

U-HAUL OF KARNS

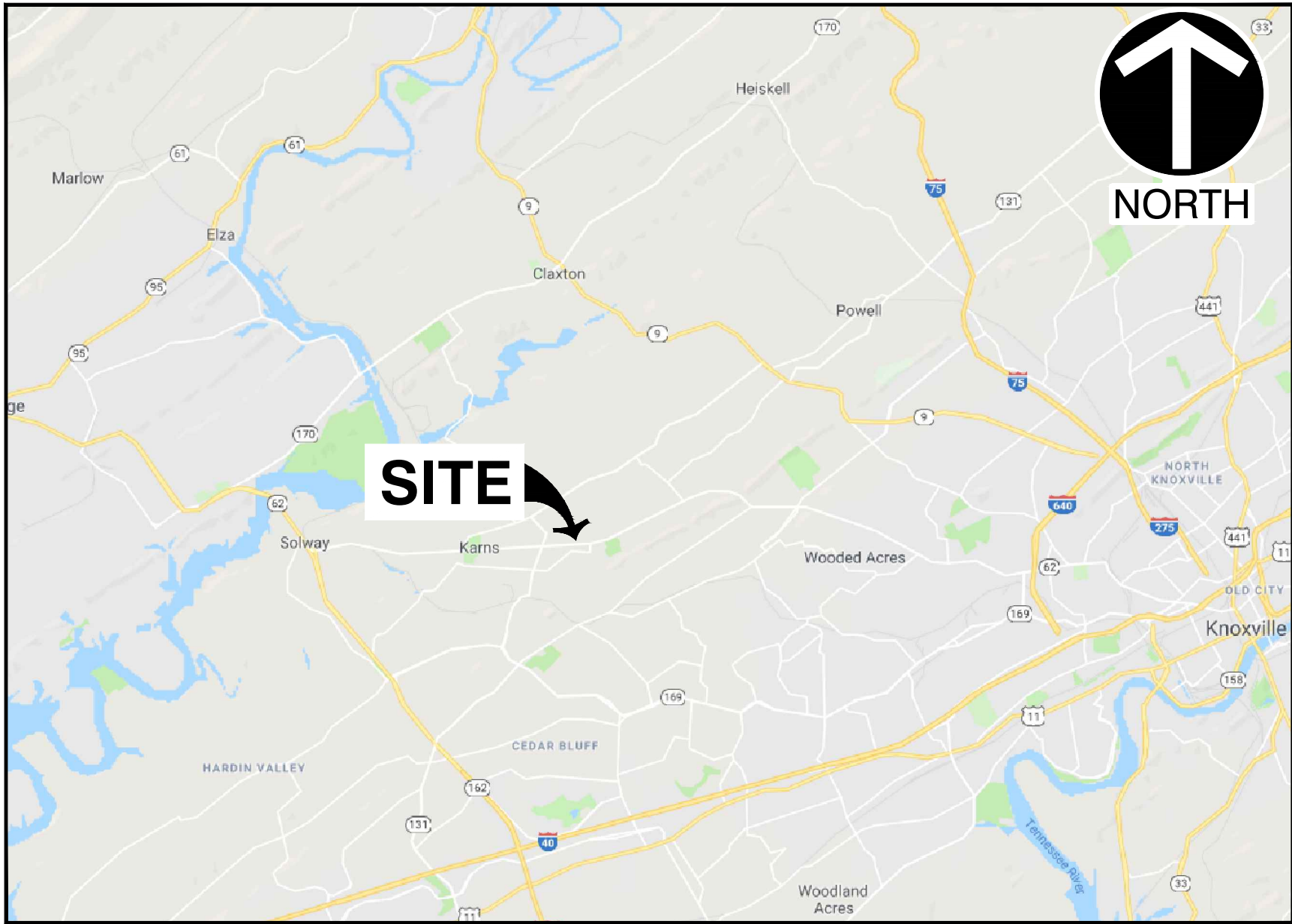
7640 OAK RIDGE HIGHWAY

KNOXVILLE, TN 37931

PREPARED FOR:

AMERCO REAL ESTATE COMANY

AUGUST 2019



VICINITY MAP

IMAGE TAKEN FROM GOOGLE MAPS
N.T.S.

LIST OF DRAWINGS

- C000 COVER SHEET
- C100 EXISTING CONDITIONS PLAN
- C200 OVERALL SITE LAYOUT PLAN
- C201 SITE CIRCULATION PLAN
- C300 OVERALL SITE GRADING PLAN
- C400 OVERALL SITE DRAINAGE PLAN
- C700 LANDSCAPE PLAN
- C701 LANDSCAPE DETAILS
- A1 FLOOR PLANS
 - CONCEPT ELEVATIONS
 - CONCEPT ELEVATIONS
- ELV1 EXAMPLE ELEVATIONS
- SP1 ARCHITECTURAL SITE PLAN
 - RV COVER ELEVATIONS
 - FENCE DETAILS
 - SIGN DETAILS
 - SIGN DETAILS

UTILITY COMPANIES

WATER SERVICE

WEST KNOX UTILITY DISTRICT
2328 LOVELL ROAD, P.O. BOX 51370
KNOXVILLE, TN 37950
865-690-4403

SANITARY SEWER

WEST KNOX UTILITY DISTRICT
2328 LOVELL ROAD, P.O. BOX 51370
KNOXVILLE, TN 37950
865-690-4403

ELECTRIC SERVICE

KNOXVILLE UTILITIES BOARD
445 S GAY ST, STE 500
KNOXVILLE, TN 37902
865-558-2555

PROPERTY OWNER

AMERCO REAL ESTATE CO
2727 NORTH CENTRAL AVE.
PHOENIX, ARIZONA 85004
PH: 602-263-6502
CONTACT: LORA LAKOV

CIVIL ENGINEER

CIVIL & ENVIRONMENTAL CONSULTANTS
2704 CHEROKEE FARM WAY, STE. 101
KNOXVILLE, TN 37920
PH: 865-977-9997
CONTACT: JOHN GREER, PE

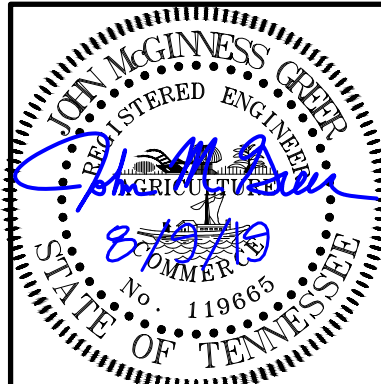
SITE DATA

PARCEL ID: 09100106
LOT #: 2R2
CIVIL DISTRICT: W6
CLT MAP: 91
TOTAL ACREAGE: 5.70 ACRES
PROPERTY ADDRESS: 7640 OAK RIDGE HIGHWAY
KNOXVILLE, TN 37931

6-D-19-UR

Revised: 8/21/2019

PRELIMINARY
NOT FOR CONSTRUCTION



DRAWING NO.:

C000

COVER SHEET

DATE:	08/09/19	DRAWN BY:	JMB
DWG SCALE:	N.T.S.	CHECKED BY:	GHP
PROJECT NO:	180-993	APPROVED BY:	JMB

U-HAUL OF KARNS
AMERCO REAL ESTATE COMPANY
7640 OAK RIDGE HIGHWAY
KNOXVILLE, TENNESSEE 37931



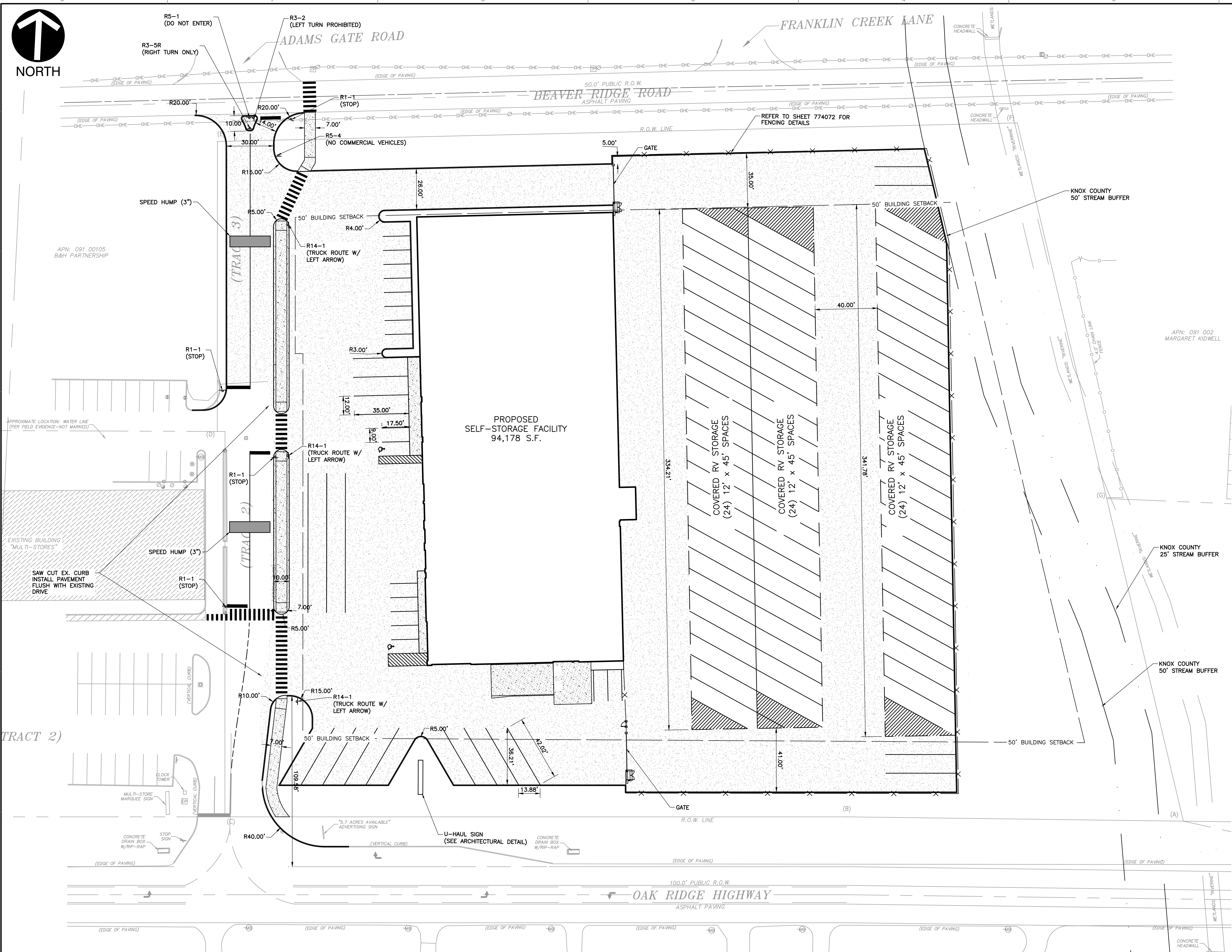
Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way · Suite 101 · Knoxville, TN 37920
Ph: 865.977.9997 · Fax: 865.977.9919
www.ceinc.com

REVISION RECORD

DESCRIPTION

NO

DATE



LEGEND:

---	EXISTING PROPERTY LINE
---	EXISTING ADJACENT PROPERTY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING INDEX CONTOUR
---	EXISTING INTERMEDIATE CONTOUR
SAN	EXISTING SANITARY SEWER LINE
ST	EXISTING STORM SEWER LINE
G	EXISTING GAS LINE
W	EXISTING WATER LINE
FO	EXISTING FIBER OPTIC LINE
T	EXISTING TELEPHONE LINE
UG-E	EXISTING UNDERGROUND ELEC. LINE
OH-E	EXISTING OVERHEAD ELECTRIC
X-X-X	EXISTING FENCE
---	EXISTING BUILDING
---	TREE, DECIDUOUS
---	TREE, CONIFER
---	LIGHT STANDARD
---	AC UNIT
---	STORM MANHOLE
---	CATCH BASIN
---	CURB INLET
---	INLET SQUARE
---	SANITARY MANHOLE
---	CLEAN OUT
---	WATER VALVE
---	FIRE HYDRANT
---	WATER METER
---	GAS METER
---	POWER POLE
---	GUY WIRE
---	ELECTRIC PULL BOX
---	TRANSFORMER
---	UTILITY PULL BOX
---	UTILITY POLE
---	TELEPHONE POLE
---	PROPOSED EDGE OF ROADWAY
---	PROPOSED CURB
---	PROPOSED FENCE
---	PROPOSED BUILDING
---	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
---	PROPOSED CONCRETE

6-D-19-UR
Revised: 8/21/2019

- NOTES**
- SEE SHEET C001 FOR GENERAL NOTES.
 - CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
 - ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
 - DUMPSTER TO BE LOCATED INSIDE FACILITY.
 - OFF-STREET PARKING:
17.5' x 9' - 19 SPACES (2 ACCESSIBLE)
35' x 12' - 12 SPACES

- SURVEY NOTES**
- COORDINATE REFERENCE: TENNESSEE STATE PLANE NAD 83.
 - TOPOGRAPHIC SURVEY WAS PREPARED BY SOUTHERN GEOMATICS SERVICES, LLC DATED AUGUST 10, 2018.
 - THE PROPERTY SHOWN FOR DEVELOPMENT ON THIS PLAN DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA "SFHA" AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY IDENTIFIED IN COMMUNITY PANEL NO. 47093C0251F BEARING AN EFFECTIVE DATE OF AUGUST 2, 2007.

**PRELIMINARY
NOT FOR CONSTRUCTION**

SCALE IN FEET
0 30 60

C200

REVISION RECORD

NO.	DATE	DESCRIPTION

Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920
Ph: 865.977.9997 - Fax: 865.977.9919
www.cesinc.com

**U-HAUL OF KARNs
AMERCO REAL ESTATE COMPANY
7640 OAK RIDGE HIGHWAY
KNOXVILLE, TENNESSEE 37931**

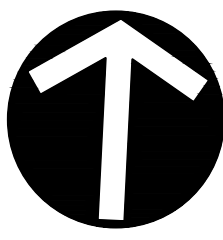
SITE LAYOUT PLAN

DATE:	08/09/19	DRAWN BY:	JMB
DWG SCALE:	1"=30'	CHECKED BY:	GHP
PROJECT NO:	190-993	APPROVED BY:	JMG

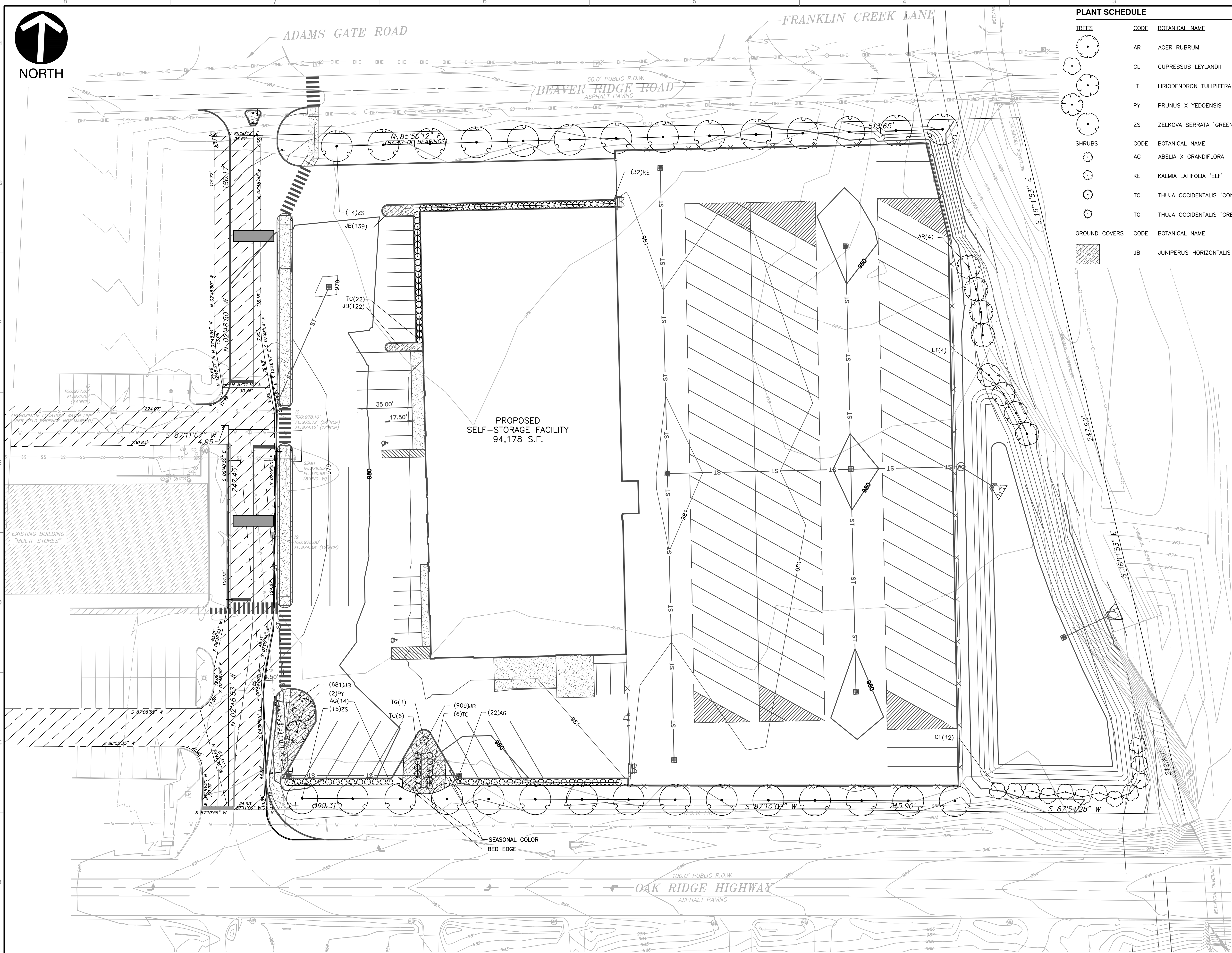
APPROVED BY: JMG

Tennessee811
Know what's below.
Call before you dig.

P:\2019\190-993\2000\dwg\190-993-C001-C200-LAYOUT.dwg (2/20) LS@8/9/2019 10:13 AM - LP: 8/14/2019 10:13 AM



NORTH



PLANT SCHEDULE

	TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
		AR	ACER RUBRUM	RED MAPLE	3" CAL.		4
		CL	CUPRESSUS LEYLANDII	LEYLAND CYRESS	6' HT.		12
		LT	LIRIODENDRON TULIPIFERA	TULIP TREE	3" CAL.		4
		PY	PRUNUS X YEDOENSIS	YOSHINO CHERRY	2" CAL.		2
	ZS	ZELKOVA SERRATA 'GREEN VASE'	SAWLEAF ZELKOVA	3" CAL.		29	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
	AG	ABELIA X GRANDIFLORA	GLOSSY ABELIA	3' – 4' HT.	B&B/CONT.	34	
	KE	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	3 GAL.		32	
	TC	THUJA OCCIDENTALIS 'CONGABE'	FIRE CHIEF ARBORVITAE	3 GAL.		34	
	TG	THUJA OCCIDENTALIS 'GREEN GIANT'	GREEN GIANT ARBORVITAE	3 GAL.		1	
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
	JB	JUNIPERUS HORIZONTALIS 'BLUE RUG'	BLUE RUG JUNIPER	1 GAL.		12" o.c.	1,851

6-D-19-UR

Revised: 8/21/2019

LANDSCAPE CALCULATIONS

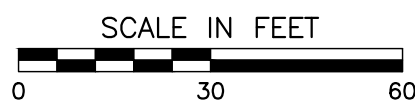
REQUIRED 1 TREE PER 5000 SF OF PAVEMENT
TOTAL PAVED AREA = 170,622 SF
TOTAL TREES REQUIRED = 34
TOTAL PROPOSED TREES = 49

NOTES

- SEE SHEET C701 FOR LANDSCAPE NOTES AND DETAILS.
- PLANTS HAVE BEEN SELECTED FROM THE NATIVE SPECIES LIST PROVIDED BY THE CITY.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.

SURVEY NOTES

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REVISION RECORD

NO	DATE	DESCRIPTION

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Ph: 865.977.9997 · Fax: 865.977.9919
www.cedinc.com

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KNOXVILLE, TENNESSEE 37931

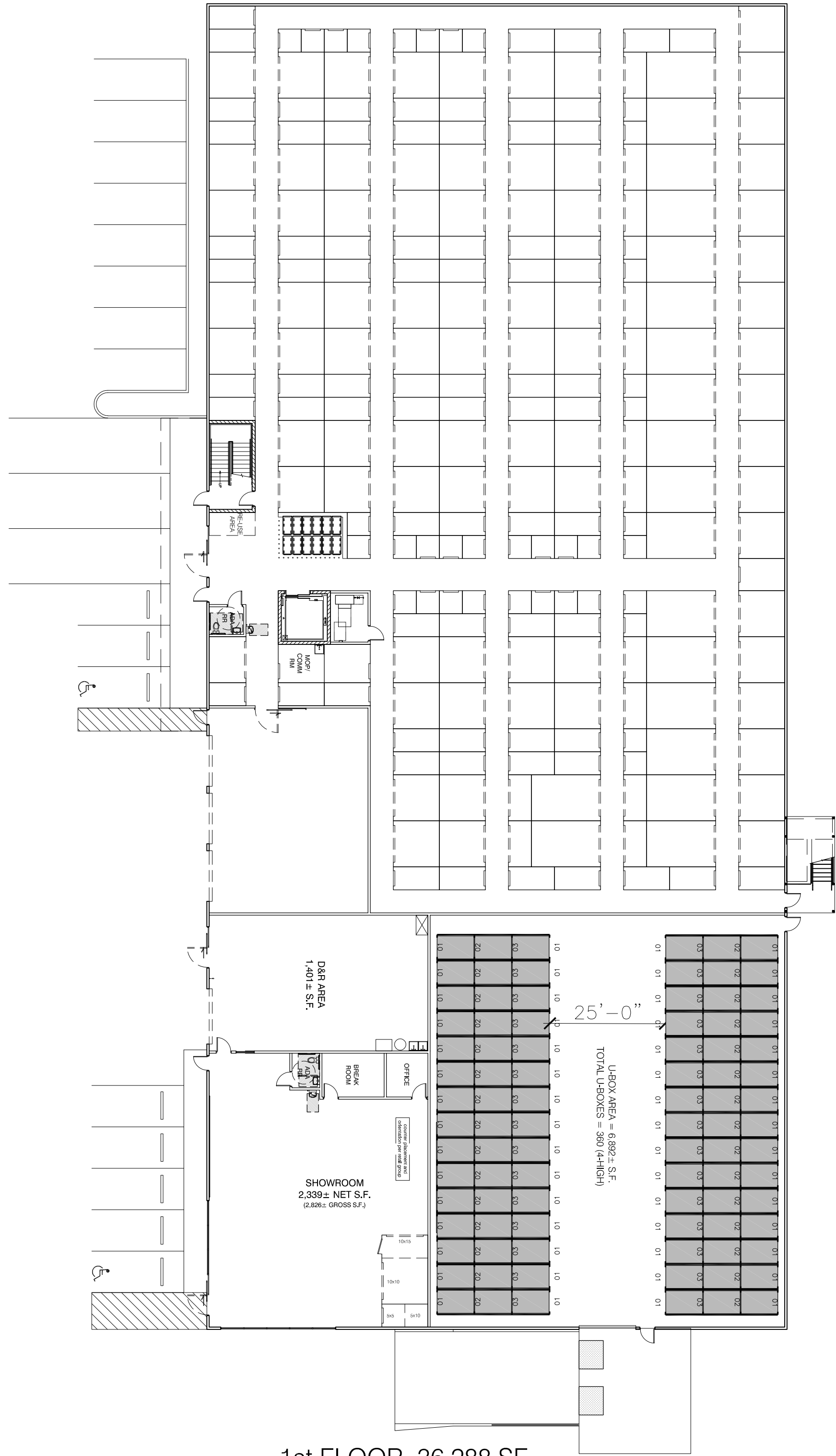
LANDSCAPE PLAN

DATE:	8/9/2019	DRAWN BY:	CLG
DWG SCALE:	1"=30'	CHECKED BY:	JUC
PROJECT NO:	190-993	APPROVED BY:	JUC

DRAWING NO. **C700**



\\s01c-2023\\800-000000\\2019\\190-993-001-000-000000\\08-09-2019\\190-993-001-000-000000.dwg (2/20) 15:06:14 2019 15:06:14



1st FLOOR 36,288 SF

FIRST FLOOR PLAN

SCALE: 1" = 20'-0"

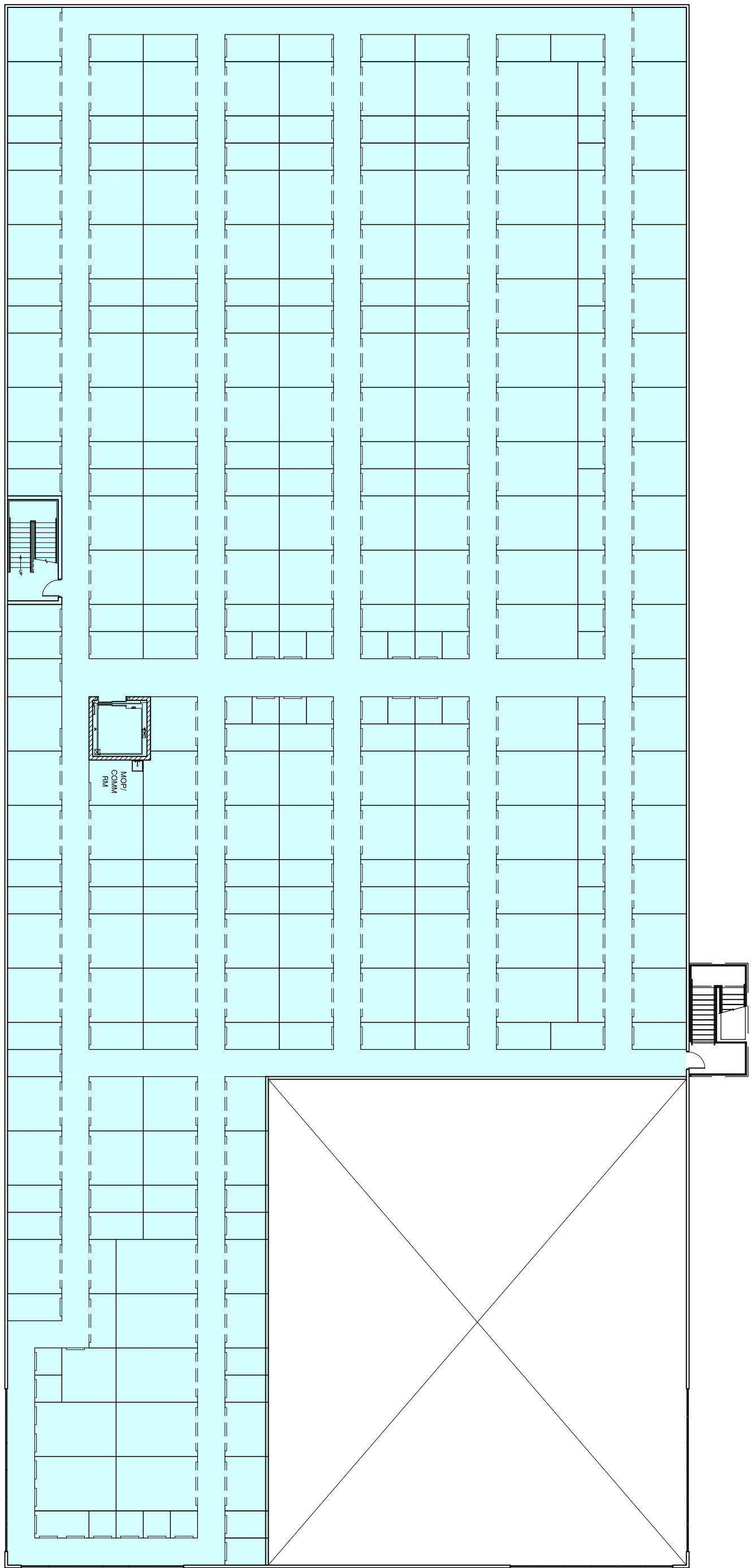
SECOND FLOOR PLAN



2nd FLOOR 28,945 SF

SCALE: 1" = 20'-0"

THIRD FLOOR PLAN



3rd FLOOR 28,945 SF

SCALE: 1" = 20'-0"

PROPOSED MIX											
LOCKER SIZE	1st FLOOR			2nd FLOOR			3rd FLOOR			TOTAL	SQ. FT.
	INT.	SQ. FT.	%	INT.	SQ. FT.	%	INT.	SQ. FT.	%		
5 x 5	38	950	6%	34	850	4%	34	850	4%	106	2650
5 x 8	1	40	0%	6	240	1%	6	240	1%	13	520
5 x 10	86	4300	27%	111	5550	26%	110	5500	26%	307	15,350
7 x 8	0	0	0%	1	56	0%	0	0	1%	1	56
10 x 7	1	70	0%	1	70	1%	2	140	1%	4	280
10 x 8	2	160	1%	9	720	3%	7	560	3%	18	1440
10 x 10	77	7700	48%	99	9900	47%	102	10,200	48%	278	27,800
10 x 15	19	2850	18%	24	3600	17%	24	3600	17%	67	10,050
TOTAL	224	16,070	100%	285	20,986	100%	285	21,090	100%	794	58,146

U-BOX AREA = 6892± S.F.
TOTAL U-BOXES = 360 (4-HIGH)

70 TOTAL COVERED RV SPACES
6 TOTAL UNCOVERED RV SPACES



SITE

SCALE: NTS

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-
7	-	-	-
8	-	-	-

PROFESSIONAL SEAL:

PRELIMINARY DOCUMENTS;
NOT FOR CONSTRUCTION;
FOR INFORMATION ONLY.

ARCHITECT LOGO:

AMERCO
REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:

U-HAUL OF KARNS
7640 OAK RIDGE HWY
KNOXVILLE, TN 37931

SHEET CONTENTS:

PROPOSED
FLOOR PLAN

774072

DRAWN: MM

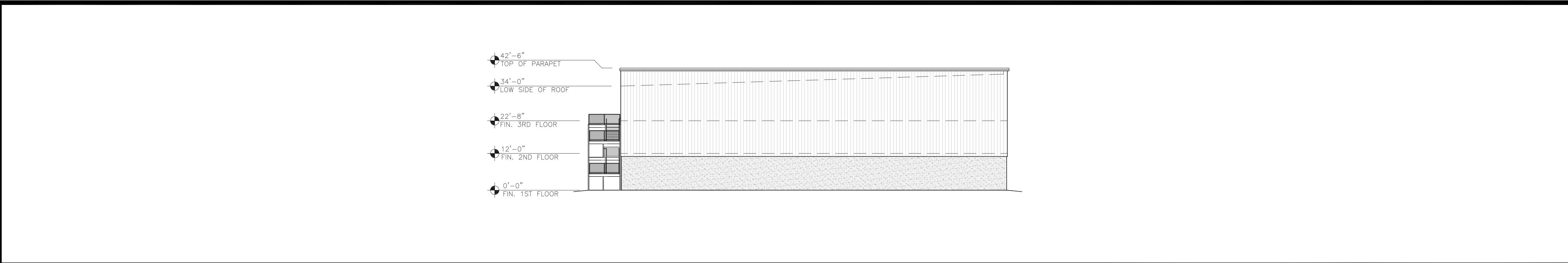
CHECKED: NH

DATE: 06/07/19

A1

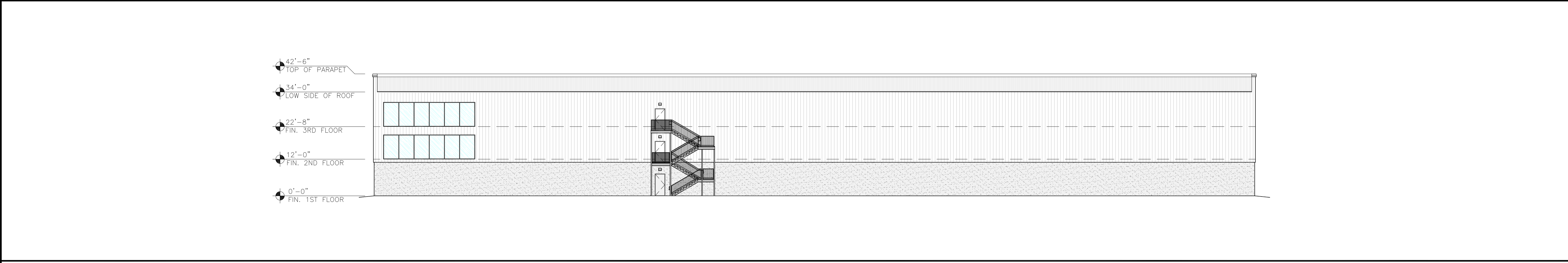
774072_A1B.DWG

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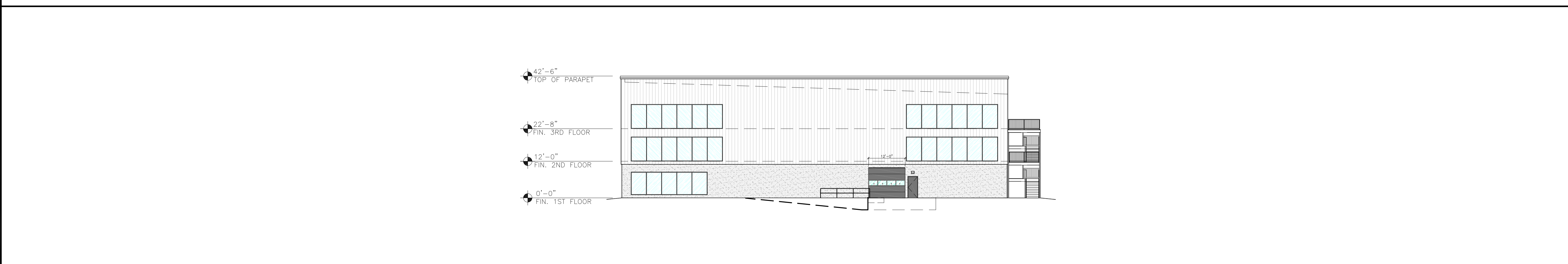
NORTH ELEVATION

SCALE: 1/16" = 1'-0"



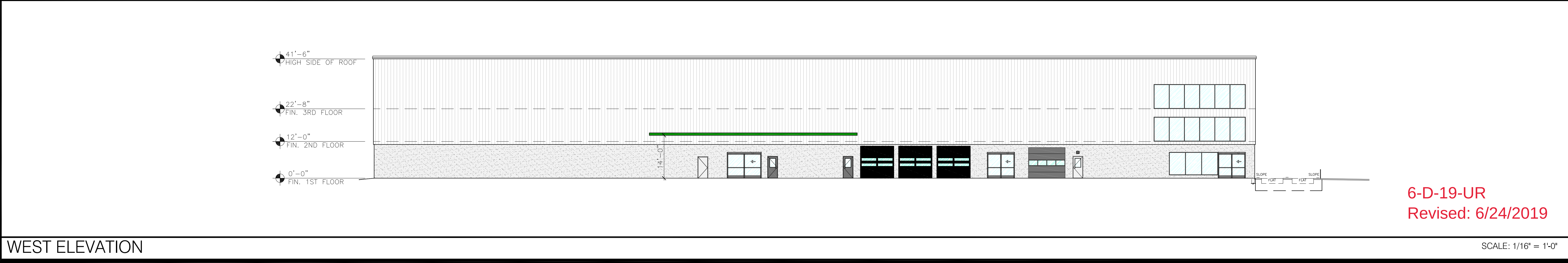
EAST ELEVATION

SCALE: 1/16" = 1'-0"



SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



WEST ELEVATION

SCALE: 1/16" = 1'-0"

SHEET NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
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4	1	1	1
5	1	1	1
6	1	1	1
7	1	1	1
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AMERCO
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CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:
U-HAUL OF KARNIS
7640 OAK RIDGE HWY
KNOXVILLE, TN 37931

SHEET CONTENTS:
PROPOSED
ELEVATIONS

774072

DRAWN:	MM	ELV1
CHECKED:	NH	
DATE:	06/07/19	

774072 A1B.DWG

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6-D-19-UR
Revised: 6/24/2019



Moving & Storage
of Karns

Date:

June 21th 2019

Description:

Proposed Building Design
Paint Callout
Sign Square Footage
Building Material Callout

Client:

774072

Location:

7640 Oak Ridge Hwy,
Knoxville, TN 37931

Project Status:

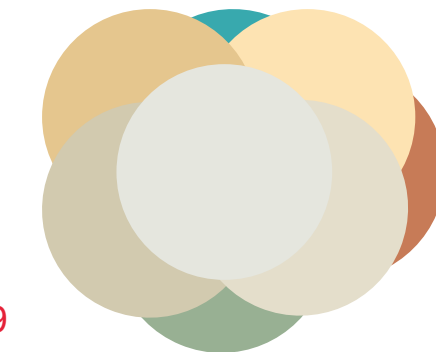
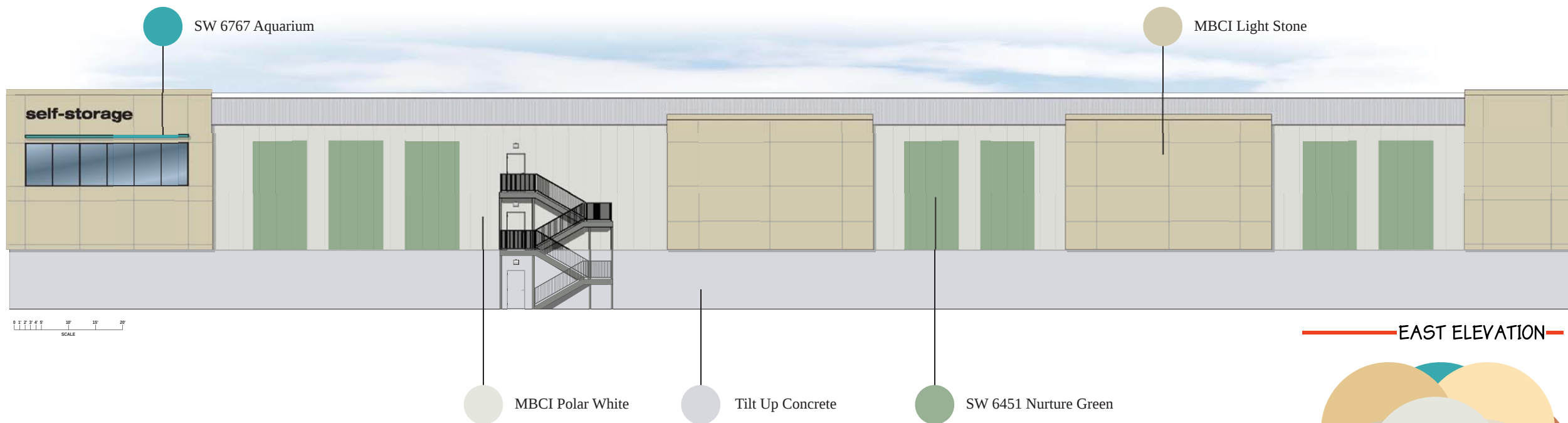
Conceptual
Pending Approval
774072 MSTR ART NH01

Jobs Accomplished:

Concept Design - 1
Design Presentation - 1

Additional Notes:

- MBCI Polar White
- MBCI Light Stone
- MBCI Almond
- Yellow Stone (SW)
- August Moon (SW)
- Copper Wire (SW7707)
- Aquarium (SW6767)
- Nurture Green (SW6451)



6-D-19-UR
Revised: 6/24/2019



Moving & Storage
of Korns

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Paint Callout
Sign Square Footage
Building Material Callout

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7640 Oak Ridge Hwy,
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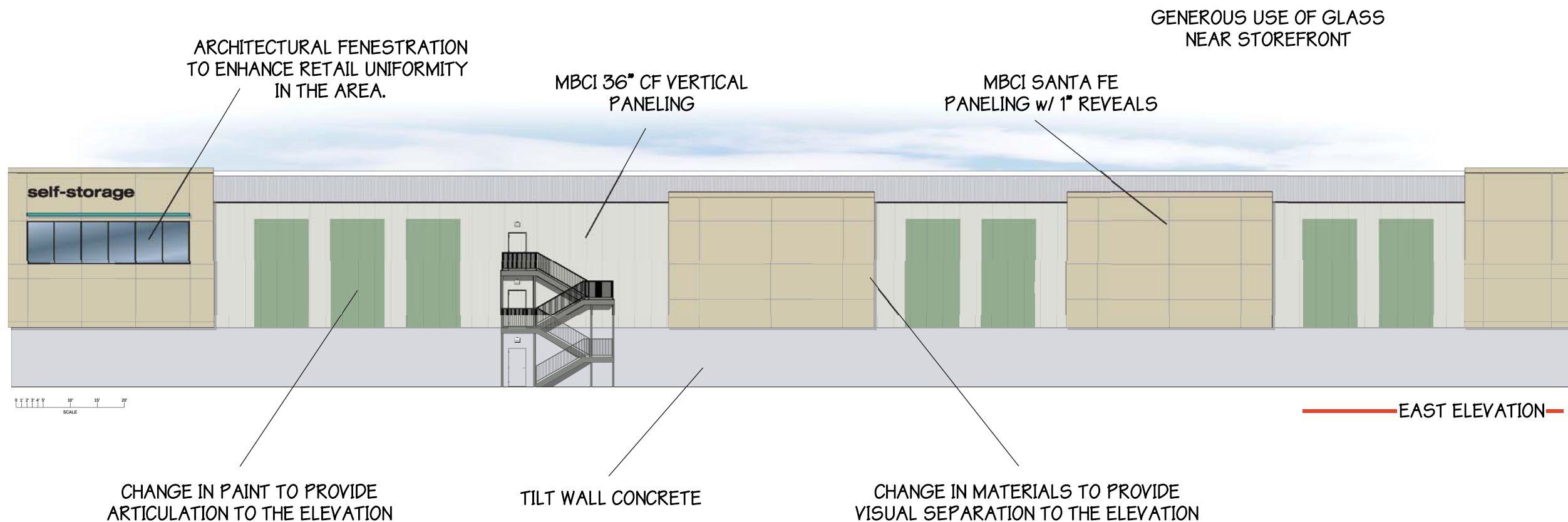
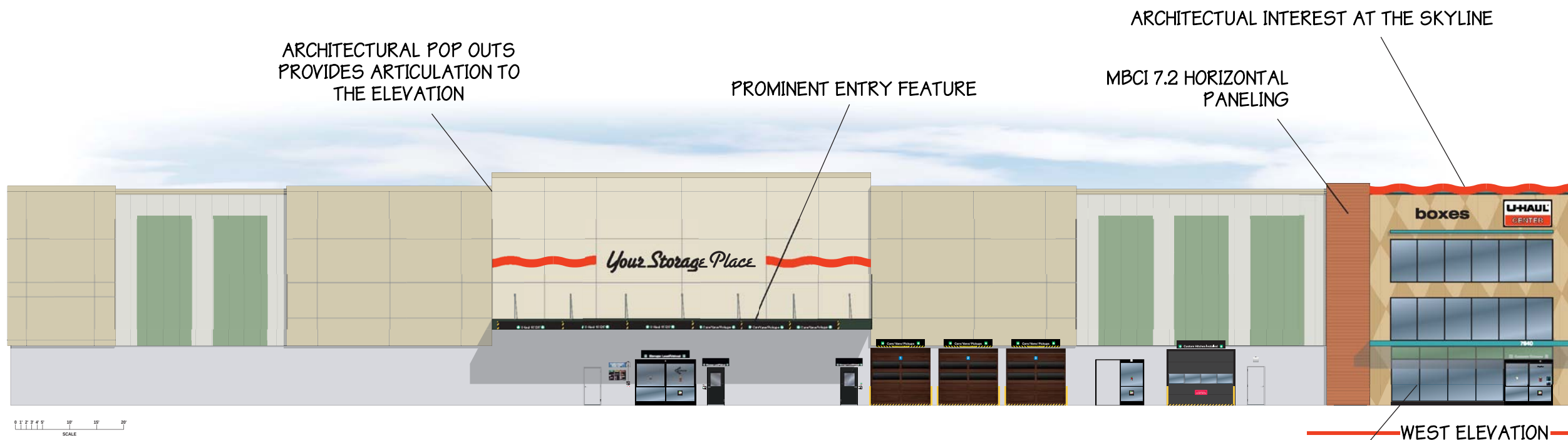
Project Status:

Conceptual
Pending Approval
774072 MSTR ART NH01

Jobs Accomplished:

Concept Design - 1
Design Presentation - 1

MATERIAL CALLOUT





Moving & Storage
of Kars

Date:

June 21th 2019

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Proposed Building Design
Paint Callout
Sign Square Footage
Building Material Callout

Client:



774072

Location:

7640 Oak Ridge Hwy,
Knoxville, TN 37931

Project Status:

Conceptual
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774072 MSTR ART NHO1

Jobs Accomplished:

Concept Design - 1
Design Presentation - 1

SIGN CALLOUT





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of Karns

Date:

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Paint Callout
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Building Material Callout

Client:

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Location:

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Knoxville, TN 37931

Project Status:

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774072 MSTR ART NH01

Jobs Accomplished:

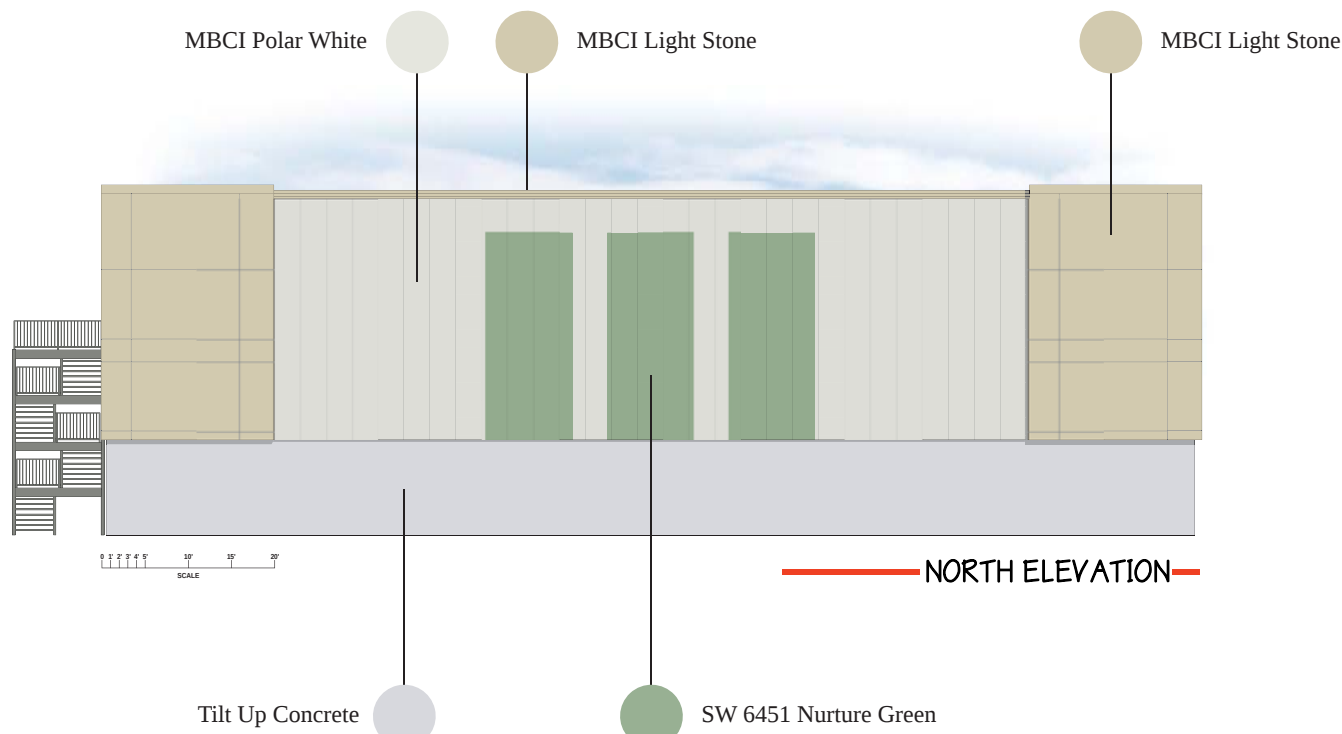
Concept Design - 1
Design Presentation - 1

Additional Notes:

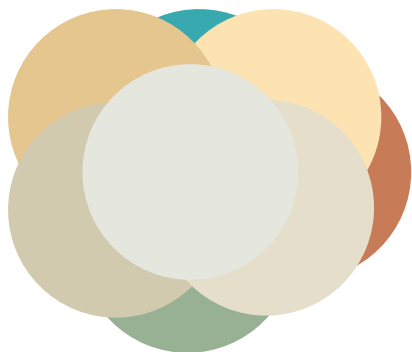


ARCHITECTURAL DESIGN & FACILTY IMAGING

- MBCI Polar White
- MBCI Light Stone
- MBCI Almond
- Yellow Stone (SW)
- August Moon (SW)
- Copper Wire (SW7707)
- Aquarium (SW6767)
- Nurture Green (SW6451)



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Design Presentation - 1

MATERIAL CALLOUT

ARCHITECTURAL INTEREST AT THE SKYLINE

MBCI 7.2 HORIZONTAL
PANELING

ARCHITECTURAL FENESTRATION
TO ENHANCE RETAIL UNIFORMITY
IN THE AREA.

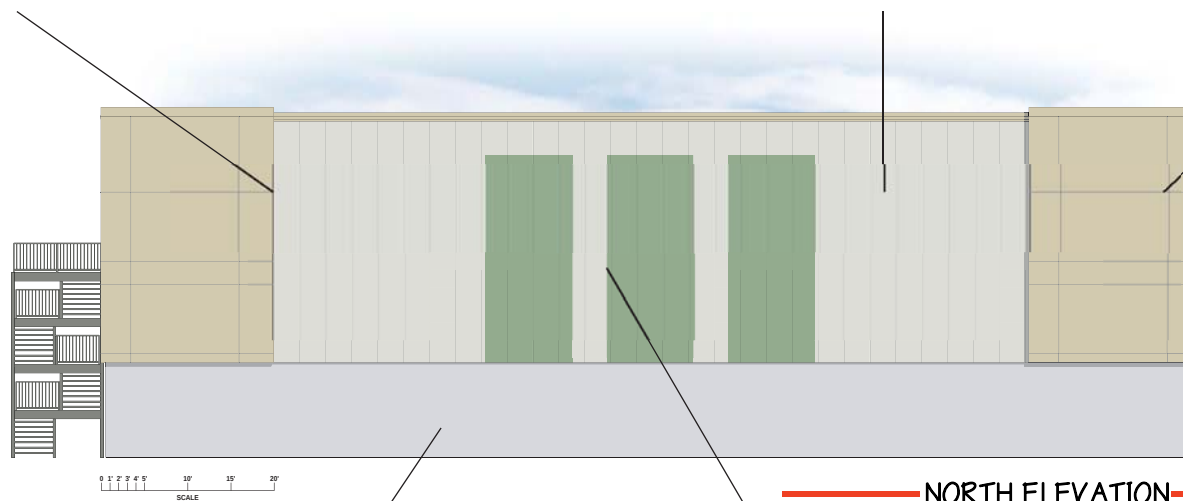
GENEROUS USE OF GLASS
NEAR STOREFRONT



CHANGE IN MATERIALS TO PROVIDE
VISUAL SEPARATION TO THE ELEVATION

MBCI 36" CF VERTICAL
PANELING

MBCI SANTA FE
PANELING w/ 1" REVEALS



TILT WALL CONCRETE

CHANGE IN PAINT TO PROVIDE
ARTICULATION TO THE ELEVATION

6-D-19-UR
Revised: 6/24/2019



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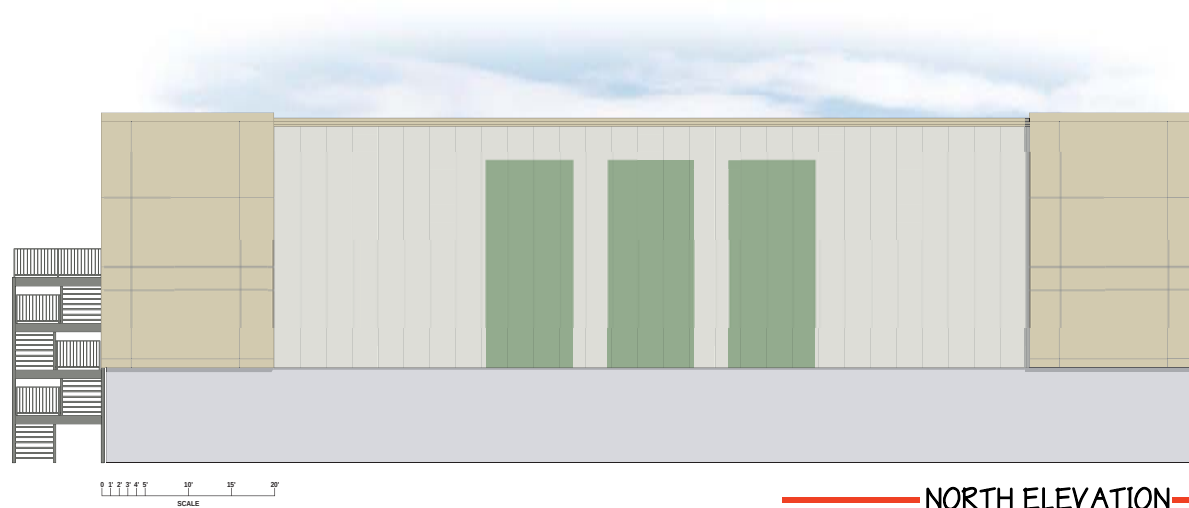
Jobs Accomplished:

Concept Design - 1
Design Presentation - 1

SIGN CALLOUT

26'W X 2'H
52 SQFT

28.9'W X 2'H
57.8 SQFT

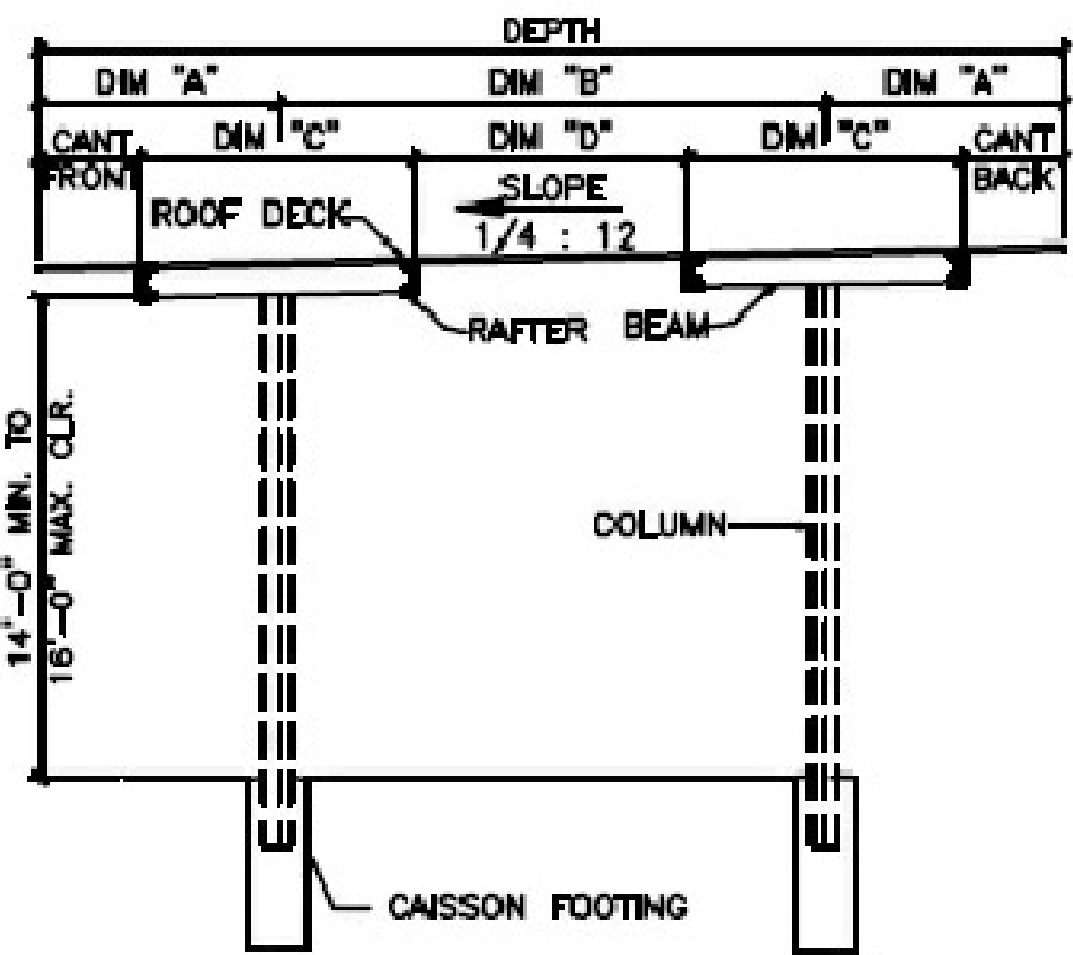




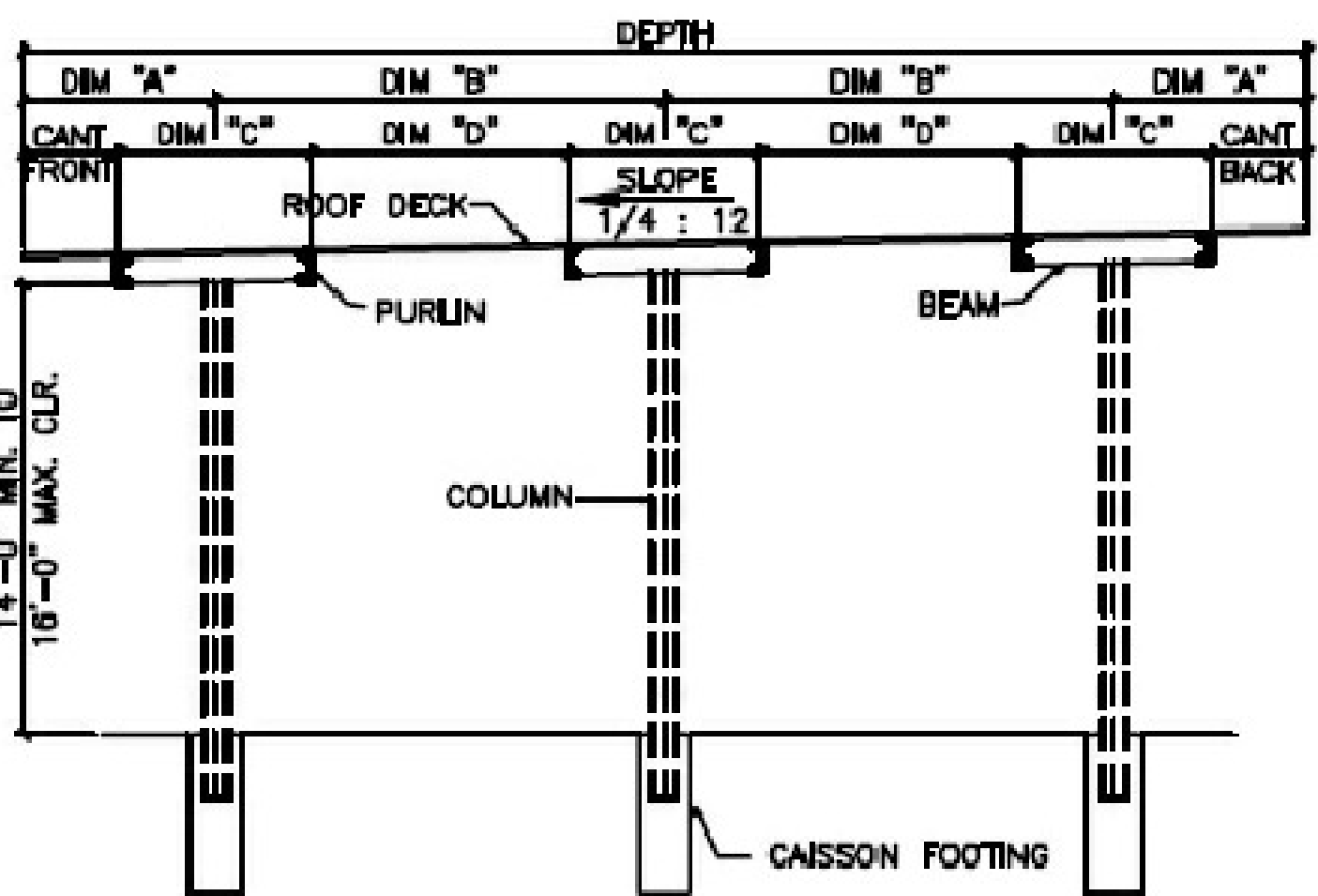
TYPICAL ELEVATIONS
N.T.S.



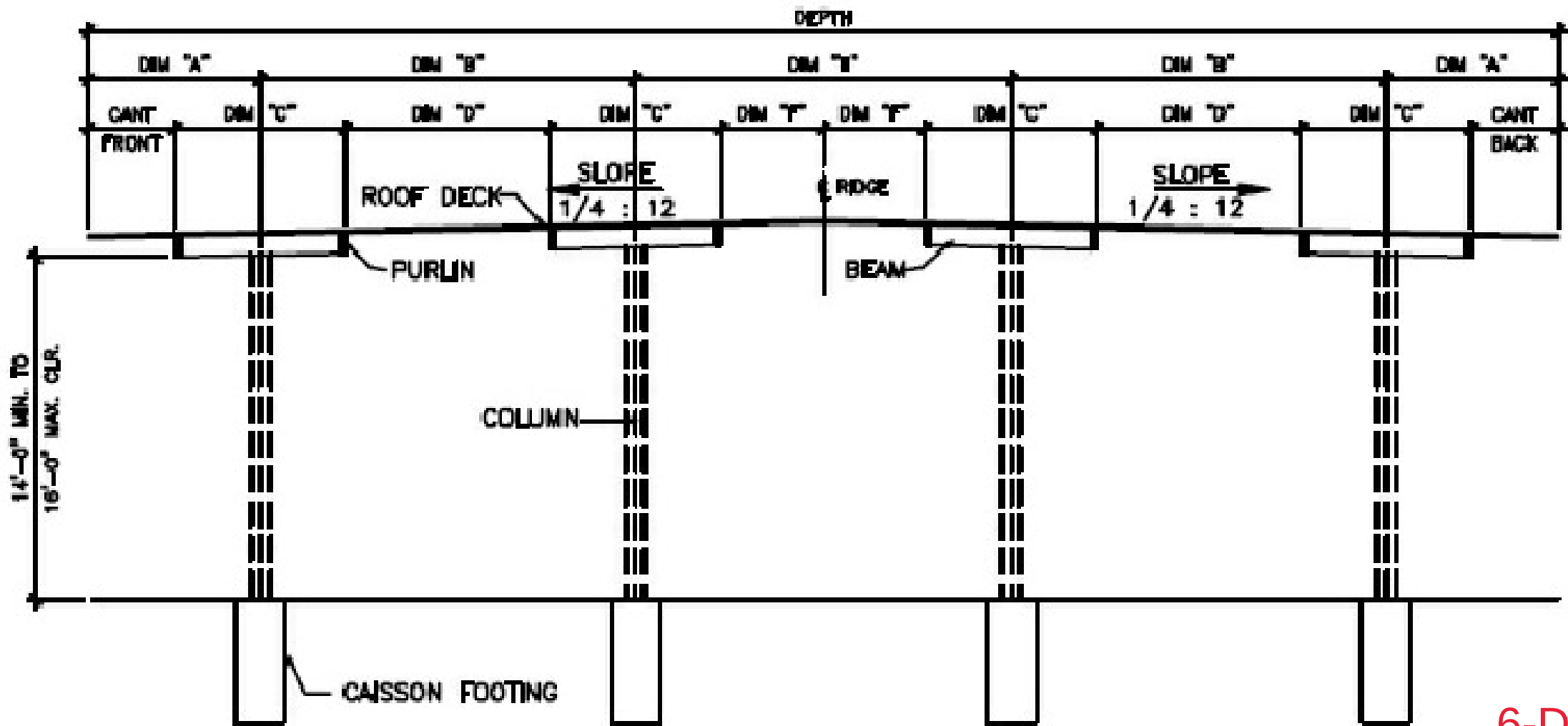
TYPICAL ELEVATIONS
N.T.S.



CROSS SECTION
11x30



CROSS SECTION
11x40



CROSS SECTION
11x60

6-D-19-UR
Revised: 6/24/2019

GENERAL NOTES:

REVISIONS:

NO.	DATE	INITIALS	NOTES
1			
2			
3			
4			
5			
6			
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8			

PROFESSIONAL SEAL:

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REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
2727 NORTH CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: (602) 263-6502

SITE ADDRESS:

N/A

SHEET CONTENTS:

RV Canopies
EXAMPLE
ELEVATIONS

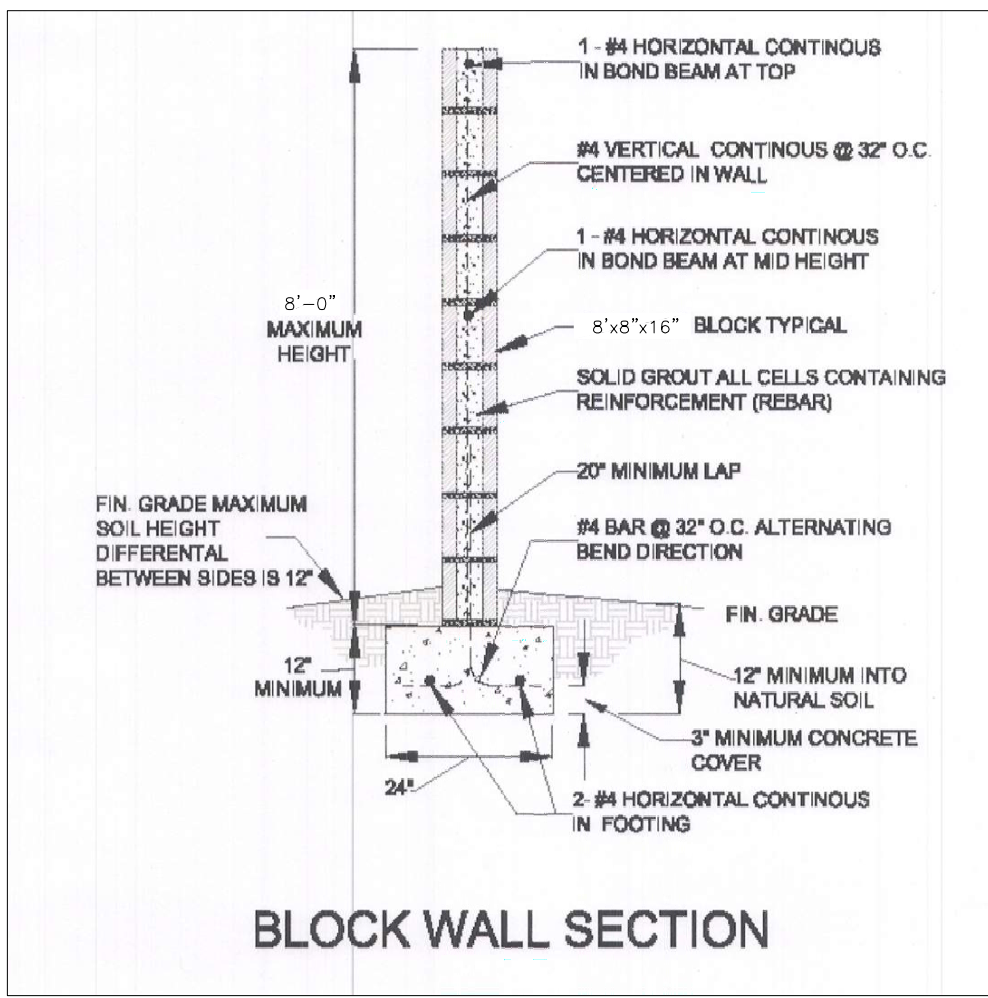
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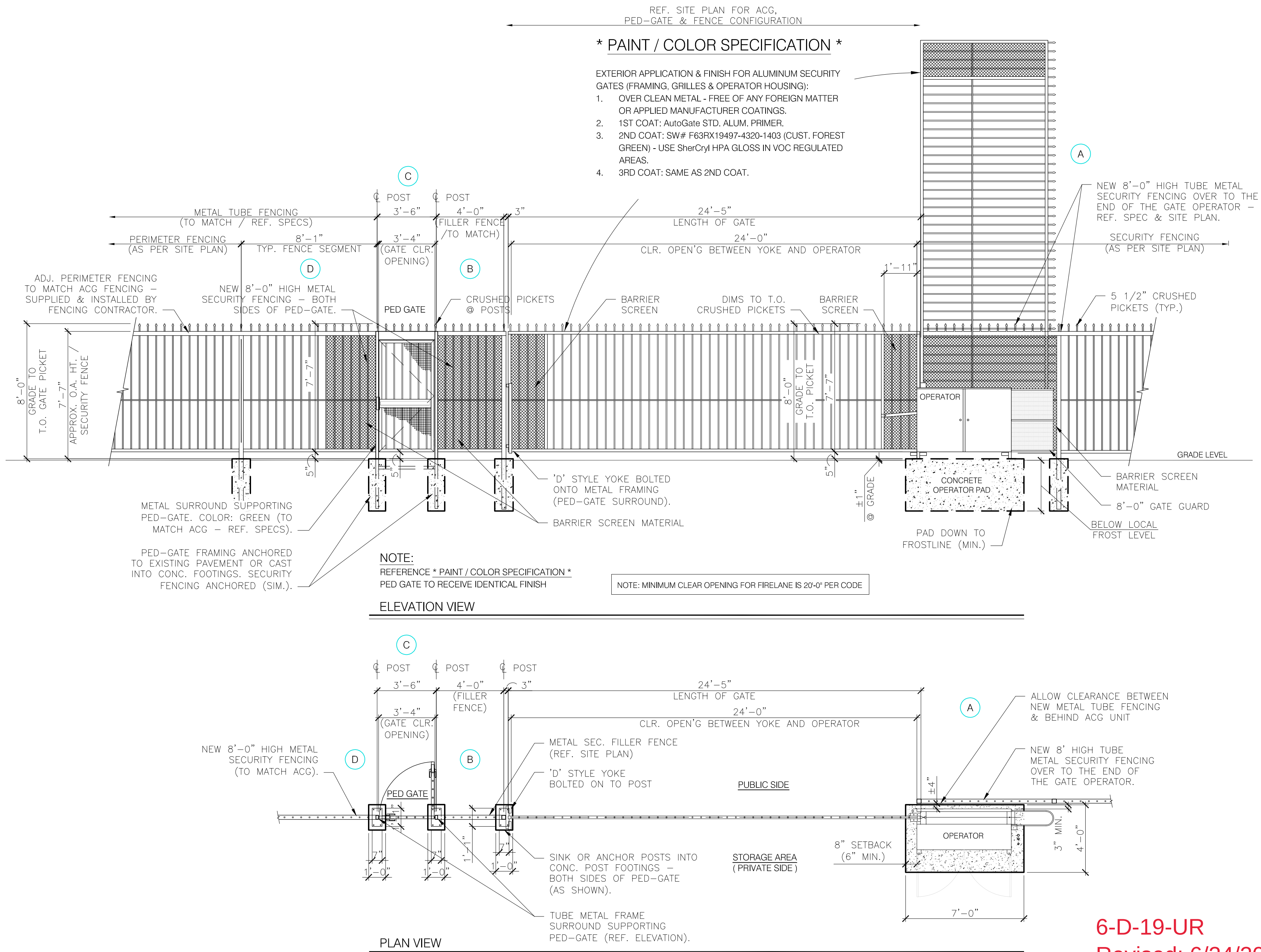
CHECKED:

DATE:

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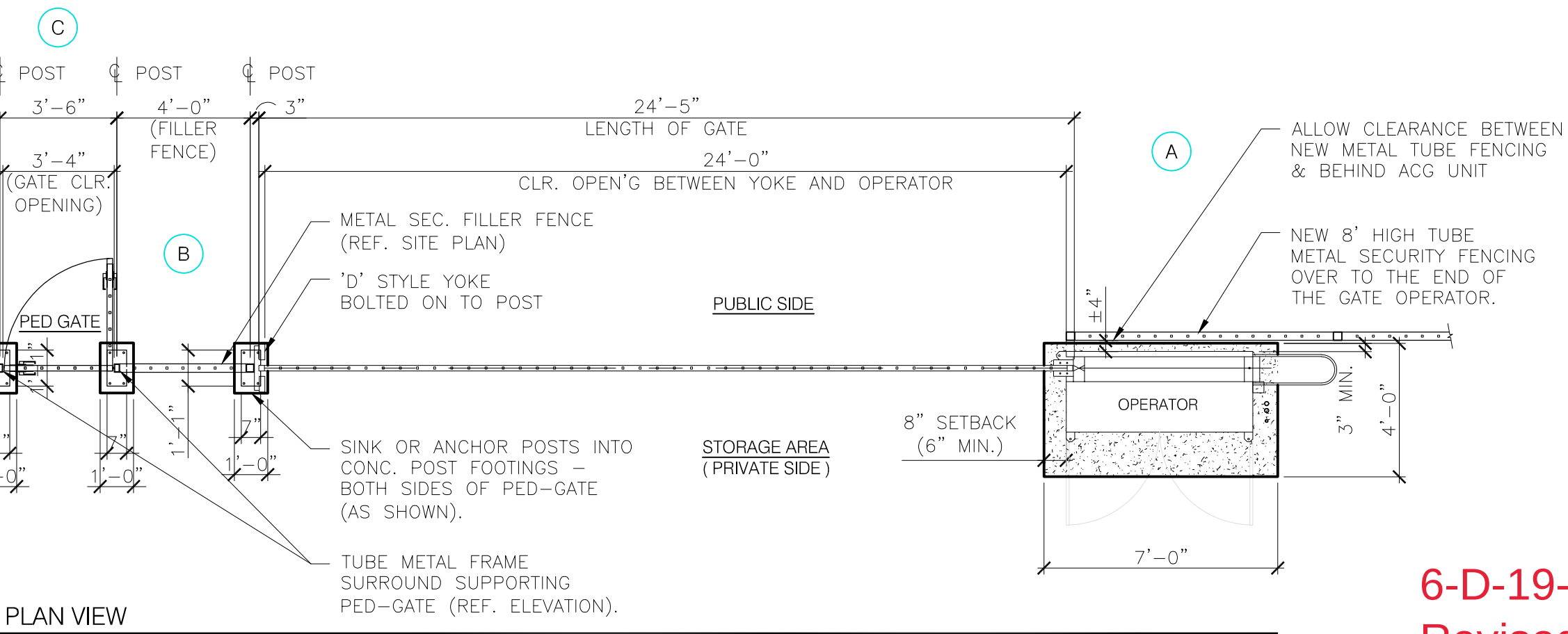


BLOCK WALL SECTION



NOTE:
REFERENCE * PAINT / COLOR SPECIFICATION *
PED GATE TO RECEIVE IDENTICAL FINISH

ELEVATION VIEW



PLAN VIEW

6-D-19-UR
Revised: 6/24/2019