 INDOOR SINGLE/ONE (1)
NUMBER OF STORIES 1

PARKING SUMMARY: PROPOSED CONDITIONS REQUIREMENT:
MINIMUM: 6 SPACES PER 1,000 S.F.
MAXIMUM: 12 SPACES PER 1,000 S.F.
TOTAL PARKING SPACES REQUIRED FOR CHICK-FIL-A:
MINIMUM: (4,999 S.F. / 1,000) X 6 = 30 MINIMUM
MAXIMUM: (4,999 S.F. / 1,000) X 12 = 60 MAXIMUM + 20% ADDITIONAL FOR PVIOUS PAVEMENT = 72 MAXIMUM

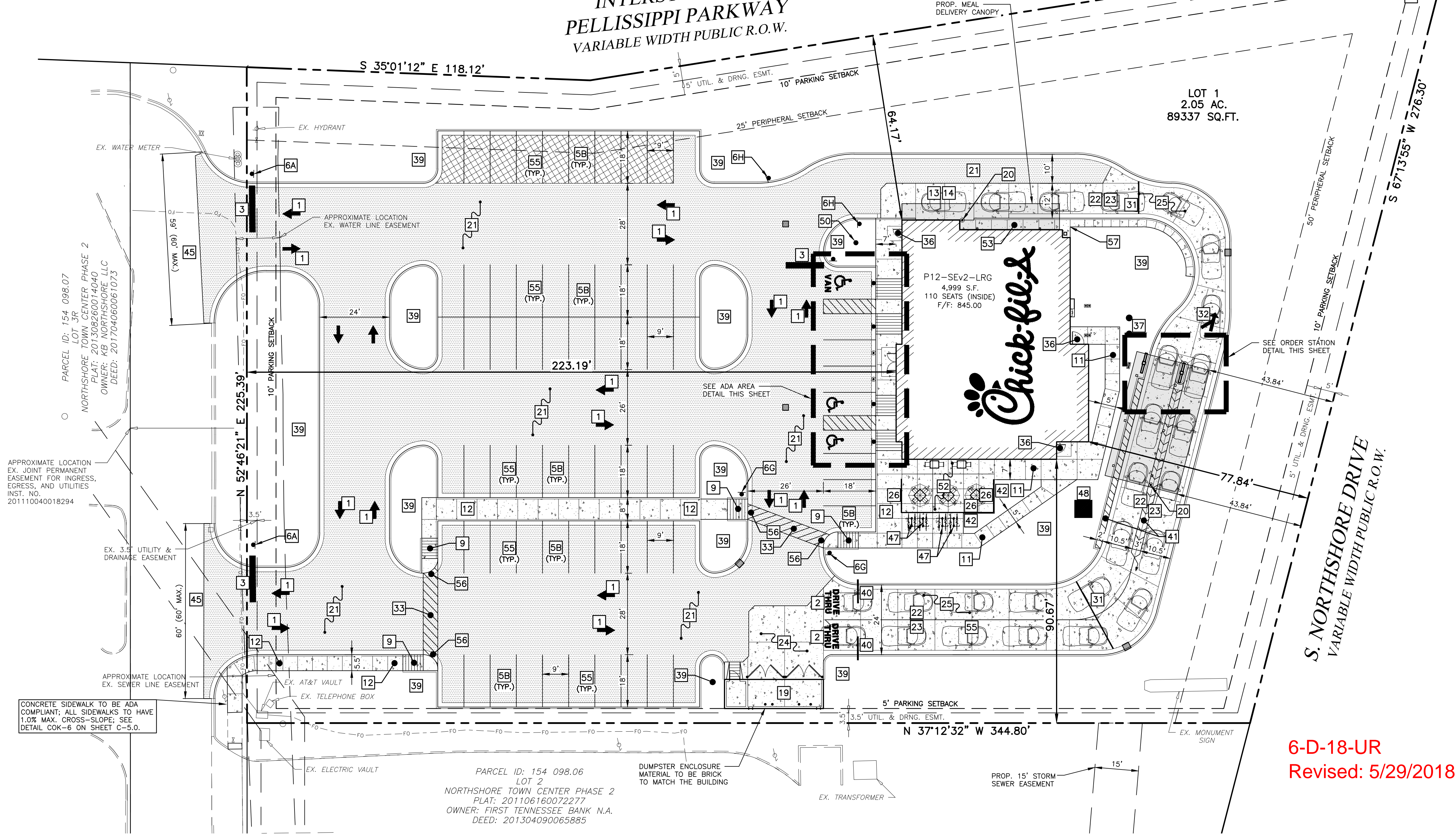
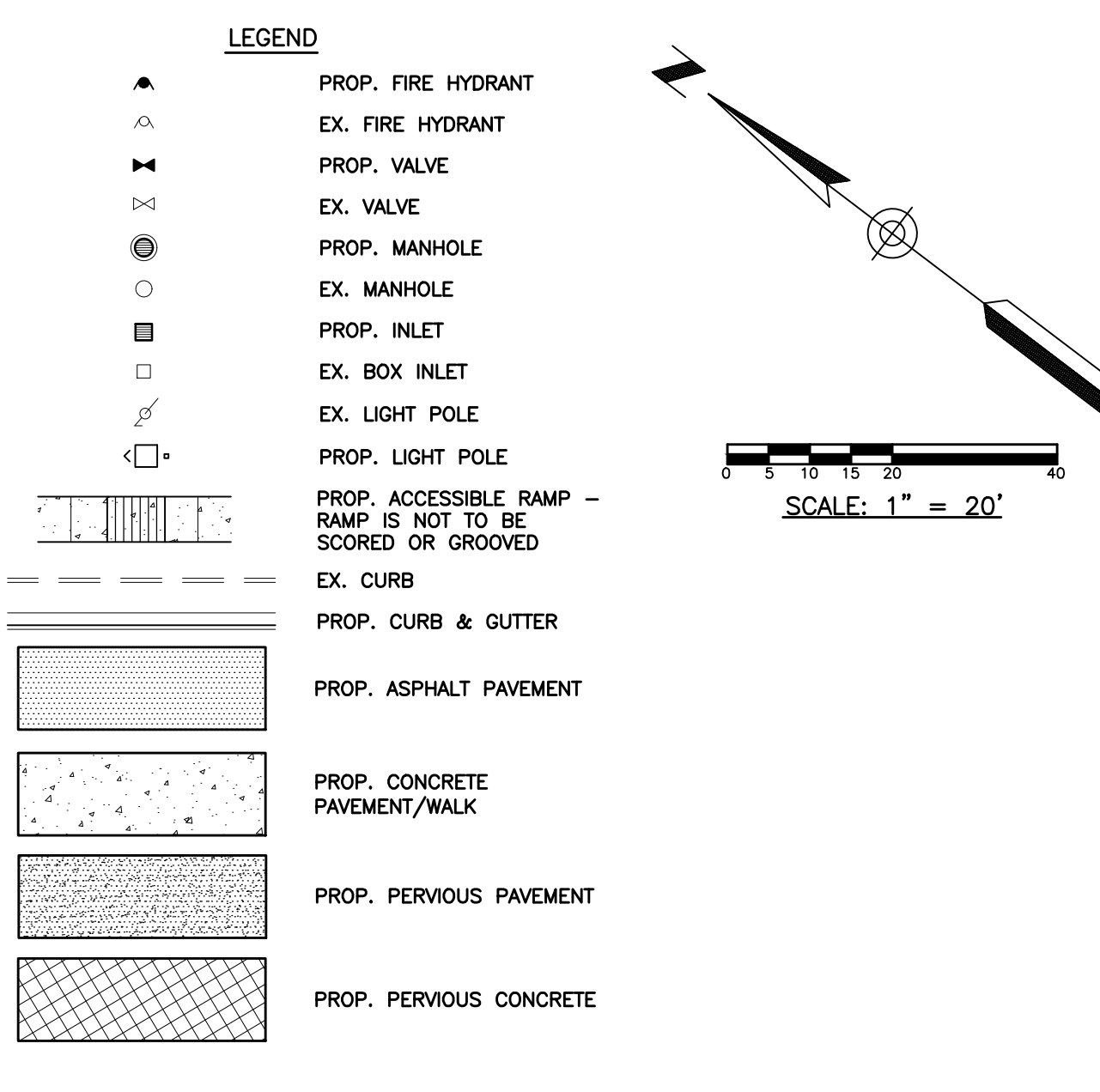
PARKING SPACES PROVIDED:
STANDARD SPACES = 66 BIKE = 8
ACCESSIBLE SPACES = 3
TOTAL = 69

PARKING SPACE DIMENSIONS:
90 DEGREE STALLS 9'x17.5' PROVIDED 9'x18' N/A
60 DEGREE STALLS 9'x18' PROVIDED N/A

DRIVE AISLE DIMENSIONS:
90 DEGREE (ONE WAY & TWO WAY) 26' PROVIDED 26' N/A
60 DEGREE (ONE WAY) 18' PROVIDED 18' N/A

EXISTING AREA TABULATION:
IMPERVIOUS AREA: BUILDINGS = 0 S.F., ASPHALT PAVEMENT = 0 S.F., CONCRETE PAVEMENT = 0 S.F., SUBTOTAL = 0 S.F. (0.00%)
PERVIOUS AREA: LANDSCAPE/PLANTING = 89,337 S.F. (100.00%)
TOTAL AREA = 89,337 S.F. (2.05 AC.)

NEW DEVELOPMENT AREA TABULATION:
IMPERVIOUS AREA: BUILDINGS = 4,999 S.F., ASPHALT PAVEMENT = 28,902 S.F., CONCRETE PAVEMENT = 15,881 S.F., SUBTOTAL = 49,782 S.F. (55.72%)
PERVIOUS AREA: LANDSCAPE/PLANTING = 38,240 S.F., PERVIOUS CONCRETE = 1,315 S.F., SUBTOTAL = 39,555 S.F. (44.28%)
TOTAL AREA = 89,337 S.F. (2.05 AC.)



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Pond Dr.
Akron, OH 44320-1123
Phone 330-856-0228 Fax 330-856-5782

CHICK-FIL-A
NORTHSHORE TOWN CENTER FSU
KNOXVILLE, TN

FSU# 04182

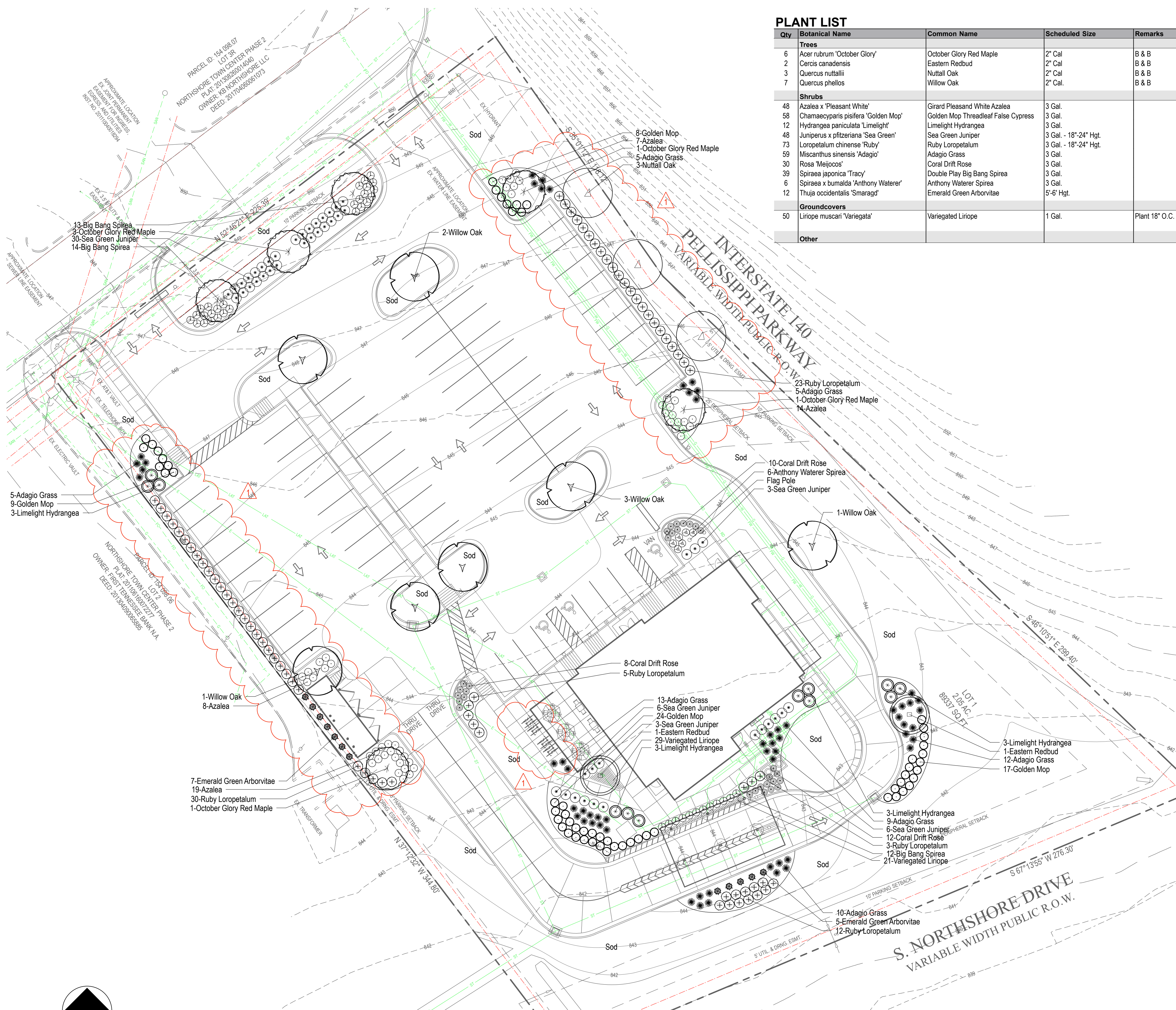
REVISION SCHEDULE		DESCRIPTION
NO.	DATE	

GBC PROJECT # 50245
PRINTED FOR
DATE 2/8/18
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SHEET
SITE PLAN

SHEET NUMBER
C-200



PLANT LIST

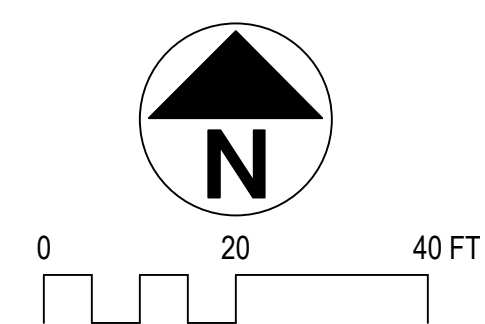
Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Trees				
6	Acer rubrum 'October Glory'	October Glory Red Maple	2" Cal	B & B
2	Cercis canadensis	Eastern Redbud	2" Cal	B & B
3	Quercus nuttalli	Nuttall Oak	2" Cal	B & B
7	Quercus phellos	Willow Oak	2" Cal.	B & B
Shrubs				
48	Azalea x 'Pleasant White'	Girard Pleasand White Azalea	3 Gal.	
58	Chamaecyparis pisifera 'Golden Mop'	Golden Mop Threadleaf False Cypress	3 Gal.	
12	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	3 Gal.	
48	Juniperus x pfitzeriana 'Sea Green'	Sea Green Juniper	3 Gal. - 18"-24" Hgt.	
73	Loropetalum chinense 'Ruby'	Ruby Loropetalum	3 Gal. - 18"-24" Hgt.	
59	Miscanthus sinensis 'Adagio'	Adagio Grass	3 Gal.	
30	Rosa 'Meijocosa'	Coral Drift Rose	3 Gal.	
39	Spiraea japonica 'Tracy'	Double Play Big Bang Spirea	3 Gal.	
6	Spiraea x bumalda 'Anthony Waterer'	Anthony Waterer Spirea	3 Gal.	
12	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5'-6" Hgt.	
Groundcovers				
50	Liriope muscari 'Variegata'	Variegated Liriope	1 Gal.	Plant 18" O.C.
Other				

LANDSCAPE NOTES

- SOUTHEAST**
- Landscape Contractor to read and understand the Landscape Specifications (sheet L-102) prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
 - Contractor is responsible for locating and protecting all underground utilities prior to digging.
 - Contractor is responsible for protecting existing trees from damage during construction.
 - All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
 - All tree protection areas to be protected from sedimentation.
 - All tree protection fencing to be inspected daily, and repaired or replaced as needed.
 - No parking, storage or other construction activities are to occur within tree protection areas.
 - All planting areas shall be cleaned of construction debris (ie. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
 - General Contractor is responsible for adding a min of 4" clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
 - In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
 - Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
 - Any deviations from the approved set of plans are to be approved by the Landscape Architect.
 - Landscaping shall be installed in conformance with ANSI Z60.1 the "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
 - Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
 - Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
 - Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Mulch annual and perennial beds with 2-3 inch depth of mini nuggets.
 - All shrubs beds (existing and new) to be mulched with a min. 3 inch layer of mulch (double shredded hardwood mulch).
 - Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2-3" above finish grade. Backfill planting pit with topsoil and native excavated soil.
 - Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V" trenched; see Landscape Details.
 - Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tire marks and indentions to be repaired.
 - Water thoroughly twice in first 24 hours and apply mulch immediately.
 - The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for Warranty requirements/expectations.
 - Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/expectations.
 - Site to be 100% irrigated in all planting beds and grass area by an automatic underground irrigation system. See Irrigation Plan L-200 for design. Irrigation as-built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
 - Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
 - Remove stakes and guying from all trees after one year from planting.

LANDSCAPE REQUIREMENTS

- A. TREE PROTECTION ORDINANCE**
- REQUIRED**
- Save a min. of 6 trees per acre or Replace trees at a rate of 8 trees per acre 2.05 acres x 8 = 16 trees total
 - Half of the required trees shall be selected from Group 1 trees. 16 x 50% = 8 group 1 trees.
- PROVIDED**
- Trees shall have a min. 2" caliper, measured 6" from the ground.
 - 18 trees provided: 6 Red Maple, 7 Willow Oak, 3 Nuttall Oak and 2 Redbud
 - 89% of the provided trees are from Group 1 trees: Red Maple, Nuttall Oak and Willow Oak.
- B. PARKING LOT PERIMETER**
- REQUIRED**
- Between parking lot and R.O.W there shall be a min. of 3 trees and 10 shrubs per 100 LF. East: 90 LF = 3 trees and 10 shrubs
 - Between parking lot and adjacent nonresidential zones shall provide a continuous hedge. min. 50% of the shrubs shall be evergreen.
- PROVIDED**
- East: 3 Nuttall oak and 23 Loropetalum
 - Continuous evergreen hedge of Loropetalum provided between the parking area and adjacent nonresidential property.



[Drawing Title]
Scale: 1" = 20 ft



CHICK-FIL-A
Northshore Town Center
Northshore
Knoxville, TN

FSU# 04182

NO.	DATE	DESCRIPTION
1	5/25/18	City Comments

MLD PROJECT # 2018079
PRINTED FOR
DATE 4.30.18
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SHEET
Landscape Plan

SHEET NUMBER
L-100

6-D-18-UR
Revised: 5/29/2018

DESIGN INTENT PACKAGE

NORTHSHORE TOWN CENTER

NORTHSHORE TOWN CENTER, KNOXVILLE, TN

STORE NUMBER

04182



PERSPECTIVE VIEW - ENTRY

PROTOTYPE	P12_SE LRG
VERSION	v2_18.03
TIER	TIER 1
BUILDING AREA	4999 SF
SEAT COUNT - INTERIOR	112
SEAT COUNT - EXTERIOR	16
SEATING TYPE	STANDARD
REGISTERS	4
DRIVE-THRU	YES
LEED	NOT CERTIFIED
LANDSCAPING	STANDARD
<u>OPTIONS:</u>	
RESTROOM	TWO FIXTURE
WATER FILTRATION	TYPE 1
PLAYGROUND	STANDARD
KITCHEN LAYOUT	STANDARD

DESIGN SIGN-OFF

DESIGN LEADER

DATE

6-D-18-UR
4/30/2018

DIP COVER SHEET - LRG - STUCCO

04182, NORTHSHORE TOWN CENTER, NORTHSHORE TOWN CENTER, KNOXVILLE, TN

04/12/2018

THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.



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PERSPECTIVE VIEW - Stucco - REAR RIGHT

EXECUTIVE SUMMARY

EXTERIOR MODIFICATIONS
NONE

INTERIOR MODIFICATIONS
NONE

FRONT OF HOUSE MODIFICATIONS
NONE

BACK OF HOUSE MODIFICATIONS
NONE



PERSPECTIVE VIEW - Stucco - FRONT LEFT



PERSPECTIVE VIEW - Stucco - REAR LEFT

PERSPECTIVE VIEWS - STUCCO

04182, NORTHSHORE TOWN CENTER, NORTHSHORE TOWN CENTER, KNOXVILLE, TN

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6-D-18-UR
4/30/2018

04/12/2018

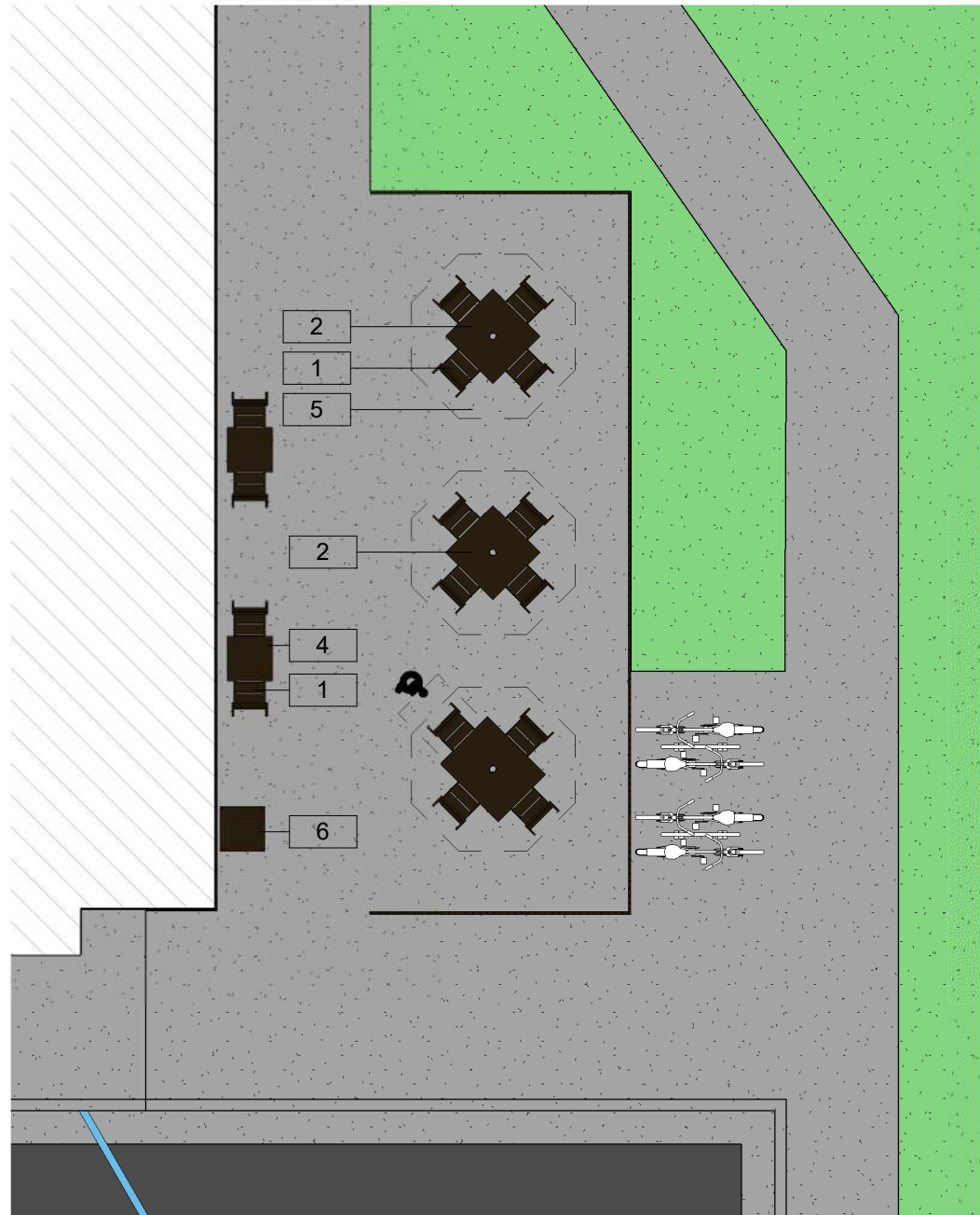


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PATIO SEATING SCHEDULE - LRG

Mark	Type	Count	Manufacturer	Model	Width	Depth	Height	Material	Finish
1	Patio Chair	16	Benchmark Design Group	BAJA SIDE STACK (2012)					
2	Patio Table - 4 Top	2	Benchmark Design Group	TAB3055-3636-AAL-WJ-UH-BDT	3'-0"	3'-0"	2'-5 1/4"	Aluminim - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
3	Patio Table - 4 Top - ADA	1	Benchmark Design Group	TAB3055-3644-AAL-WJ-UH-BDT	3'-8"	3'-0"	2'-5 1/4"	Aluminim - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
4	Patio Table - 2 Top	2	Benchmark Design Group	TAB3055-2424-AAL-WJ-BDT	2'-0"	2'-0"	2'-5 1/4"	Aluminim - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
5	Patio Umbrella	3	Benchmark Design Group	OCEAN MASTER PARASOL					
6	Trash Receptacle	1	Benchmark Design Group	CFA-AL-2444	2'-0"	2'-0"	3'-11"	Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)

6-D-18-UR
4/30/2018



DINING PATIO PLAN - LRG - DIP

1/8" = 1'-0"



PERSPECTIVE VIEW - DINING PATIO - LRG

PATIO PLAN - LRG



EXTERIOR ELEVATIONS - STUCCO

04182, NORTHSHORE TOWN CENTER, NORTHSHORE TOWN CENTER, KNOXVILLE, TN

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6-D-18-UR

4/30/2018

04/12/2018



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EXTERIOR CANOPY SCHEDULE - SE LRG

Mark	Description	Count	Overall Width	Overall Depth	Overall Thickness	Tie Back Mounting (Offset from Top)	Notch	Integral Lighting
C1-A	Exterior Canopy	1	3'-9"	1'-0"	8"	0"	---	Yes
C4-C	Exterior Canopy	1	7'-1"	4'-0"	8"	2'-6"	---	Yes
C4-F	Exterior Canopy	4	7'-1"	4'-0"	8"	2'-6"	---	No
C4-G	Exterior Canopy	1	5'-0"	4'-0"	8"	2'-6"	---	Yes
C5-A	Exterior Canopy	1	10'-8"	5'-0"	8"	2'-6"	---	Yes
C8-G	Exterior Canopy	1	54'-0"	11'-0"	8"	3'-0"	See RCP	No
Grand total		9						

ELEVATION - SIDE
1/8" = 1'-0"



EXTERIOR FINISHES

SC-1
STUCCO SYSTEM
COLOR: WHITE
FINISH: SAND MEDIUM

BR-3
BRICK VENEER
COLOR: CITADEL
SIZE: MODULAR
MORTAR: ARGOS SAN TAN

EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE

PT-9
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS

ST-1
STOREFRONT
COLOR: DARK BRONZE

ELEVATION - DRIVE-THRU
1/8" = 1'-0"

EXTERIOR ELEVATIONS - STUCCO

04182, NORTSHORE TOWN CENTER, NORTSHORE TOWN CENTER, KNOXVILLE, TN

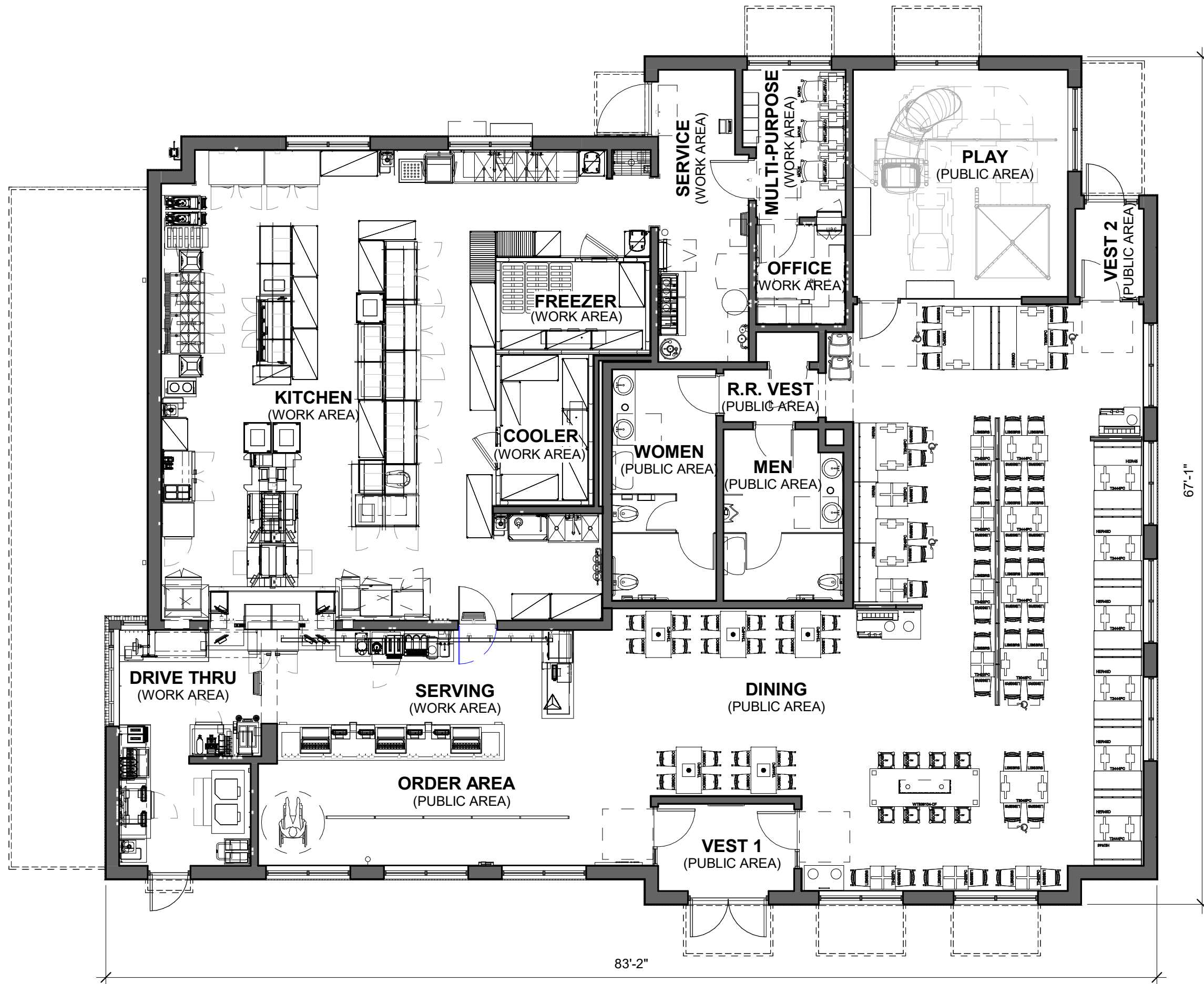
THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.

6-D-18-UR
4/30/2018

04/12/2018



04/16/2018 08:59:39 D-070L



6-D-18-UR
4/30/2018

FLOOR PLAN - LRG - 5000 SQ FT 112 SEATS

04182, NORTSHORE TOWN CENTER, NORTSHORE TOWN CENTER, KNOXVILLE, TN

04/12/2018

THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.



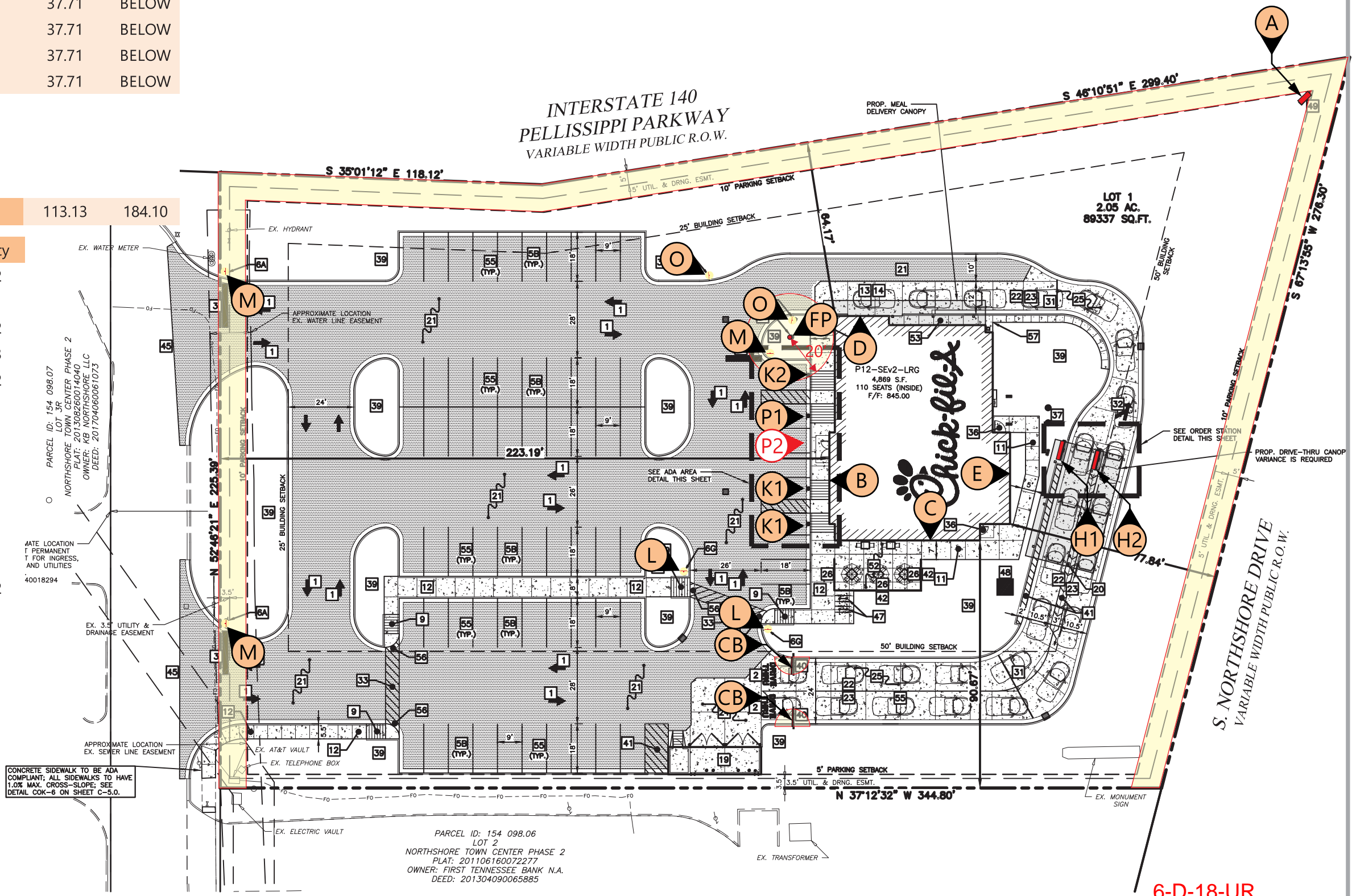
04/16/2018 09:00:05
D-082L

Item	Description	Qty	Sign Area	Allowed
A	Main ID Sign - monument sign	1	32.00	
B	Wall Sign - Script 5' set	1	37.71	BELOW
C	Wall Sign - Script 5' set	1	37.71	BELOW
D	Wall Sign - Script 5' set	1	37.71	BELOW
E	Wall Sign - Script 5' set	1	37.71	BELOW

Aggregate Totals 113.13 184.10

Item	Description	Qty
K1	DOT - Handicapped Parking	2
K2	DOT - Handicapped Parking (Van)	1
L	DOT - Pedestrian Sign	2
M	DOT - Stop	3
O	DOT - Do Not Enter	2
P1	DOT - Catering & Carry Out	1
P2	**Recommended Future Sign Location	1
H1	Menu Board (Lane 1)	1
H2	Menu Board (Lane 2)	1
CB	Clearance Bar	2
FP	Flag pole (50') freight not included	1

****RECOMMENDED FUTURE SITE FOR 'CURBSIDE DELIVERY' SIGN PENDING OPERATOR OPT-IN (VERBIAGE TO BE DETERMINED)**



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SITE PLAN

DRAWING FILE - CFA - KNOXVILLE, TN (NORTHSHORE) SIGNAGE.CDR

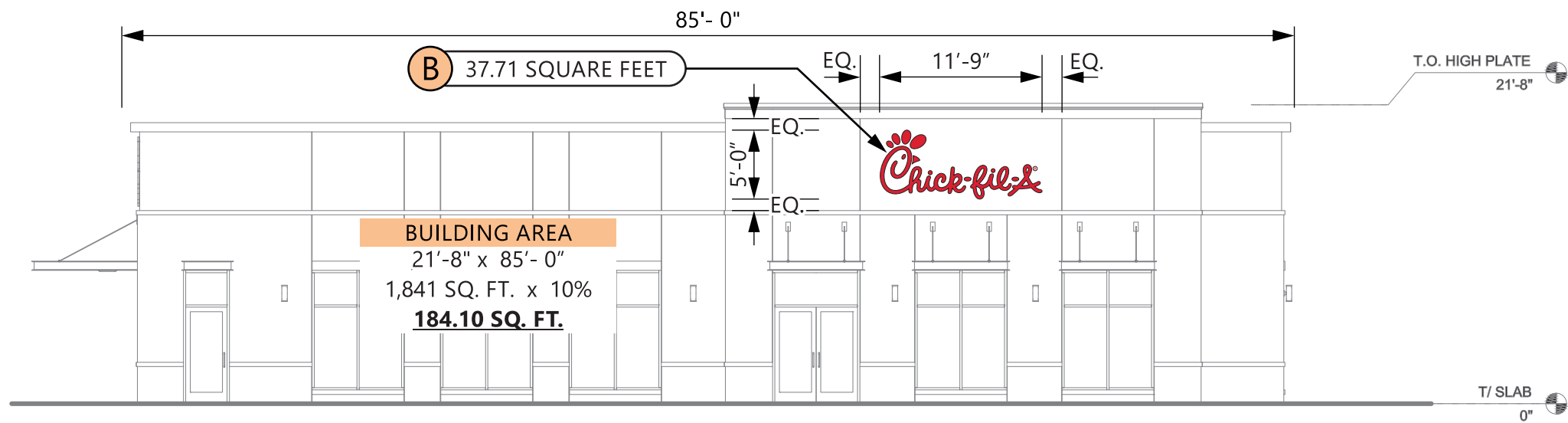
ALL ELECTRICAL
SIGNS ARE
120 VOLTS
UNLESS
OTHERWISE INDICATED

DRAWN BY Ben Holliday
ACCOUNT REP. Ben Holliday
DRAWING DATE November 8, 2017
REVISION DATE April 11, 2018

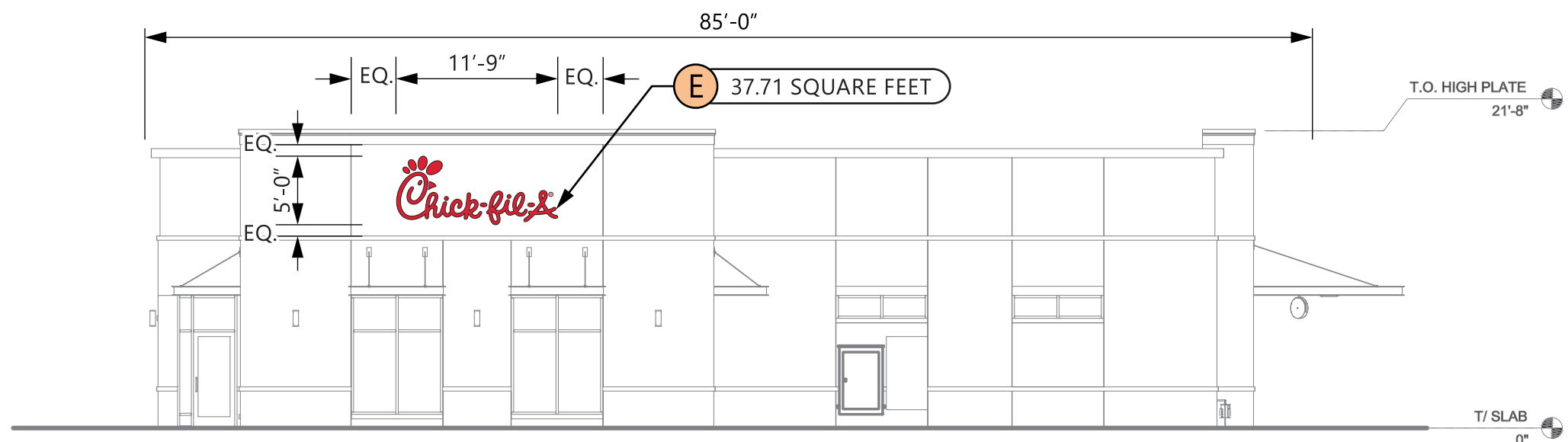
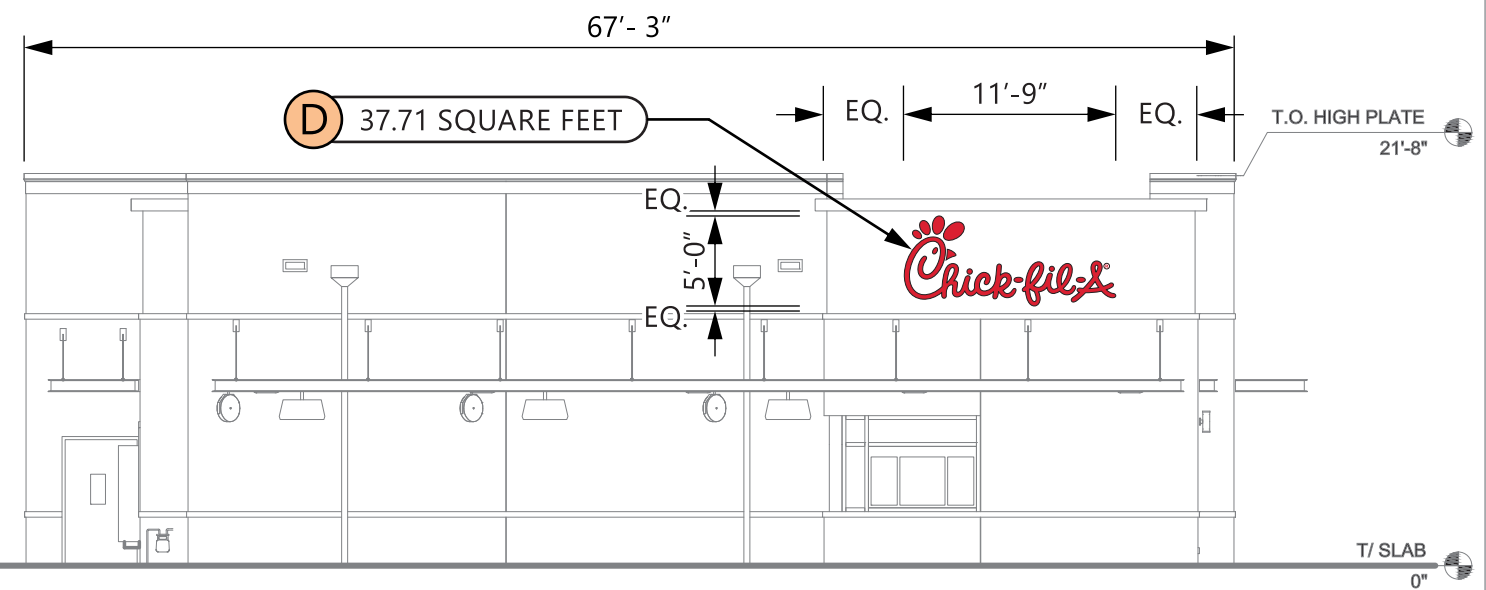
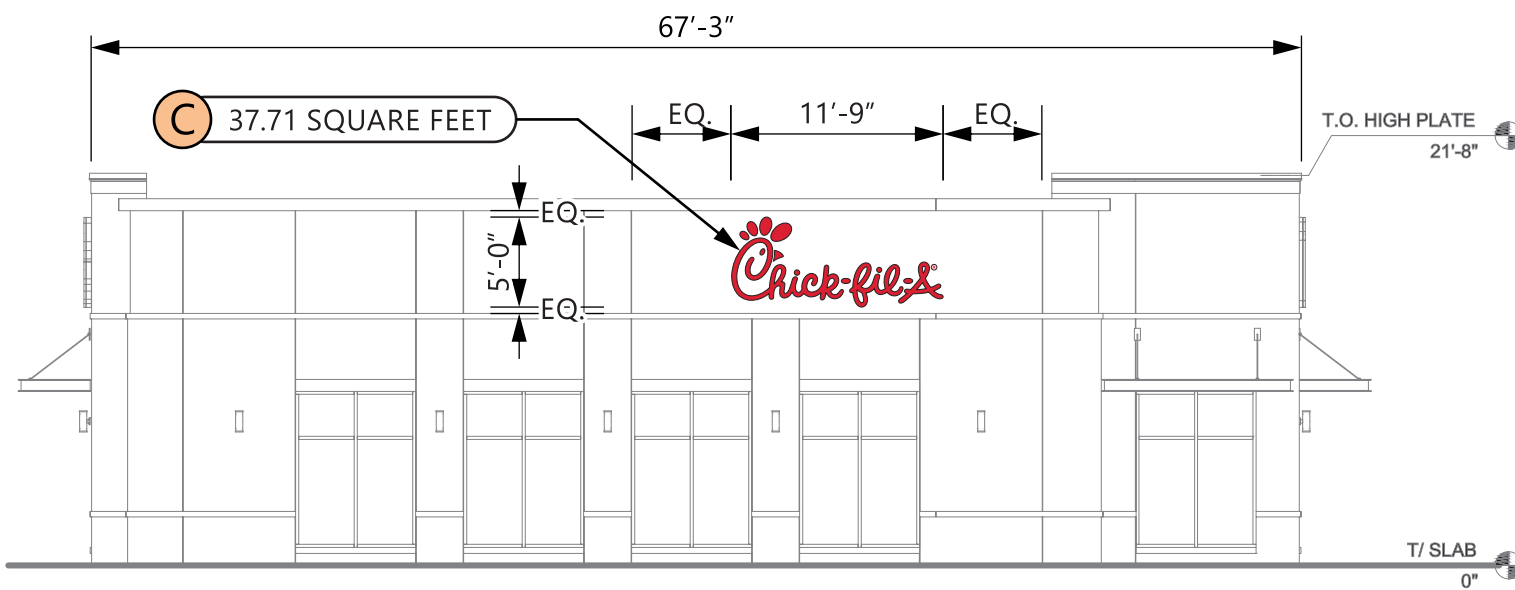
STORE NUMBER	STORE ADDRESS
L04182	Chick-fil-A at Knoxville, TN (Northshore) S. Northshore Drive Knoxville, TN

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SITE PLAN



BUILDING AREA
 21'-8" x 85'-0"
 1,841 SQ. FT. x 10%
184.10 SQ. FT.



ELEVATIONS

SCALE - 3/32" = 1'-0"

6-D-18-UR
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ELEVATIONS

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BUILDING ELEVATIONS

SPECIFICATIONS

CABINET

ALUMINUM CABINET HAS EXTRUDED ALUMINUM FRAME .

CHICK-FIL-A ICON

ACRYLIC FACES DECORATED WITH TRANSLUCENT VINYL FILM ON SURFACE OF ACRYLIC. FACES ARE BACKLIT BY HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY ON 8" CENTERS.

MASONRY WORK AND CONCRETE PAD FOR MASONRY WORK IS FURNISHED BY THE GENERAL CONTRACTOR SIGN FOUNDATION IS FURNISHED BY CLAYTON SIGNS, INC.



ARLON 230-53 CARDINAL RED



ARLON CAST FLEX 10 FLEX MATERIAL WHITE LEXAN



PAINTED DARK BRONZE



MASONRY TO MATCH BUILDING



SEE ENGINEER STAMPED DRAWING FOR FOUNDATION DETAILS

FLUORESCENT CABINET		WET LOCATION
 	LIGHTING T8/HO/LAMPS POWER SUPPLY EESB ELECTRONIC BALLAST	CONNECT THE AC LINE TO THE BLACK (LINE) AND WHITE (NEUTRAL) INPUT WIRES OF THE POWER SUPPLY USING 18-14 AWG TWIST ON WIRE CONNECTORS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW.
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.		

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MONUMENT SIGN

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ALL ELECTRICAL SIGNS ARE 120 VOLTS UNLESS OTHERWISE INDICATED

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LOCATION
A

SPECIFICATIONS

CHICK-FIL-A SCRIPT LETTERS

LETTERS ARE LED-ILLUMINATED CHANNEL LETTERS MOUNTED ON ALUMINUM SURFACE OF BUILDING WITH TRANSFORMERS REMOTELY LOCATED BEHIND THE WALL IN UL APPROVED TRANSFORMER BOXES. FACES ARE 3/16" ACRYLIC RETURNS ARE .063 ALUMINUM BACKS ARE .080 ALUMINUM ALL RETURNS ARE ARC-WELDED TO LETTER BACKS



CHANNEL LETTER FACES
2793 RED ACRYLIC
TRIMCAP RETAINER-
1" RED JEWELITE TRIMCAP

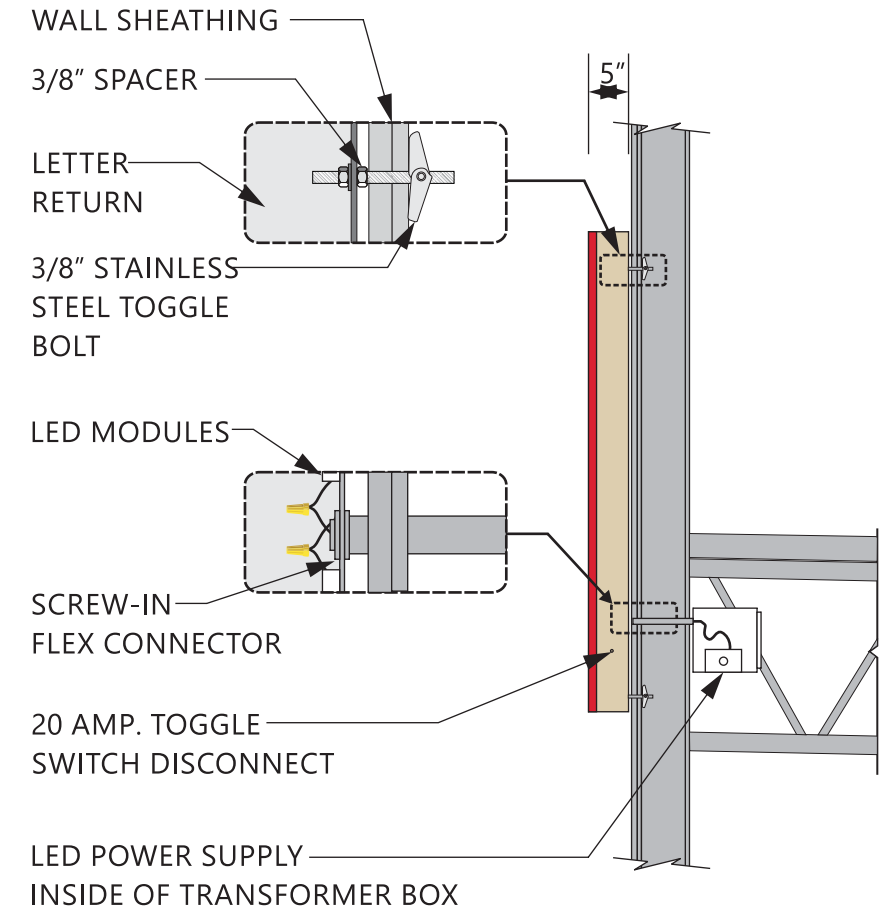


ALUMINUM RETURNS
PAINTED TO MATCH
SHERWIN WILLIAMS
SW6108 LATTE



ELEVATION

SCALE - 1/2" = 1'- 0"



CROSS-SECTION

SCALE - 1/2" = 1'- 0"

	CHANNEL LETTERS (RED ILLUMINATION)	WET LOCATION
	LED's JTSL5016R-0.4 RED LED POWER SUPPLY BL-120-12-60 POWER SUPPLY	CONNECT THE AC LINE TO THE BLACK (LINE) AND WHITE (NEUTRAL) INPUT WIRES OF THE POWER SUPPLY USING 18-14 AWG TWIST ON WIRE CONNECTORS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW. REPLACE JUNCTION BOX COVER.
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.		

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LED-ILLUMINATED
CHANNEL LETTERS

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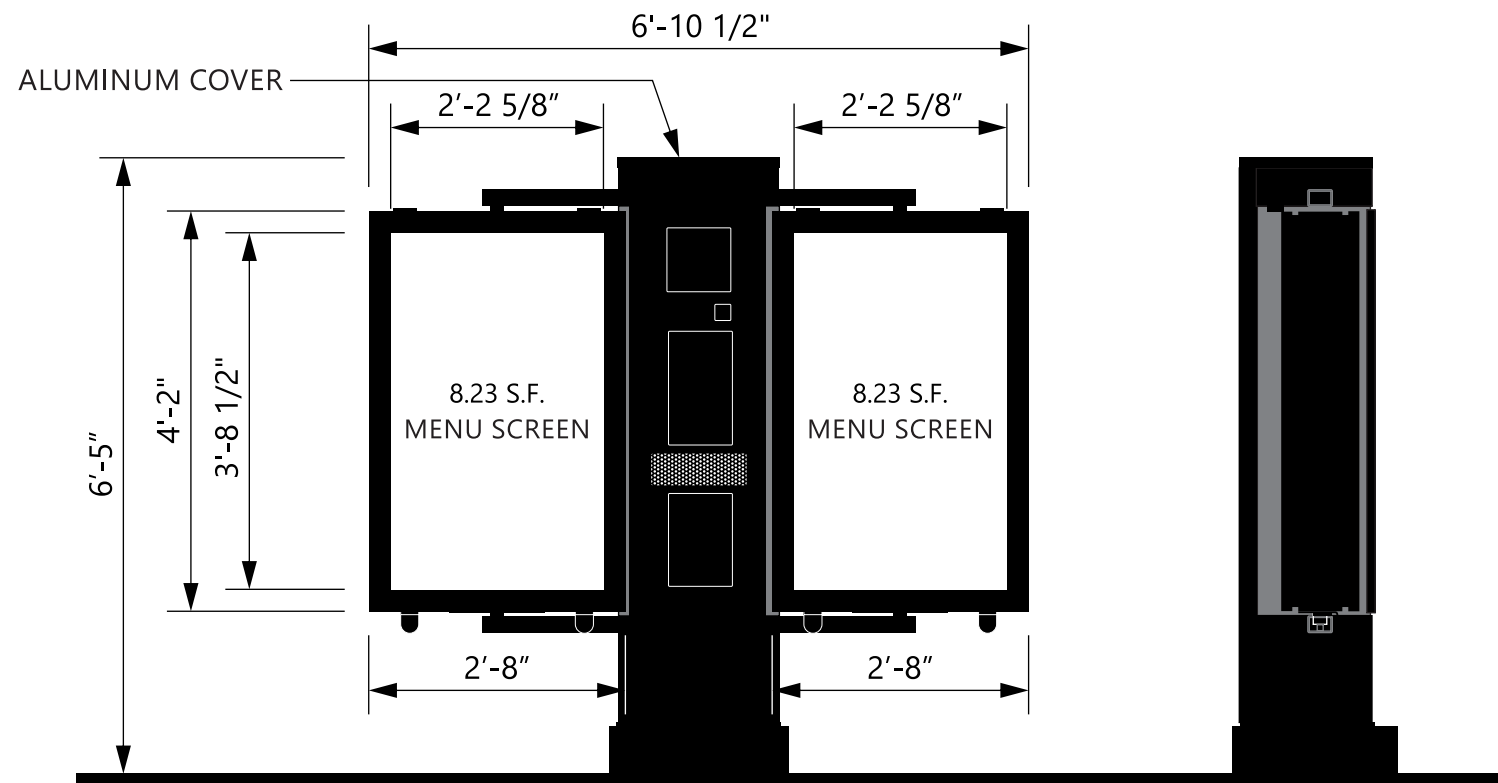
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LOCATION
B,C,D,E

SPECIFICATIONS

PIVOTING ALUMINUM CONSTRUCTION CABINETS
INTERNALLY ILLUMINATED WITH OPENINGS
TO FIT MENU GRAPHICS.
BOARDS INTERNALLY ILLUMINATED BY
BY LEDS.

POWDER COAT "PBT2-C0001
BLACK RAVEN TEXTURE"

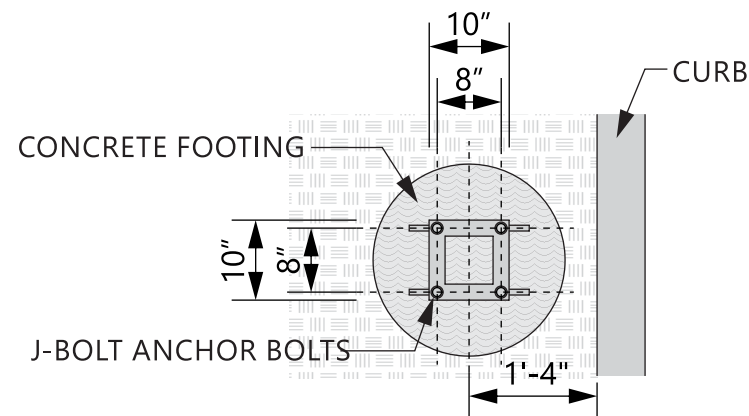
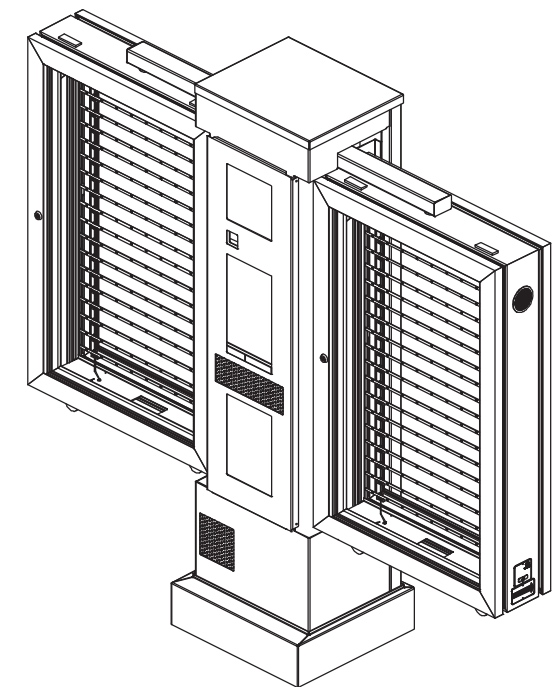


ELEVATION

SCALE - 1/2" = 1'- 0"

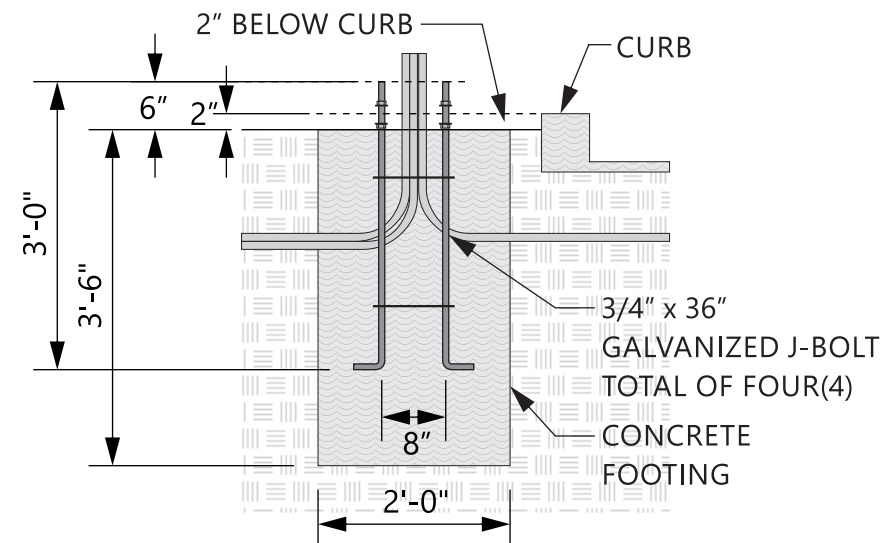
END VIEW

SCALE - 1/2" = 1'- 0"



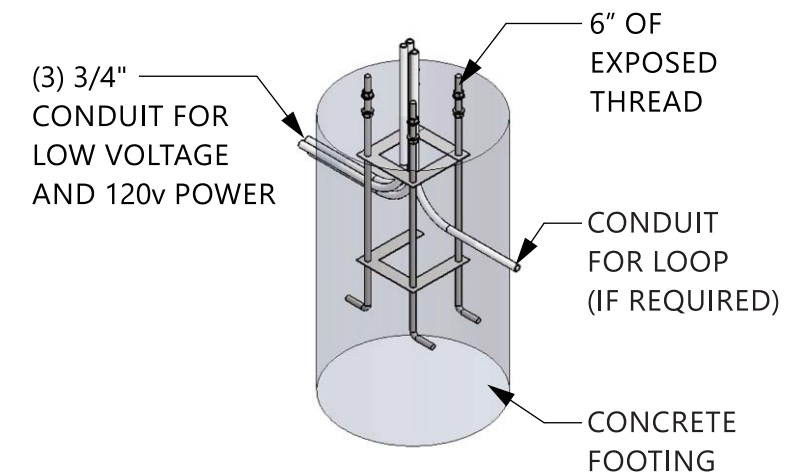
BOLT DETAIL

SCALE - 1/2" = 1'- 0"



FOUNDATION DETAIL

SCALE - 1/2" = 1'- 0"



FOUNDATION DETAIL

NO SCALE

6-D-18-UR
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**DRIVE-THRU MENU
BOARDS**

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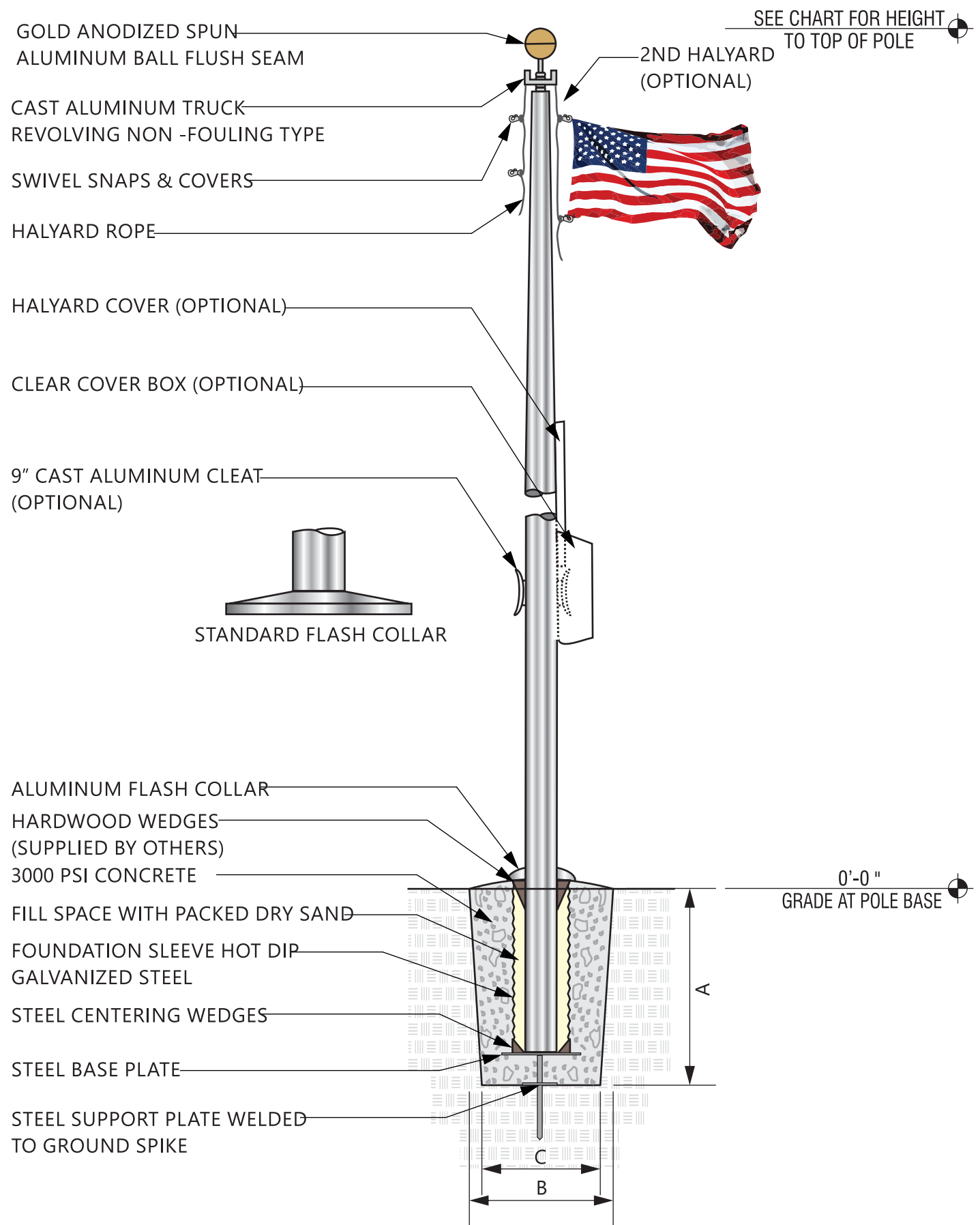
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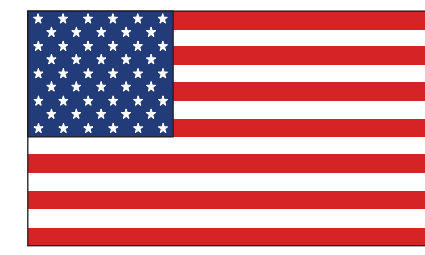
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**LOCATION
H1/H2**



SEE CHART FOR HEIGHT TO TOP OF POLE



FLAG SIZES

POLE	A	B	MATERIAL
20'	3'0"	5'0"	POLYESTHER
25'	4'0"	6'0"	POLYESTHER
30'	5'0"	8'0"	POLYESTHER
35'	6'0"	10'0"	POLYESTHER
40'	8'0"	12'0"	POLYESTHER
45'	8'0"	12'0"	POLYESTHER
50'	12'0"	18'0"	POLYESTHER

FOUNDATION SIZES

HEIGHT	A	B	C
20'	3'6"	30"	24"
25'	3'6"	30"	24"
30'	3'6"	30"	24"
35'	4'0"	36"	30"
40'	4'6"	42"	36"
45'	5'0"	48"	42"
50'	5'6"	48"	42"

GROUND SLEEVE AND CONCRETE INSTALLED BY THE GENERAL CONTRACTOR
 POLE INSTALLED ON PRE-INSTALLED GROUND SLEEVE BY SIGN CONTRACTOR

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FLAG POLE

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LOCATION
FP